

CITY OF ALBUQUERQUE



March 26, 2018

RBA Architecture Planning and Design
Darby Miera
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Enchantment Carpets
4815 Mcleod Rd. NE
Traffic Circulation Layout
Architect's Stamp **03-19-18** (F17-D099)

Dear Ms. Miera,

Based upon the information provided in your submittal received 03-19-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
2. Please show the location of the bicycle rack.
3. Please provide a legend clarifying what the hatching locations indicate.
4. Provide slope information in the drainage feature. Do vehicles need to be protected from this area?
5. 24 feet is required for two-way vehicular traffic.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Traffic Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Enchantment Carpets Building Permit #: _____ Hydrology File #: E17D099
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract B-3 Lands of Road Runner Investors
City Address: 4815 Mcleod RD NE, Albuquerque, NM 87109

Applicant: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RBA Architecture Planning Design Contact: Darby Miera
Address: 1104 Park Ave SW
Phone#: 505-242-1859 Fax#: _____ E-mail: darby@rba81.com

Check all that Apply:

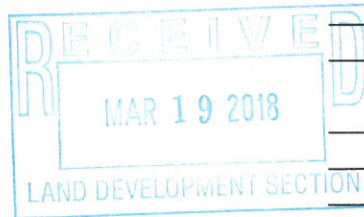
DEPARTMENT:
☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

