

CITY OF ALBUQUERQUE



March 9, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **Enchantment Carpet Addition**
4815 McLeod NE
Grading Plan
Engineer's Stamp Date 3/1/18
Drainage File: F17D099

Dear Mr. Soule:

Based on the information provided in your submittal received 3/2/18, the Grading Plan cannot be approved until the following are addressed:

Prior to Grading/Building Permit:

1. Payment of the Fee in Lieu (Amount = 51CF x \$8/CF, per Grading and Drainage Plan) for the required first flush volume must be made.
2. A Private Facility Drainage Covenant is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

Prior to C.O.:

3. The Private Facility Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

enchantment carpet

Existing Developed Basins- not accounting for detention basin

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
EXISTING	63624	1.461	0%	0	0.0%	0.000	7.0%	0.10224	93%	1.358	2.051	0.250	6.71
PROPOSED	63624	1.461	0%	0	0.0%	0.000	7.0%	0.10224	93%	1.358	2.051	0.250	6.71
INCREASE	0	0.000	0%	0		0.000		0.000		0.000		0.000	0.000

Equations:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

Volume = Weighted D * Total Area

$$\text{Flow} = Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d$$

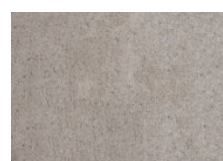
Where for 100-year, 6-hour storm (zone 3)

Ea= 0.53	Qa= 1.57
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

First flush requirement (Redevelopment=impx.26/12) _____
Area of site affected=18498 sf- of which 14142 is was/is impervious
first flush= 306 CF
volume retained= 255 CF
fee in lieu 51 CF

THE SUBJECT PROPERTY IS A REDEVELOPMENT OF AN EXISTING SITE. THE SITE IS GOVERNED BY F17D81. THE SITE IS NOT IMPACTED BY UPLAND FLOWS. THE SITE CURRENTLY DISCHARGES 1.25 CFS DIRECTLY TO MCLEOD VIA THE DRIVEWAY AND 1.7 CFS TO MCLEOD VIA THE OUTLET TO THE ONSITE DETENTION BASIN. THE PROPOSED IMPROVEMENTS WILL NOT MODIFY ANY OF THE APPROVED HYDROLOGY. THE AREA OF THE BUILDING EXPANSION IS CURRENTLY 100% IMPERVIOUS. THE PROPOSED DRIVE ISLE WILL ENCRATCH ON THE PONDING AREA, BUT THE ENCRATCHMENT WILL BE UTILIZING PERVIOUS PAVERS REPLACING EXISTING COBBLES. TO ACCOUNT FOR THE REQUIRED FIRST FLUSH, THE POND BOTTOM WILL BE LOWERED 6" BELOW THE OUTFALL TO PROVIDE 25% OF WATER QUALITY STORAGE. THE SITE WILL NEED TO PAY A FEE IN LIEU OF 51 CF THAT CAN NOT BE REASONABLY RETAINED. THE POND WILL NOT BE ALTERED THEREFORE THE DEVELOPED SITE WILL CONTINUE TO DISCHARGE 1.25 CFS FROM THE FRONT OF THE LOT AND 1.7 CFS VIA THE DETENTION BASIN.

TURFSTONE™



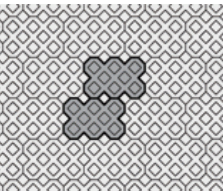
NATURA



STANDARD
60 CM X 40 CM X 8 CM
23.625" X 15.75" X 3.125"

	Unit Thickness	Sq. Ft. Bndl.	Sq. Ft. Layer	Sq. Ft. Stone	Layers Bndl.	Ln Ft Sec. Soldier	Ln Ft Bndl. Soldier	Sq Ft Ln Ft Soldier	Ln Ft Sec. Sailor	Ln Ft Bndl. Sailor	Sq Ft Ln Ft Sailor	Units Sq. Ft.	Lbs Bndl.	Lbs Sec.	Units Bndl.
Standard	8	80	10.00	-	8	-	42	-	-	-	-	0.39	1995	-	32

