

CITY OF ALBUQUERQUE



April 6, 2018

Darby Miera
RBA Architecture Planning Design
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Enchantment Carpets
4815 Mcleod Rd
Traffic Circulation Layout
Architect's Stamp dated 03-29-18 (F17-D099)

Dear Ms. Miera,

The TCL submittal received 03-29-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

The following conditions set by the zoning code must be met for final acceptance.

- **Permeable Pavement or Permeable Pavement System:** The permeable surface or permeable pavement system shall be designed to meet the requirements of the City Engineer and/or their designee(s). Alternate paving materials shall be installed and maintained according to manufacturer's specifications. Pavement must support the expected loading and traffic and be sufficiently durable.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Enchantment Carpets Building Permit #: _____ Hydrology File #: F170099

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-3 Lands of Road Runner Investors

City Address: 4815 Mcleod RD NE, Albuquerque, NM 87109

Applicant: _____ Contact: _____

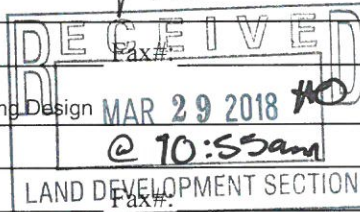
Address: _____

Phone#: _____ E-mail: _____

Other Contact: RBA Architecture Planning Design Contact: Darby Miera

Address: 1104 Park Ave SW

Phone#: 505-242-1859 E-mail: darby@rba81.com



Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION