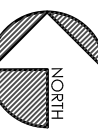
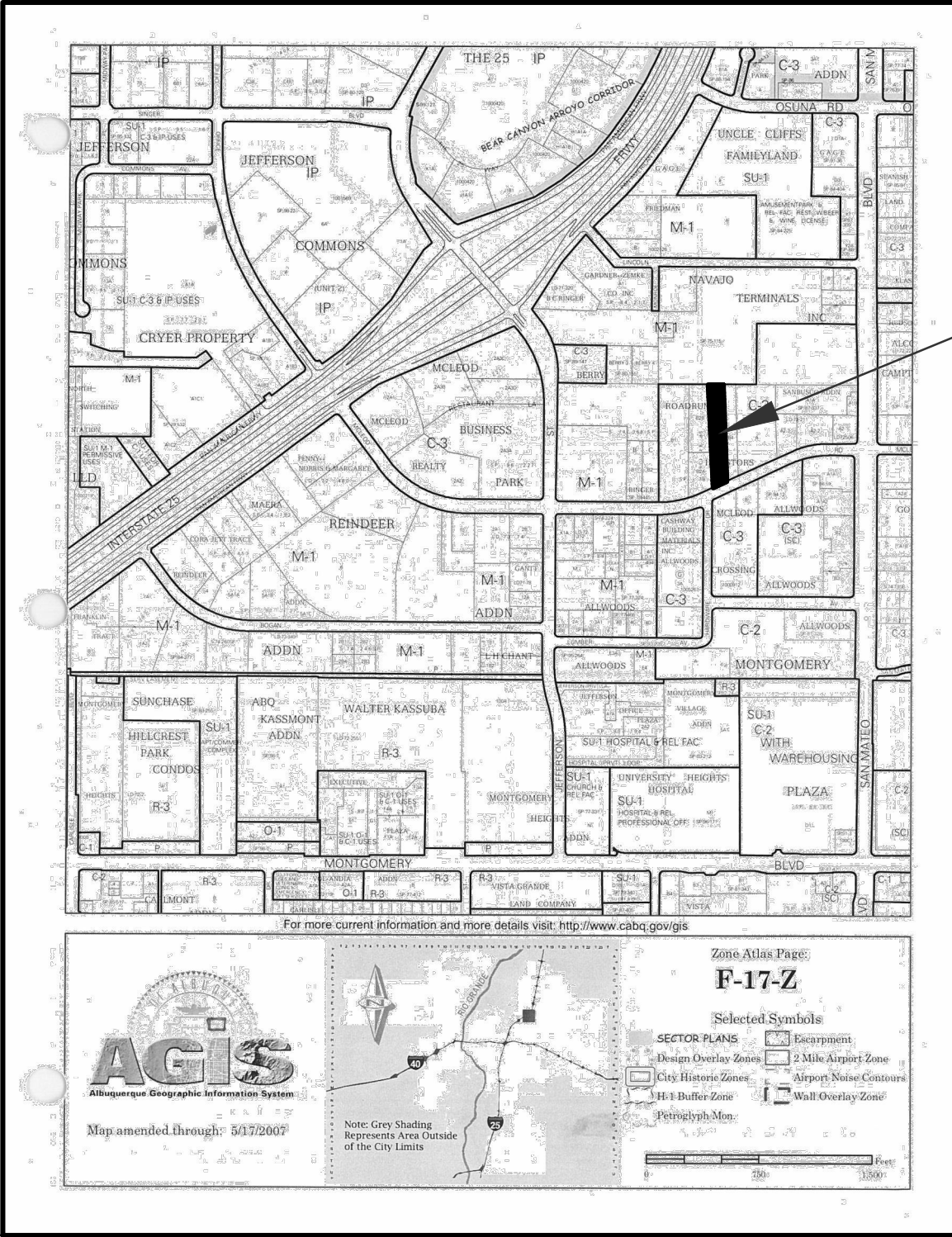