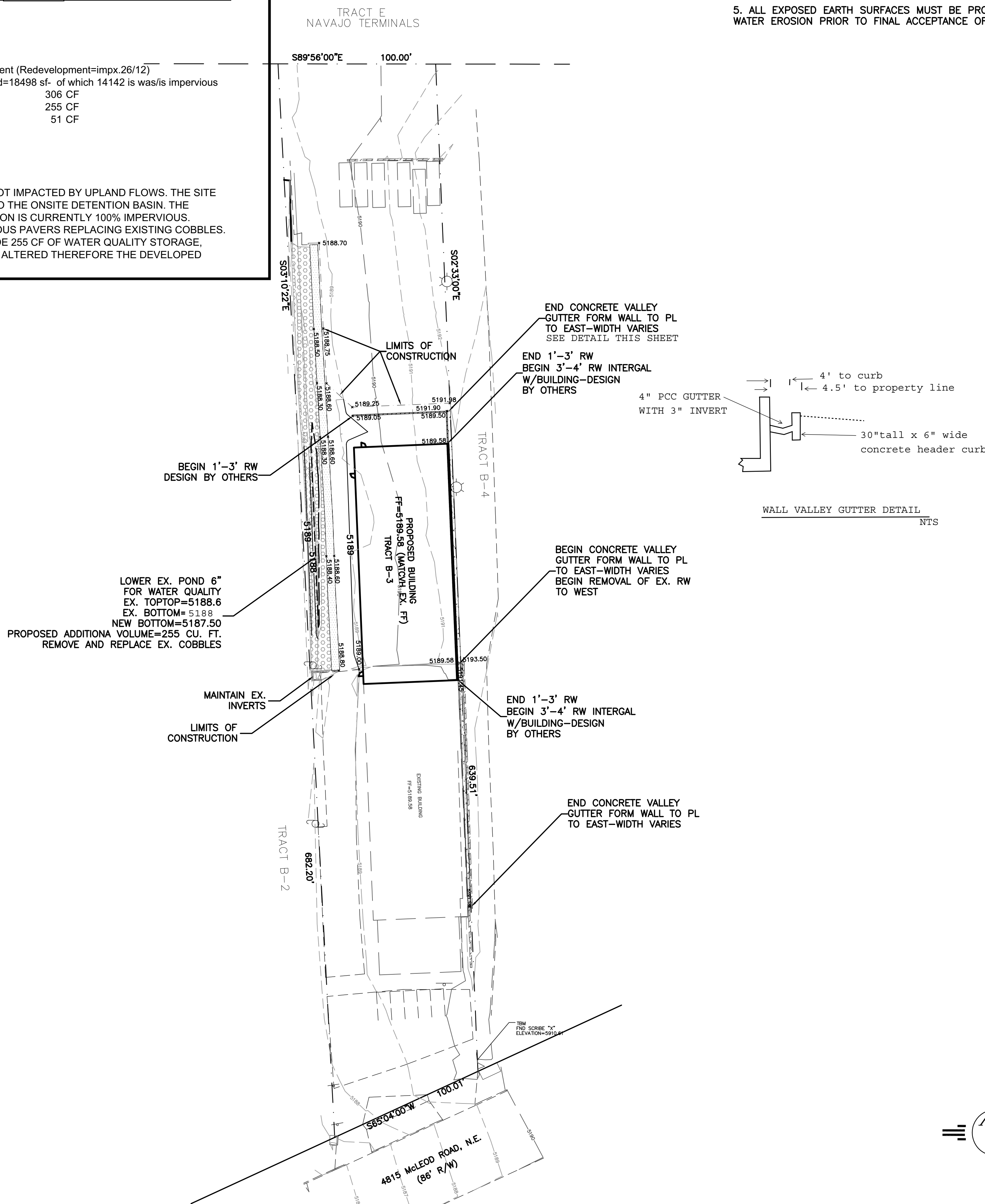
Sold in full bundles only. Product is shipped on refundable skids. Turfstone 10cm is not a stock item. Contact your territory manager for lead time