____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)

____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____

____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR

____ OTHER (SPECIFY) _____

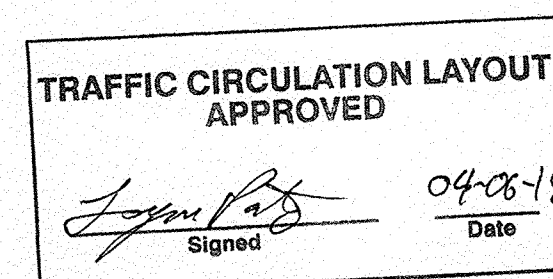
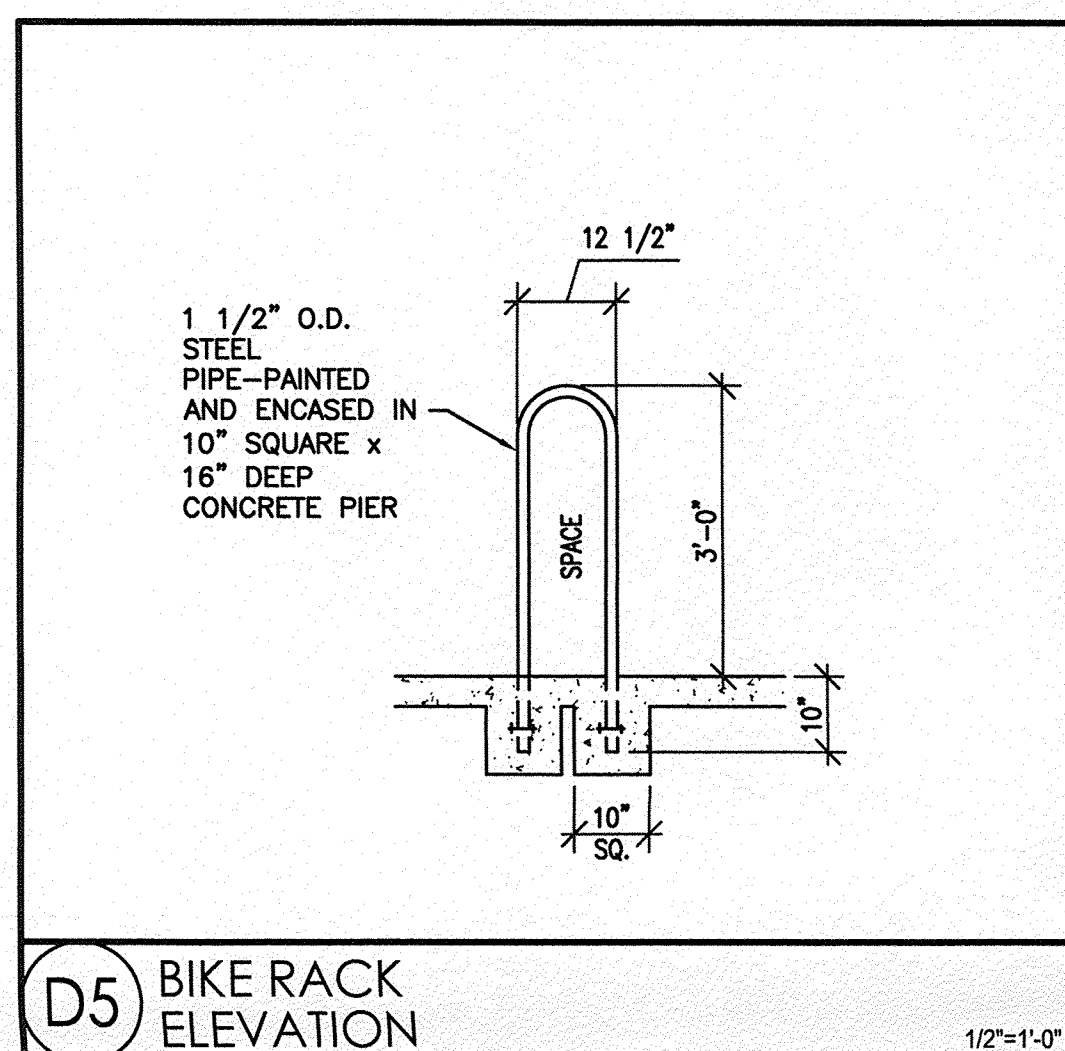
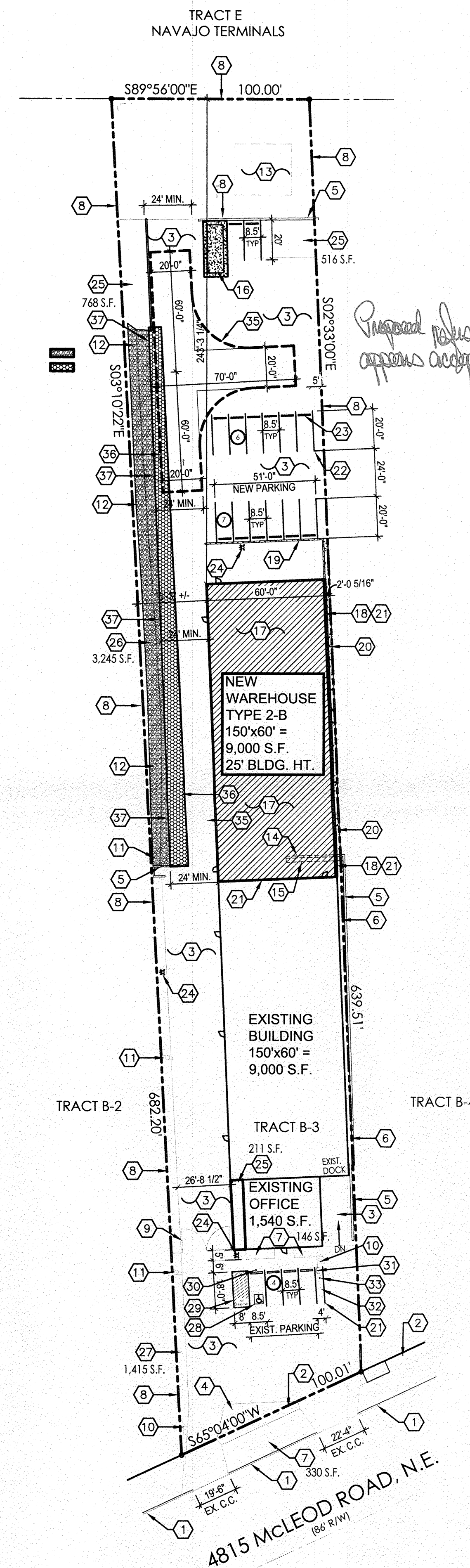
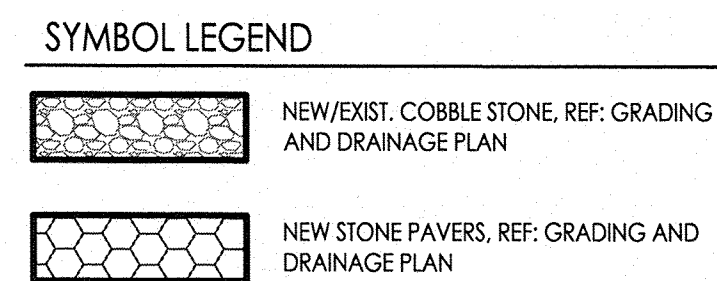
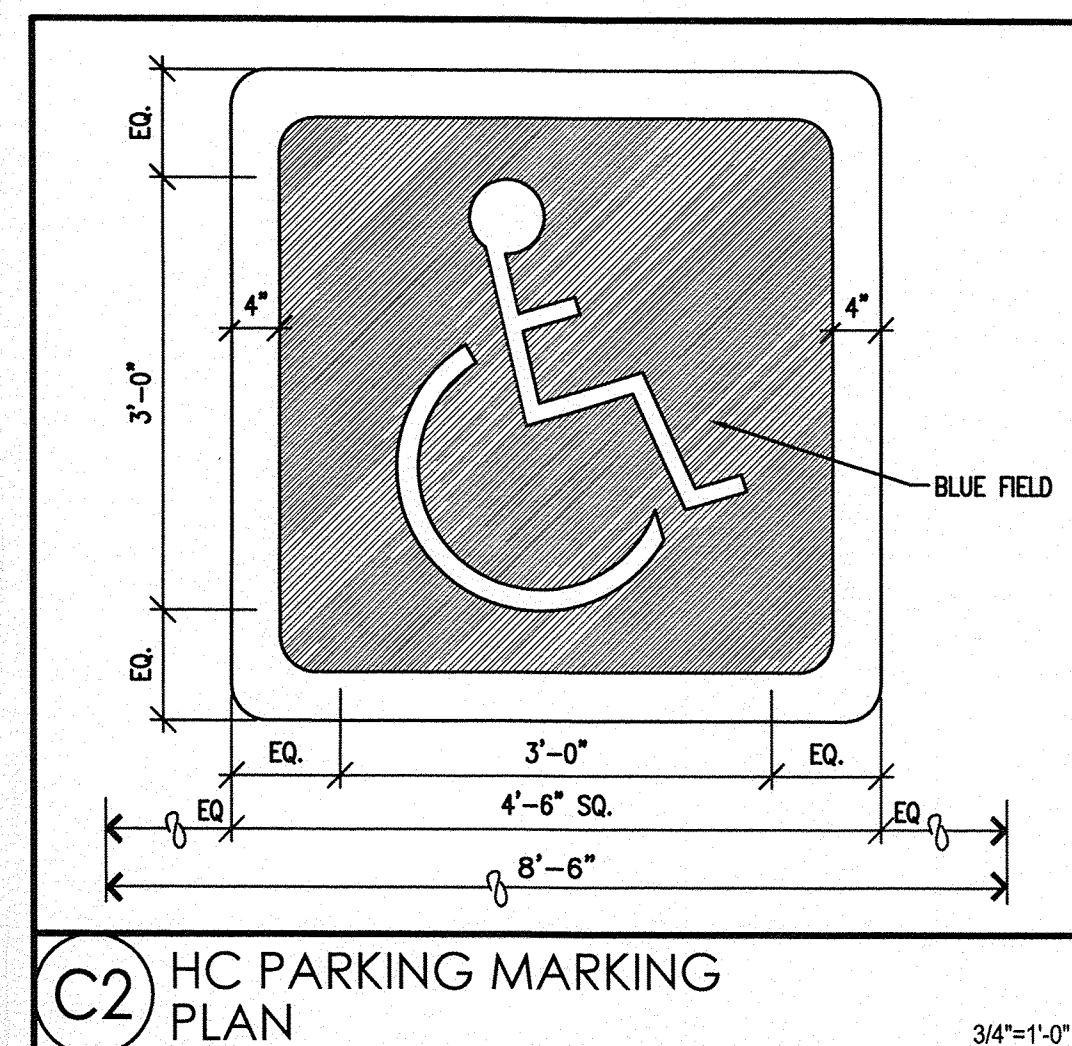
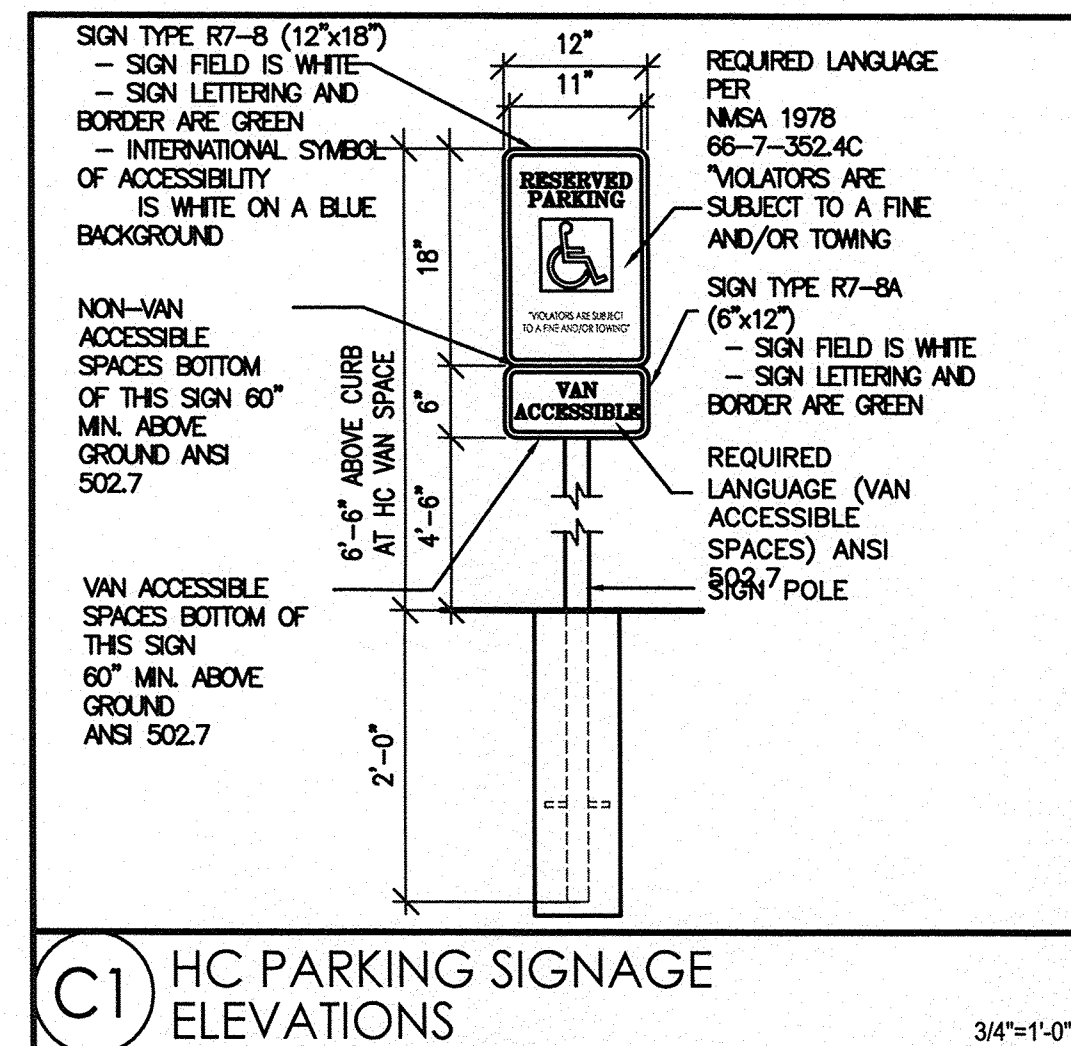
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 3/28/2018 By: Darby Miera