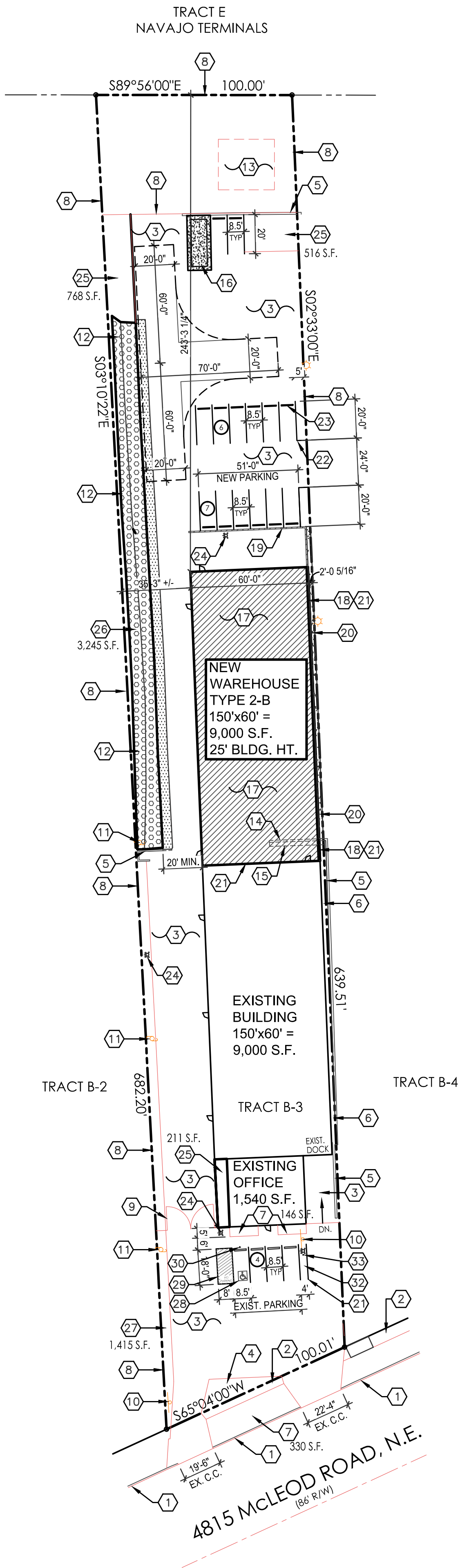