Surfstone A
standard (100%)

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



EROSION CONTROL NOTES:

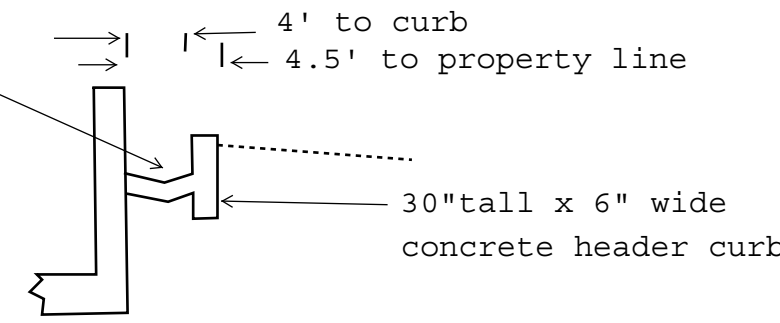
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



The map is a detailed plat map of a portion of the Navajo Indian Reservation. It shows various land parcels, roads, and landmarks. The map includes labels for 'LINCOLN', 'NAVAJO', 'SANDIA', 'ROADRUNNER', 'BERRY', 'C-3', 'M-1', 'BUSINESS', 'PARK', 'CASHWAY', 'ALLWOODS', and 'SITE'. A large arrow points from the 'SITE' label to a specific parcel. The map also shows 'RESTAURANT', 'MOTOR HOTEL', and 'INVESTORS'.

VICINITY MAP:

F-17-Z



FIRM MAP:

FM35001C0139G






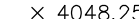







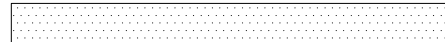
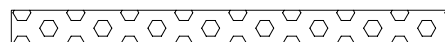
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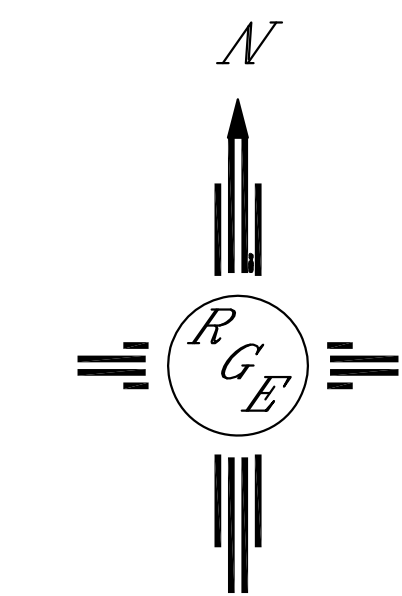
TRACT B-3 LANDS OF ROAD RUNNER INVESTORS

NOTES:

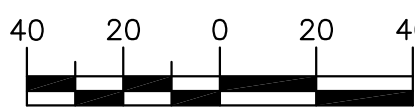
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
5. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9.

LEGEND


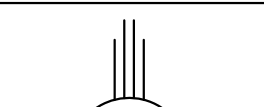
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	LOT LINE
	CENTERLINE
	RIGHT-OF-WAY
	EXISTING CURB AND GUTTER
	PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS)
	CONCRETE VALLEY GUTTER
	ADD 5' OF PERMEABLE PAVERS, REMOVE EXISTING COBBLES AND INSTALL NEWPAVERS PERMANUFACTURORS RECOMMENDATOIN
	EXISTING COBBLE RIP RAP



