

CITY OF ALBUQUERQUE



November 16, 2016

Joe Simons
Simons Architecture, PC
PO Box 67408
Albuquerque, NM

Re: Campbell Brewery -4814 Hardware NE
90-Day Temporary Certificate of Occupancy- Traffic Certification Only
Architect's Stamp dated 08-07-15 (F17D097)
Certification dated 11-16-16

Dear Mr. Simons,

Based upon the information provided in your submittal received 11-16-16, Transportation Development will issue a 90-day Temporary Certificate of Occupancy based solely on the Traffic Certification dated 11-16-2016. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant including.

1. The 6' pedestrian access to the site must be constructed and striped per the approved TCL.
2. The approved and stamped TCL, with any changes drawn in red.
3. Transportation Certification letter on either the plan or applicants letterhead.
4. A Drainage Transportation Information Sheet (DTIS)
5. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
6. A site inspection will be completed.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JOE @ SIMONSARCHITECTURE.COM

505.480.4796 VOICE

November 15, 2016

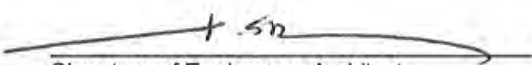
TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS NOT IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 10/21/2015 AT THE ADDRESS 4814 HARDWARE NE ALBUQUERQUE, NM AND PERMIT NUMBER IS T201592225. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/16/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT). ANY ALTERATIONS TO THE APPROVED TCL IS NOTED IN RED ON THE ATTACHED PLAN AND IS NOTED AS FOLLOWS:

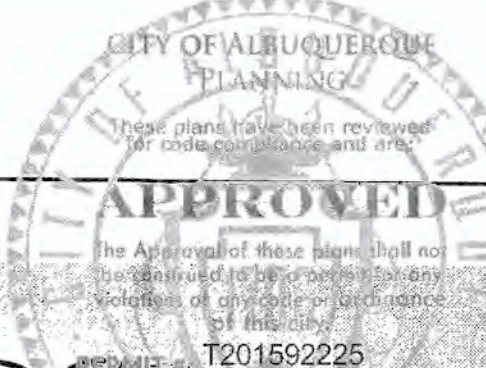
1. THE PUBLIC SIDE WALK ACCESS
2. THE CURB CUT
3. THE STRIPING FROM THE PUBLIC SIDEWALK ACCESS ACROSS THE PARKING LOT.
4. THE OWNER REQUESTS TEMP C.O. FOR 90 DAYS IN ORDER TO GET THE SITE INTO COMPLIANCE WITH THE APPROVED TCL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.




Signature of Engineer or Architect

11.16.16
Date



THIS ARCHITECTURE IS NOT TO BE USED FOR ANY WORK DONE BY CONTRACTORS OR OTHERS WITHOUT THE WRITTEN CONSENT OF SIMONS ARCHITECTURE. ALL RIGHTS RESERVED. NO PART OF THIS ARCHITECTURE MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN CONSENT OF SIMONS ARCHITECTURE. THIS ARCHITECTURE IS THE PROPERTY OF SIMONS ARCHITECTURE AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFIC STATUTORY REQUIREMENTS. ANY OTHER USE IS STRICTLY PROHIBITED. COPYRIGHT © 2015 SIMONS ARCHITECTURE

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CAMPBELL BREWERY
4814 HARDWARE DR. NE.
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

JOB NUMBER
S.A. # CAMP-001
A.D. # 15-3695

DATE
08.07.15
DRAWING NAME
SITE PLAN
REVISIONS

DRAWN BY
ADWELLING

C1

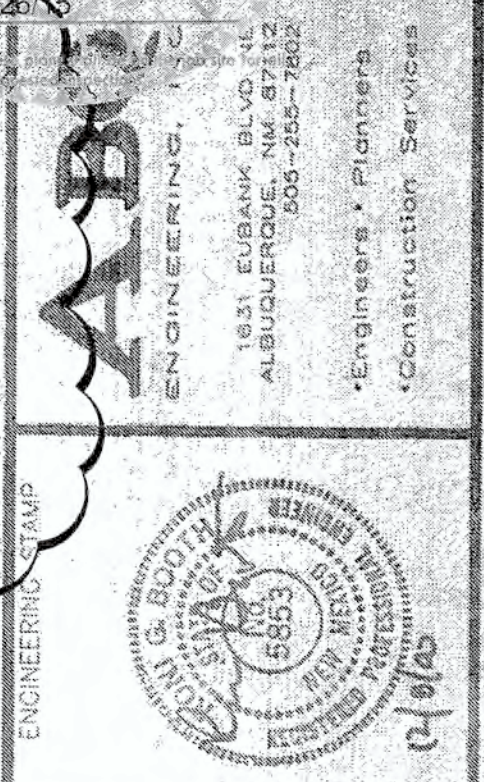
Parking Requirements For Buildings 1 thru 3