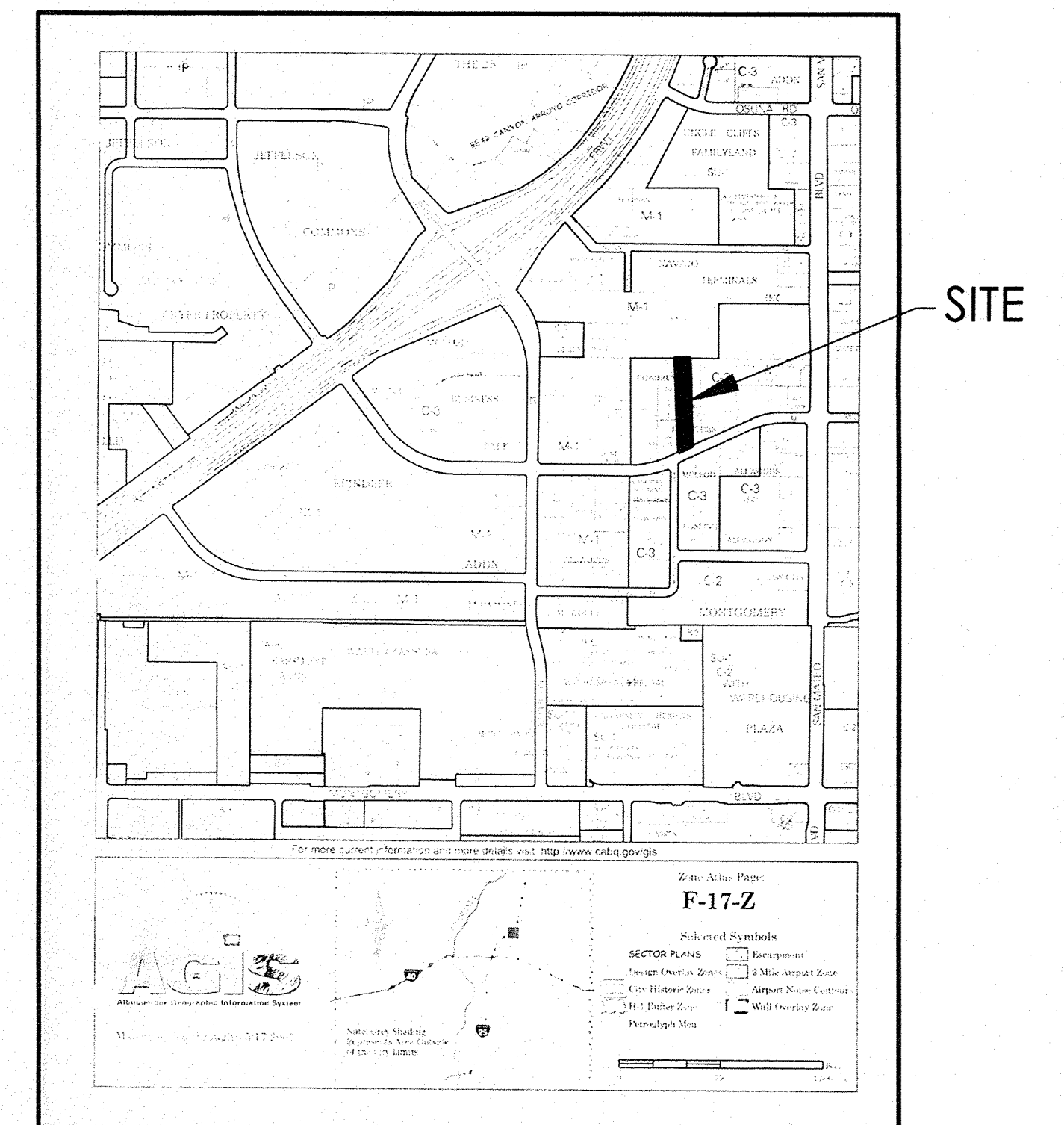
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