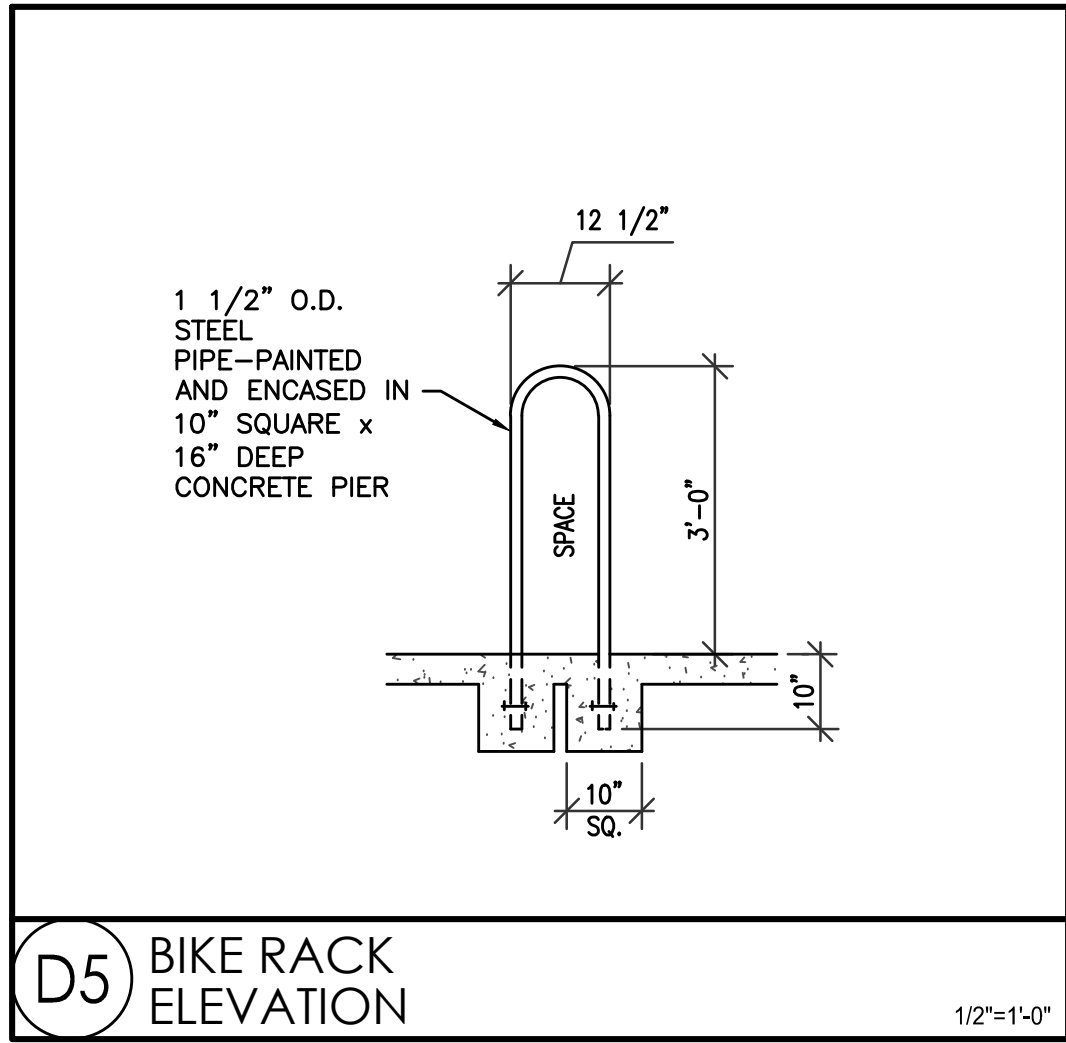
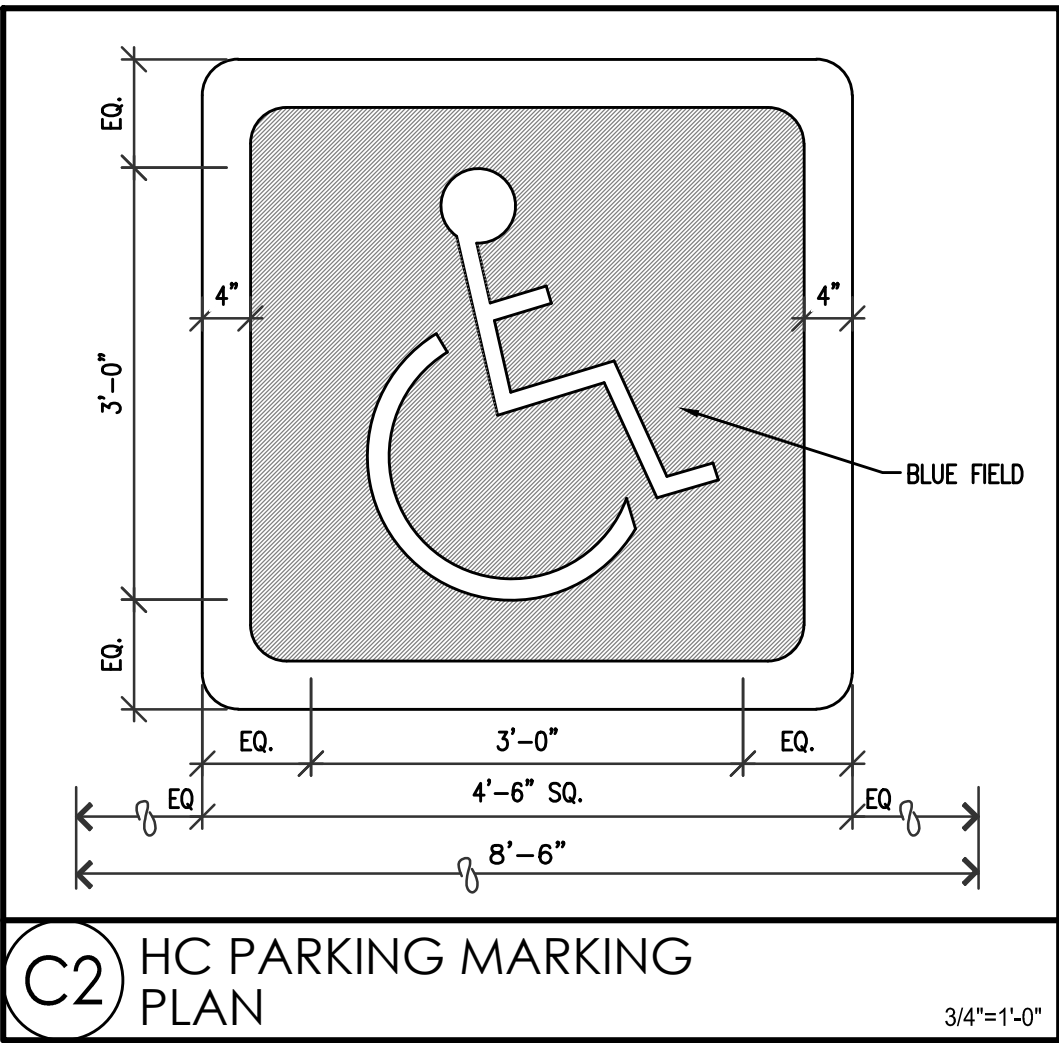