BLDG.	Sq. Ft.	OFFICE	WAREHOUSE	SPACES
1	8000	4000	4000	22
2	5000	2500	2500	13
3	3800		BREWERY	18
TOTAL	11900	6504	6516	53

H/C PARKING
REQUIRED = 53 SPACES
PROVIDED = 78
INCLUDES 3 HANDICAPPED VAN ACCESSIBLE PARKING SPACES
AND 3 HANDICAPPED PARKING SPACES

Legend

---	PROPERTY LINE
---	SIDEWALK
---	CURBING
---	EXISTING HYDRANT
---	NEW HANDICAP SIGN
---	NEW STOP SIGN
---	SIDEWALK EASMENT
---	EXISTING EASMENT
---	PROPOSED SETBACK CENTERLINE
---	EXISTING FENCE

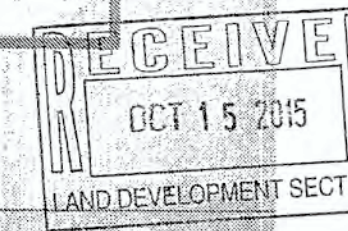


MCLEOD CROSSING
ALBUQUERQUE, NEW MEXICO

REV. NO.	REV. DATE	DESCRIPTION	DATE
1	01/01/00	REVISION #1	
2	01/01/00	REVISION #2	
3	01/01/00	REVISION #3	
4	01/01/00	REVISION #4	
5	01/01/00	REVISION #5	
6	01/01/00	REVISION #6	
7	01/01/00	REVISION #7	
8	01/01/00	REVISION #8	
9	01/01/00	REVISION #9	
10	01/01/00	REVISION #10	
11	01/01/00	REVISION #11	
12	01/01/00	REVISION #12	
13	01/01/00	REVISION #13	
14	01/01/00	REVISION #14	
15	01/01/00	REVISION #15	
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98	01/01/00	REVISION #98	
99	01/01/00	REVISION #99	
100	01/01/00	REVISION #100	