LEGAL DESCRIPTION:

TRACT B-3 LANDS OF ROAD RUNNER INVESTORS

KEYED NOTES

1. EXISTING CONCRETE CURB AND GUTTER TO REMAIN, NO WORK.
2. EXIST. CONC. SIDEWALK, NO WORK.
3. EXIST. ASPHALT PAVING, NO WORK.
4. EXIST. CONCRETE PAD, NO WORK.
5. EXIST. RETAINING WALL, NO WORK.
6. EXIST. CONCRETE RUN DOWN, NO WORK.
7. EXIST. LANDSCAPING AREA, NO WORK.
8. EXIST. CHAIN LINK FENCE ON PROPERTY LINE, NO WORK.
9. 24" WIDE EXIST. CHAIN LINK GATES, NO WORK.
10. EXIST. SIGN, NO WORK.
11. EXIST. POWER POLE, NO WORK.
12. EXIST. DRAINAGE POND WITH COBBLE STONE RIP RAP, REF: GRADING AND DRAINAGE PLAN FOR WORK TO BE DONE.
13. EXIST. CELL TOWER, NO WORK.
14. EXIST. STACKED BLOCK RETAINING WALL TO BE REMOVED.
15. EXIST. CONC. RUN DOWN TO BE REMOVED.
16. EXIST. ROLL OFF DUMPTER ON NEW 6" THICK CONC. SLAB WITH #3 AT 12" O.C. EA. WAY, 3000 PSI CONC. MIN. NOTE SAW CUT AT 4" MIN. ASPHALT PAVING AS REQUIRED.
17. SAW CUT EXIST. ASPHALT 4' MIN. BEYOND NEW BUILDING OUTLINE AND REMOVE AS REQUIRED. REF: ARCH PLANS.
18. NEW CMU RETAINING WALL, PART OF NEW BUILDING FOUNDATION SYSTEM. REF: FOUNDATION PLAN AND DETAILS.
19. NEW CMU RETAINING WALL WITH GUARDRAIL, REF: FOUNDATION PLAN AND DETAILS. NOTE: SAW CUT EXIST. ASPHALT PAVING AS REQUIRED.
20. NEW CONC. RUN DOWN, REF: GRADING AND DRAINAGE PLAN AND DETAILS.
21. (2) HOUR FIRE-RATED WALL, REF: ARCH PLANS.
22. 2" WIDE WHITE PAINTED PARKING STRIPES, PER C.O.A. STANDARDS.
23. CONC. WHEEL STOP, TYP.
24. NEW FIRE HYDRANT, (3 NEW FIRE, REQUIRED).
25. NEW LANDSCAPING AREA, NO WORK.
26. NEW LANDSCAPING AT EXISTING PONDING AREA.
27. NEW 5' WIDE LANDSCAPING AREA, REF: LANDSCAPING PLAN.
28. ACCESSIBLE SYMBOL PER C.O.A. STANDARDS.
29. PAINTED STRIPES HANDICAP ACCESSIBLE AISLE, WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2' WIDE. LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES TIRE WOULD BE PLACES. (66-1.1.1.8 N.M.S.A 1978).
30. HANDICAP ACCESSIBLE SIGNAGE PER C.O.A. REQUIREMENTS.
31. BICYCLES RACK, FOR 2 BICYCLES MIN.
32. (1) MOTORCYCLE PARKING SPACE REQUIRED.
33. MOTORCYCLE PARKING SIGNAGE PER C.O.A. REQUIREMENTS.
34. PREMISE ID TO BE 12" HIGH NUMERALS, 1" STROKE ON A CONTRASTING BACKGROUND.
35. NEW FIRE HEAD FIRE TRUCK TURN AROUND, TYP.
36. HYDROCOMB HATCH DENOTES: PAVERS, REF: GRADING AND DRAINAGE PLANS.
37. EDGE OF NEW PAVERS, NOTE: EDGE OF PAVERS TO SLOPE AT POND TO BE 10% MAX. SLOPE, REF: GRADING AND DRAINAGE PLANS.

LANDSCAPING CALCULATIONS

NEW AND EXISTING BUILDING AREAS: 19,540 S.F.
 LOT AREA: 1.46 ACRES = 63,599.67 S.F.
 $63,660 - 19,540 = 44,120 \text{ S.F.} \times 15\% = 6,618 \text{ S.F.}$
 LANDSCAPING REQUIRED: 6,618 S.F.
 LANDSCAPING PROVIDED: 6,628 S.F.

PARKING CALCULATIONS

OFF STREET PARKING REQUIRED:

OFFICE: 1 SPACE PER 200 S.F. = 1,540 S.F./200 = 8 SPACES
WAREHOUSE: 1 PER 2,000 S.F. = 18,000 S.F. = 9 SPACES

TOTAL PARKING REQUIRED: 17 SPACES [1 H.C. ACCESSIBLE SPACE]
TOTAL PARKING PROVIDED: 1 H.C. SPACE + 17 REGULAR SPACES = 18

MOTORCYCLE PARKING REQUIRED:

17 TOTAL OFF STREET PARKING REQUIRED:
1-25 SPACES = 1 MOTORCYCLE PARKING SPACES REQUIRED, 1 PROVIDED

BICYCLE PARKING REQUIRED:

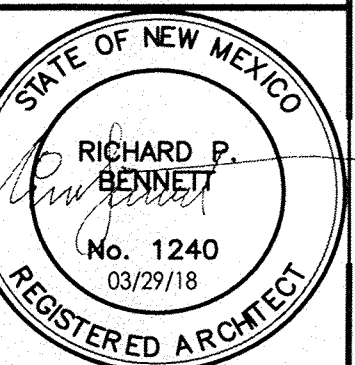
NON-RESIDENTIAL USE: 1 SPACE FOR EACH 20 REQUIRED PARKING SPACES
17 PARKING SPACES = 1 BICYCLE PARKING SPACE REQUIRED
1 BICYCLE PARKING SPACES

ENCHANTMENT CARPET ADDITION
SITE PLAN
4815 MCLEOD RD NE
ALBUQUERQUE, NM 87109
PROJECT # 1801

4815 MCLEOD RD NE
ALBUQUERQUE, NM 87109
PROJECT #1801

1001 # 137001

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

100 PPS, AVE. SW
SUITE 200
SEASIDE, CA 94134
TEL: 415/398-6000
WWW.RBA2.COM

DATE
03-29-2018

SHEET NUMBER

AS-1.0