GRAPHIC SCALE

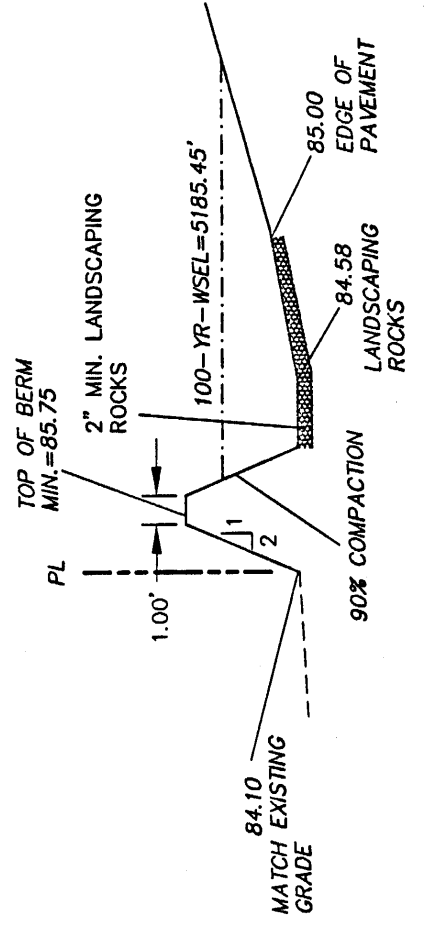


SCALE: 1"=40'

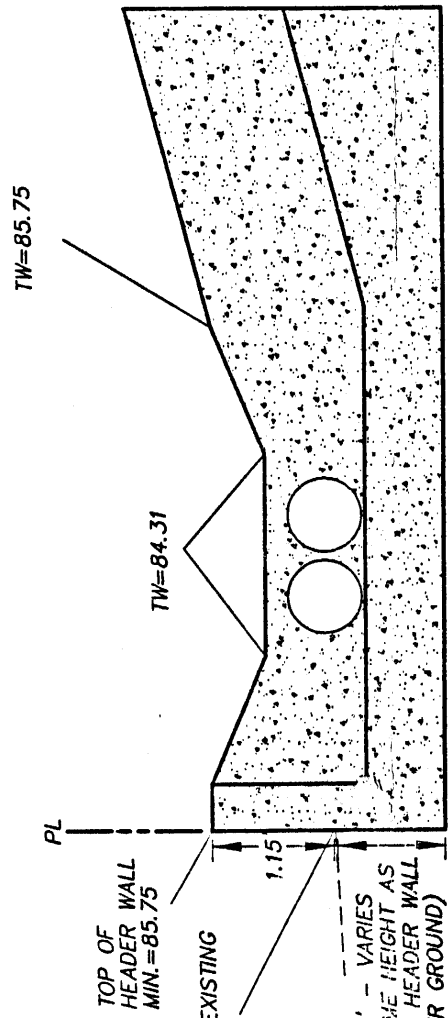
ENGINEER'S SEAL  3/1/18	4815 McLEOD ROAD NE	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 2-28-18
		21860-LAYOUT-2-28-18
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0959	SHEET # JOB # 21801

- NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. IF A CONFLICT BETWEEN EXISTING UTILITIES AND THE PROPOSED CONSTRUCTION SHOULD A CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

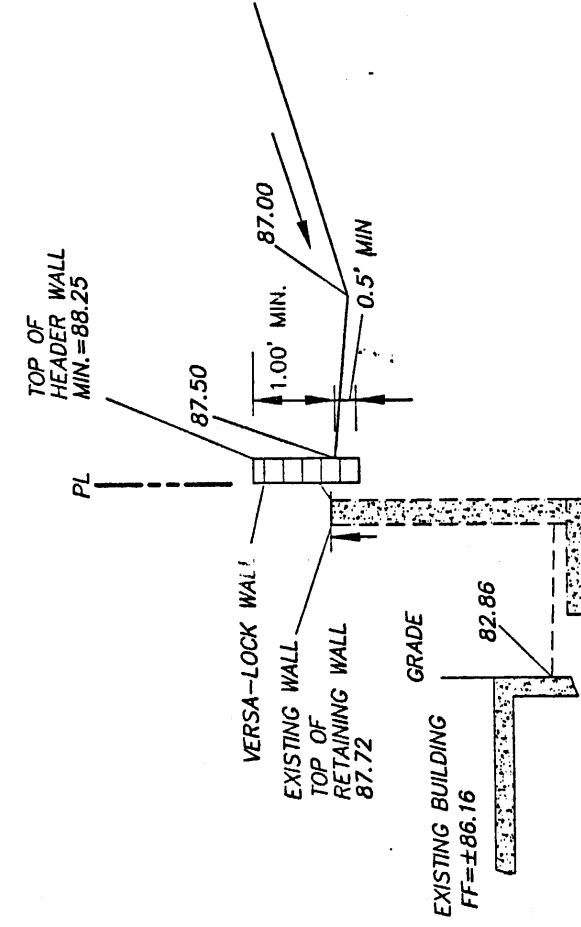
APPROVALS	NAME	DATE
INSPECTOR	<i>Cof. [Signature]</i>	<i>8/14/88</i>
	<i>SDM</i>	<i>7/24/91</i>