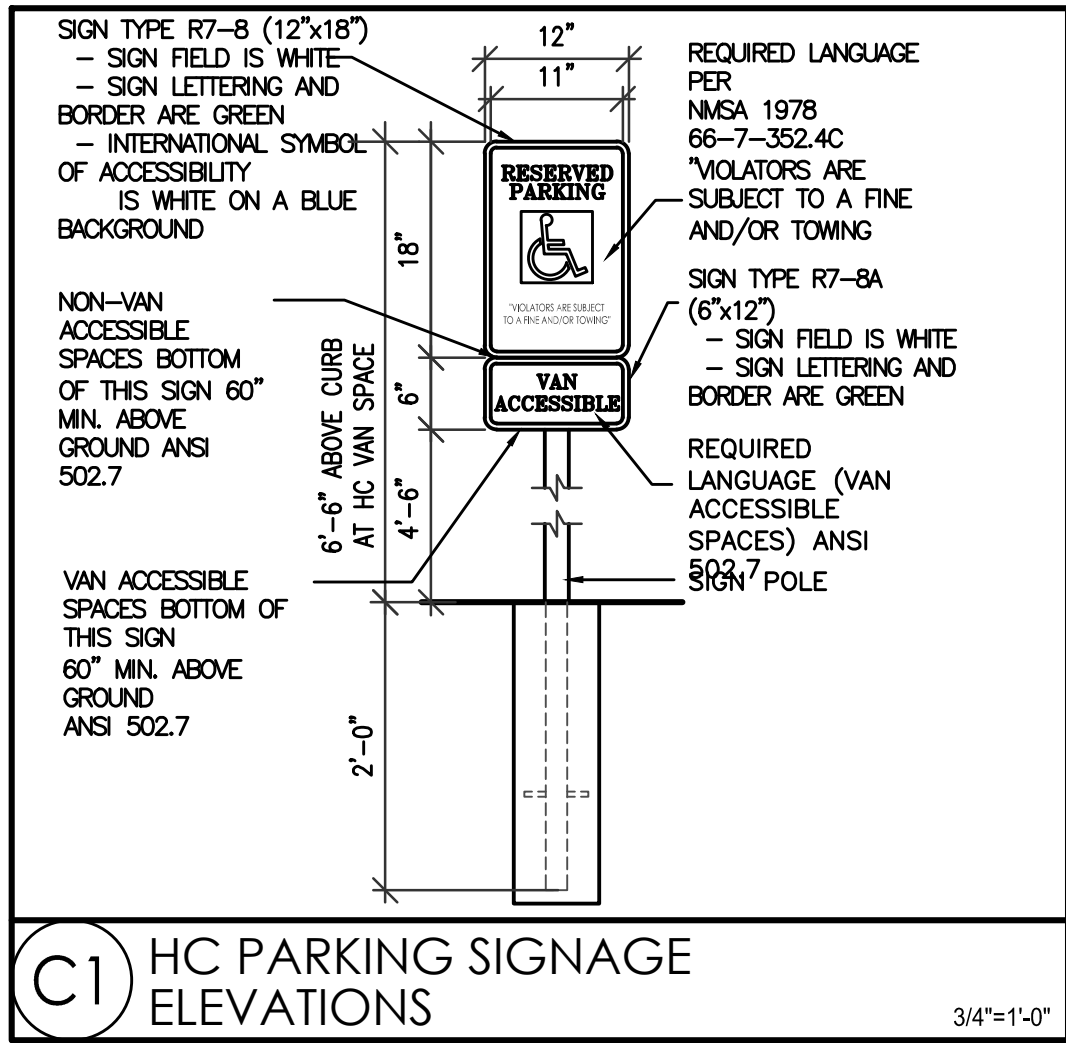
OTHER (SPECIFY) _____