REVISED
SITE PLAN
FOR
BUILDING
3

C1



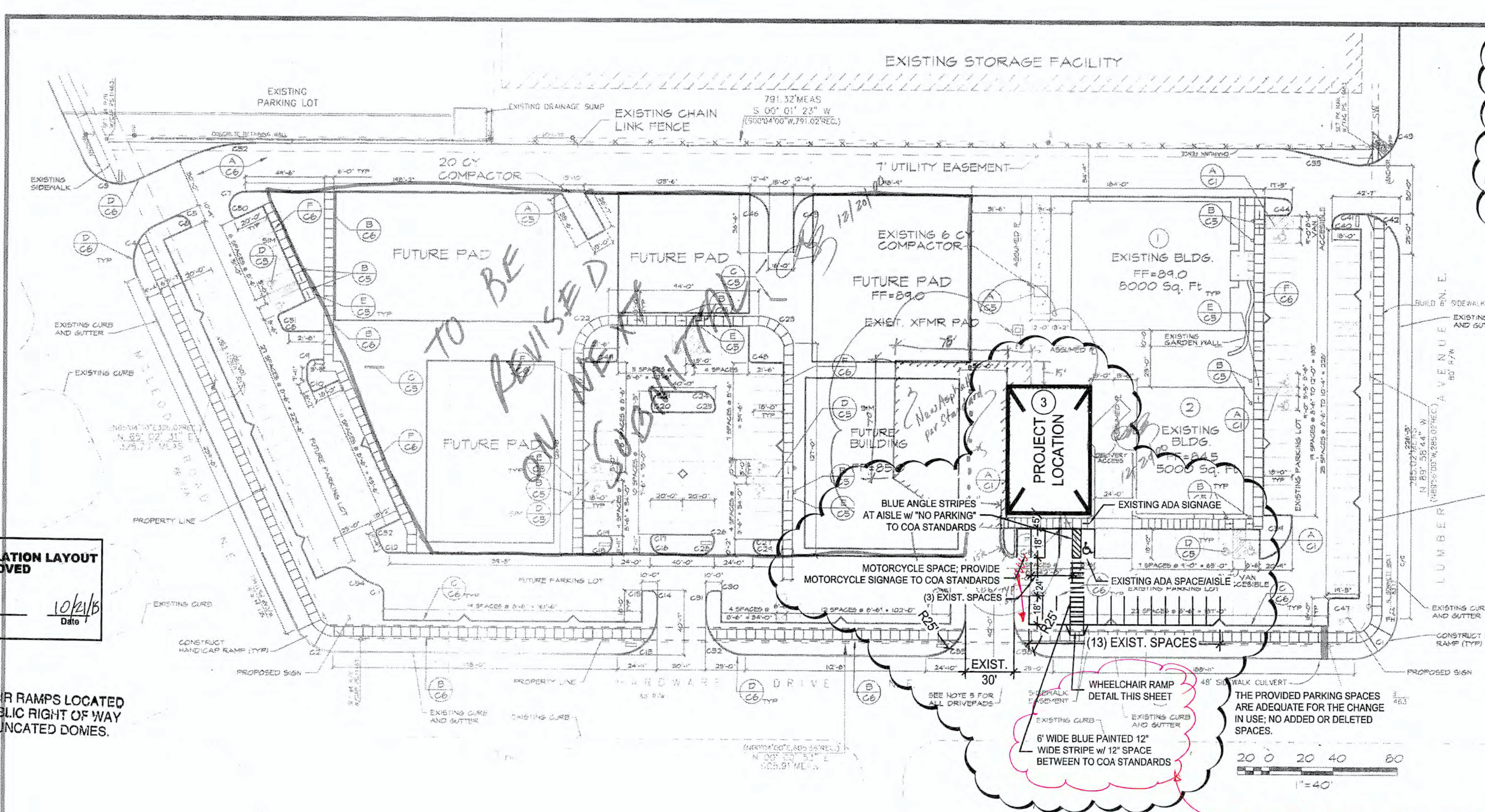
WHEEL CHAIR RAMP DETAIL



THIS SITE PLAN WAS PROVIDED TO THE ARCHITECT BY THE OWNER AND IS FOR REFERENCE ONLY.
ALL PARKING AND LANDSCAPING IS EXISTING AND REMAINS UNCHANGED BY THIS PROJECT

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed
10/2/15
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



SITE PLAN

NOT TO SCALE



General Notes

1. SELECTED CONTRACTOR MUST COMPLETE ALL OF THE APPROVED WORK, REGARDLESS OF ANY AGREEMENTS WITH THE OWNER CHOOSING TO COMPLETE ANY SITE WORK, BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
2. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS IN THE APPROVED SITE PLAN.
3. THE SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVED WILL RESULT IN:
A. UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
B. AN INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
4. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY WILL BE SCHEDULED.
5. CONSTRUCT ALL DRIVEPADS PER THE CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO 2426.
6. NOTE THAT ALL EXISTING SIDEWALKS AND C&G AFFECTING SAFE VEHICLE OR PEDESTRIAN TRAVEL WILL REQUIRE REMOVAL AND REPLACEMENT.

Legal Description

LOT LETTERED "H" OF THE PLAT OF CASHNAY BUILDING MATERIALS INC., ALLWOODS SUBDIVISION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 21, 1974, IN COLUMN D6, FOLIO 79.

Reference Drawing

MCLEOD CROSSING DSL ASSOC. ORIGINAL SITE PLAN DATED 6/2/99 JOB# 9914 (C2), AND ABG ENG. INC. ORIGINAL GRADING & DRAINAGE PLAN DATED 8/1/00 JOB #20190 (C2)

Survey

ALTA/ACSM, LAND TITLE SURVEY WITH TOPOGRAPHY OF LOT "H" ALLWOODS SUBDIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO HARRIS SURVEYING, INC. MAY 14, 1988

General Notes

SEE ARCHITECTURAL SHEETS FOR DIMENSIONS OF BUILDINGS

Curve Data

CURVE	RADIUS	CURVE	RADIUS	CURVE	RADIUS
C1	25.00'	C18	15.00'	C36	2.00'
C2	25.00'	C19	25.00'	C37	15.00'
C3	25.00'	C20	3.00'	C38	25.00'
C4	25.00'	C21	15.00'	C39	18.00'
C5	25.00'	C22	25.00'	C40	2.00'
C6	6.00'	C23	25.00'	C41	15.00'
C7	15.00'	C24	15.00'	C42	25.00'
C8	25.00'	C25	3.00'	C43	25.00'
C9	5.00'	C26	3.00'	C44	15.00'
C10	2.00'	C27	3.00'	C45	25.00'
C11	5.50'	C28	15.00'	C46	25.00'
C12	25.00'	C29	15.00'	C47	3.00'
C13	25.00'	C30	2.00'	C48	3.00'
C14	25.00'	C31	25.00'	C49	3.00'
C15	2.00'	C32	25.00'	C50	3.00'
C16	15.00'	C33	25.00'	C51	3.00'
C17	3.00'	C34	15.00'	C52	100.00'
		C35	2.00'	C53	100.00'
				C54	40.00'