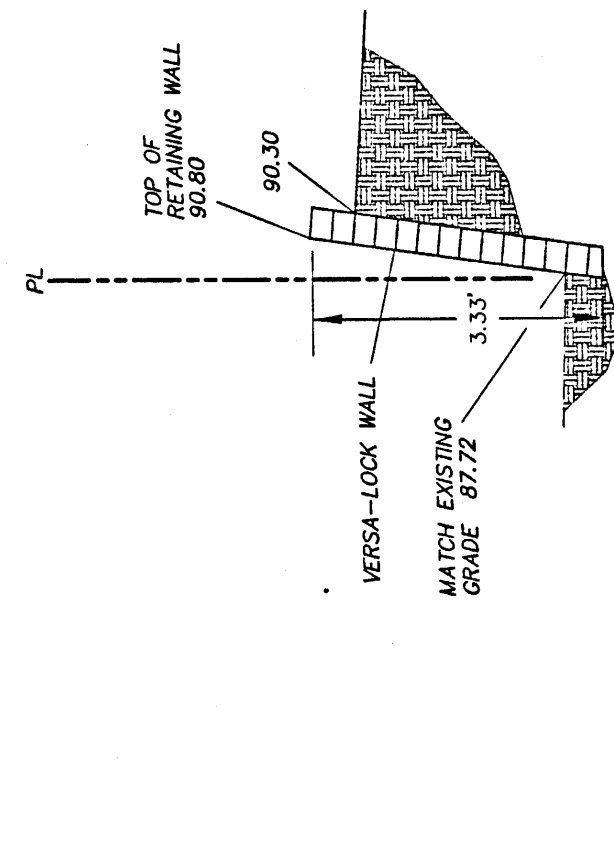
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