DATE SUBMITTED: 3/19/2018 By: Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP - F-17-Z
N.T.S.

LEGAL DESCRIPTION:

TRACT B-3 LANDS OF ROAD RUNNER INVESTORS

KEYED NOTES

- EXISTING CONCRETE CURB AND GUTTER TO REMAIN. NO WORK.
- EXIST. CONC. SIDEWALK. NO WORK.
- EXIST. ASPHALT PAVING. NO WORK.
- EXIST. CONCRETE PAD. NO WORK.
- EXIST. RETAINING WALL. NO WORK.
- EXIST. CONCRETE RUN DOWN. NO WORK.
- EXIST. LANDSCAPING AREA. NO WORK.
- EXIST. CHAIN LINK FENCE ON PROPERTY LINE. NO WORK.
- EXIST. CHAIN LINK GATES. NO WORK.
- EXIST. SIGN. NO WORK.
- EXIST. POWER POLE. NO WORK.
- EXIST. DRAINAGE POND. REF. GRADING AND DRAINAGE PLAN FOR WORK TO BE DONE.
- EXIST. CELL TOWER. NO WORK.
- EXIST. STACKED BLOCK RETAINING WALL TO BE REMOVED.
- EXIST. CONC. RUN DOWN TO BE REMOVED.
- EXIST. ROLL OFF DUMPSTER ON NEW 4" THICK CONC. SLAB WITH #3 AT 12" O.C. EA. WAY. 3000 PSI CONC. MIN. NOTE: SAW CUT EXIST. ASPHALT PAVING AS REQUIRED.
- SAW CUT EXIST. ASPHALT 4" MIN. BEYOND NEW BUILDING OUTLINE AND REMOVE AS REQUIRED. REF. ARCH PLANS.
- NEW CMU RETAINING WALL. PART OF NEW BUILDING FOUNDATION SYSTEM. REF. FOUNDATION PLAN AND DETAILS.
- NEW CMU RETAINING WALL WITH GUARDRAIL. REF. FOUNDATION PLAN AND DETAILS. NOTE: SAW CUT EXIST. ASPHALT PAVING AS REQUIRED.
- NEW CONC. RUN DOWN. REF. GRADING AND DRAINAGE PLAN AND DETAILS.
- (2) HOUR FIRE-RATED WALL. REF. ARCH PLANS.
- 2 INCH WIDE WHITE PAINTED PARKING STRIPES. PER C.O.A. STANDARDS.
- CONC. WHEEL STOP. TYP.
- NEW FIRE HYDRANT. (3 NEW F.H. REQUIRED).
- NEW LANDSCAPING AREA.
- NEW LANDSCAPING AT EXISTING PONDING AREA.
- NEW 5' WIDE LANDSCAPING AREA. REF. LANDSCAPING PLAN.
- ACCESSIBLE SYMBOL PER C.O.A. STANDARDS.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS. 12" HIGH x 2" WIDE. LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.8 NMSA 1978).
- HANDICAP ACCESSIBLE SIGNAGE PER C.O.A. REQUIREMENTS.
- BICYCLES RACK. FOR 2 BICYCLES MIN.
- (1) MOTORCYCLE PARKING SPACE REQUIRED.
- MOTORCYCLE PARKING SIGNAGE PER C.O.A. REQUIREMENTS.
- PREMISE ID TO BE 12 INCH HIGH NUMERALS. 1" STROKE ON A CONTRASTING BACKGROUND.
-

LANDSCAPING CALCULATIONS

NEW AND EXISTING BUILDING AREAS: 19,540 S.F.

LOT AREA: 1.46 ACRES = 63,599.67 S.F.

63,660 - 19,540 = 44,120 S.F. x 15% = 6,618 S.F.

LANDSCAPING REQUIRED: 6,618 S.F.

LANDSCAPING PROVIDED: 6,620 S.F.

PARKING CALCULATIONS

OFF STREET PARKING REQUIRED:

OFFICE: 1 SPACE PER 200 S.F. = 1,540 S.F./200 = 8 SPACES
WAREHOUSE: 1 PER 2,000 S.F. = 18,000 S.F. = 9 SPACES

TOTAL PARKING REQUIRED: 17 SPACES (1 H.C. ACCESSIBLE SPACE)
TOTAL PARKING PROVIDED: 1 H.C. SPACE + 17 REGULAR SPACES = 18

MOTORCYCLE PARKING REQUIRED:

17 TOTAL OFF STREET PARKING REQUIRED:
1-25 SPACES = 1 MOTORCYCLE PARKING SPACES REQUIRED, 1 PROVIDED

BICYCLE PARKING REQUIRED:

NON-RESIDENTIAL USE: 1 SPACE FOR EACH 20 REQUIRED PARKING SPACES:
17 PARKING SPACES = 1 BICYCLE PARKING SPACE REQUIRED
1 BICYCLE PARKING SPACES

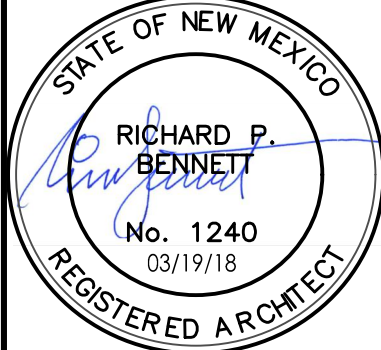
ENCHANTMENT CARPET ADDITION

SITE PLAN

4815 MCLEOD RD NE
ALBUQUERQUE, NM 87109

PROJECT #1801

REVISION DATE



RBA
ARCHITECTURE PC
PLANNING
DESIGN

1111 1/2 Ave. NE
Albuquerque, NM 87102
505.268.1111
www.rba1.com

DATE

03-19-2018

SHEET NUMBER

AS-1.0