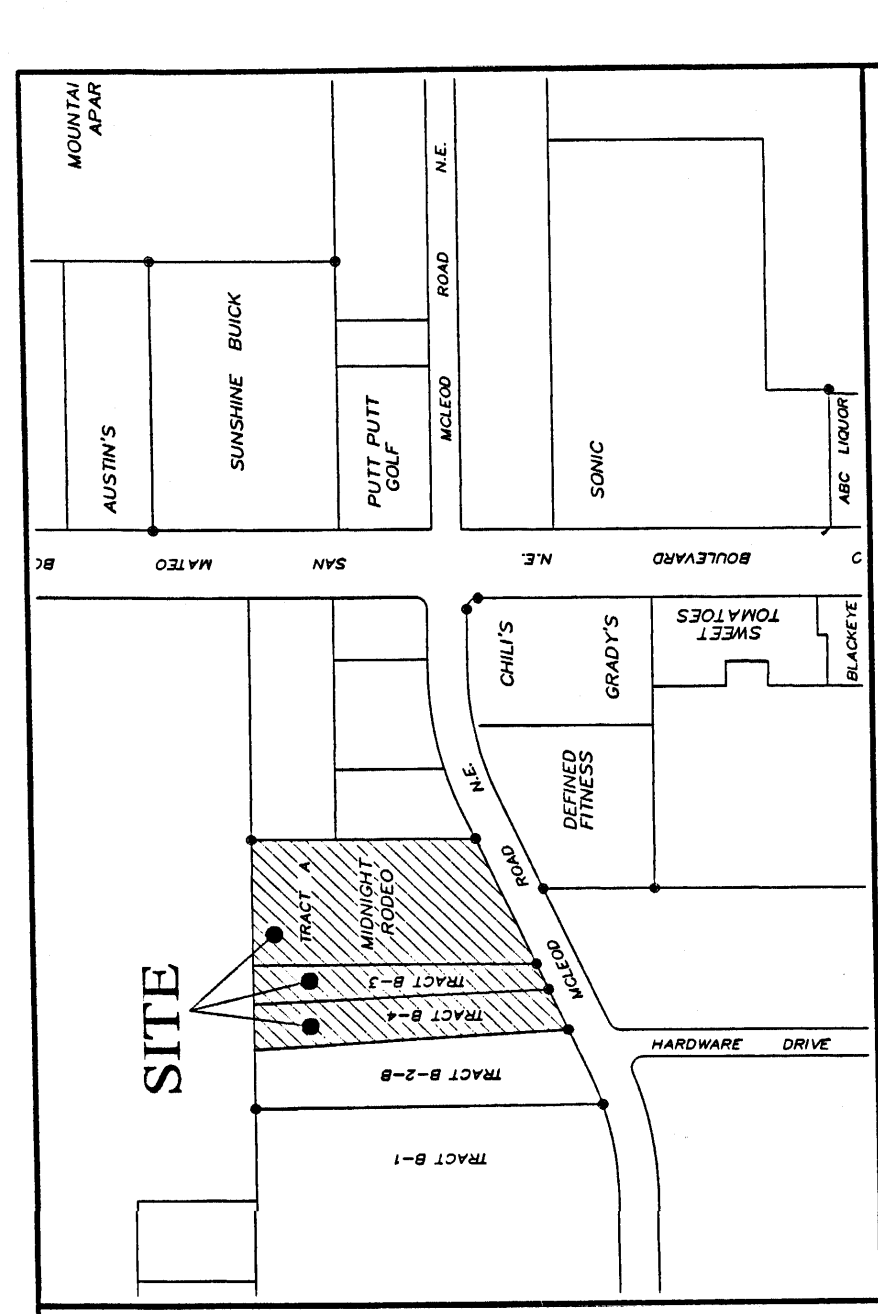


SECTION C-C
N.T.S.



SECTION D-D
N.T.S.

I SHAHAR BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED GRADING PLAN DATED MAY 9, 2001. THE AS-BUILT GRADES WERE PROVIDED BY RIO GRANDE SURVEYING CO., PC ON JULY 5, 2001



VICINITY MAP

LEGAL DESCRIPTION:

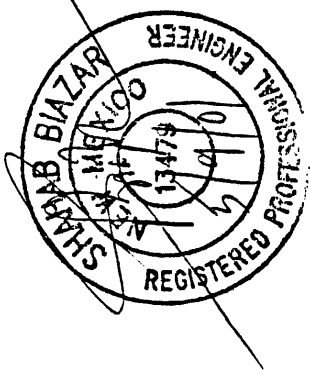
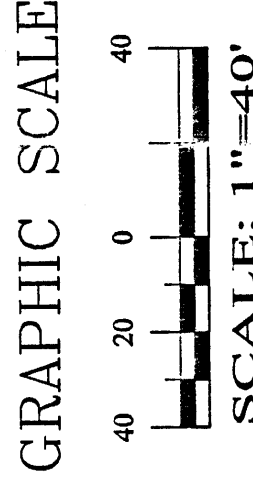
TRACTS A, B-4, B-3, LANDS OF ROAD RUNNER INVESTORS

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100'-YEAR WSEL
- TOP OF WALL
- TOP BERM



100% SNOWFLAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAR BIAZAR
P.E. 113479

MIDNIGHT RODEO GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:
2033-GR.DWG	SBB	01-05-2001

SECTION D

N.T.S.

SECTION E

N.T.S.

SECTION F

N.T.S.

SECTION G

N.T.S.



Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
	DEC 3 2		
	HYDROL		
	SECTIC		
City Project No.	Zone Map No.	Sheet	Of
6394.83	F-17-Z	C1	2