

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 7, 2020

Morey Walker, P.E.
Walker Engineering
905 Camino Sierra Vista
Santa Fe, NM 87505

**RE: Ryan's Sewing & Vacuum
5011 San Mateo Blvd NE
Grading & Drainage Plan
Engineer's Stamp Date: 03/12/20
Hydrology File: F17D103**

Dear Mr. Walker:

PO Box 1293

Based upon the information provided in your resubmittal received 04/01/2020, the Grading & Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also as a reminder, please provide Drainage Covenant for the stormwater quality ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



Walker Engineering

Morey Walker & Associates Engineering, Inc.

905 Camino Sierra Vista
Santa Fe, NM 87505
(505) 820-7990

March 19, 2020

Renée C. Brissette
Senior Engineer, Hydrology
Planning Department
City of Albuquerque

Ref: Ryan's Sewing and Vacuum
5011 San Mateo Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: No Date
Hydrology File: F17D103

Dear Renée:

Per your March 5, 2020 review of the referenced the Grading & Drainage Plan, we have revised the plans accordingly. The changes are as follows:

1. All missing information from the Grading Plan Checklist. (a, c, d, e, & f) Per the DPM Chapter 22 Section 7 - Grading Plan Checklist have been included on the Grading Plan. The following have been included
 - a. An engineer's stamp with a signature and date.
 - b. The 1" = 20' was used for the scale.
 - c. A Vicinity Map has been provided
 - d. Benchmark information (location, description and elevation) has been shown.
 - e. The FIRM Map and flood plain note with effective date has been noted
 - f. The legal Description of the property has been noted.
2. The procedure for 40 acre and smaller basins as outlined in Chapter 22, Part A of the Development Process Manual (DPM) was used to determine that there is no increase in runoff. See calculations as provided on the plans.
3. The storm water quality (SWQ) volume for this site has been provided to manage the storm water runoff. The depressed areas of the landscaping were used for the SWQ. See the calculations included on the plans. The total provided storm water quality volume for the site has also been noted on the plans.
4. The weir calculations for the curb cuts per the DPM have been provided on the sheet for the two curb cuts.
5. The project total area of disturbance (including the staging area and the work within the adjacent Right-of-Way) will be less than 1 acre. An Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is not required.

6. The Drainage Covenant for the proposed detention ponds per Chapter 17 of the DPM will be provided prior to Permanent Release of Occupancy.

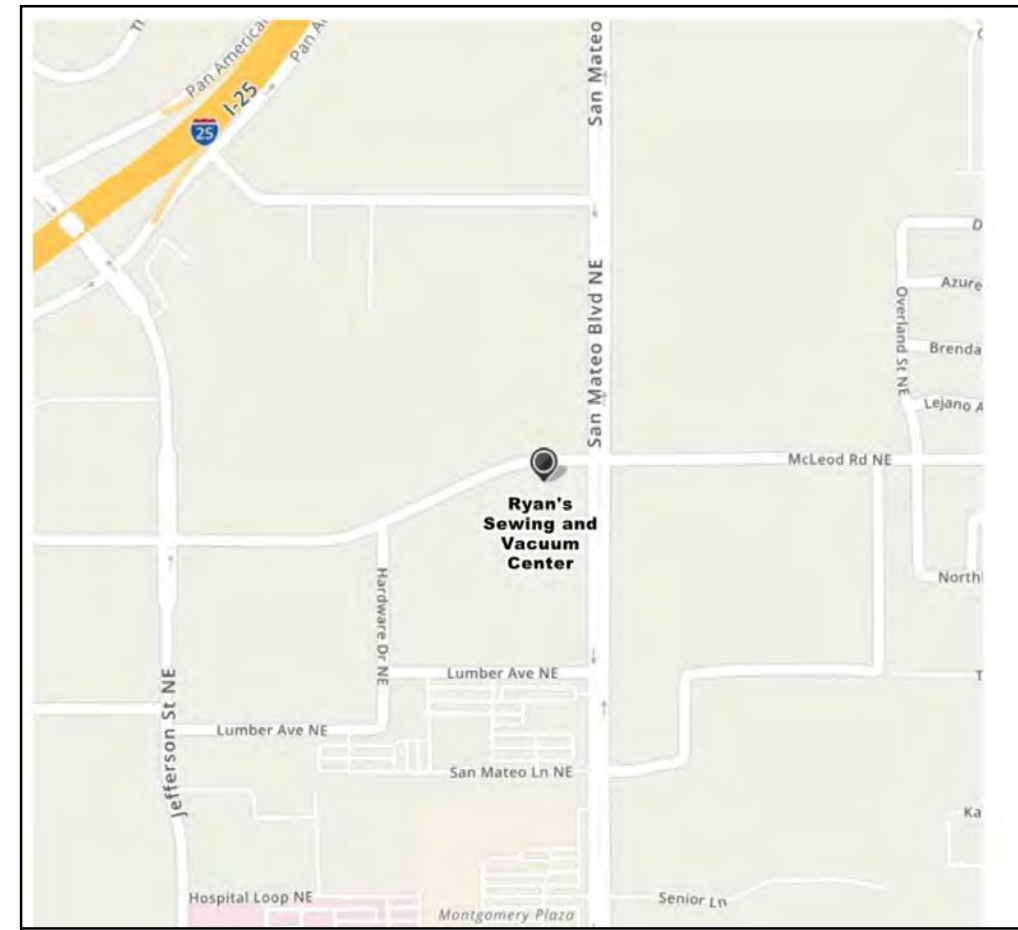
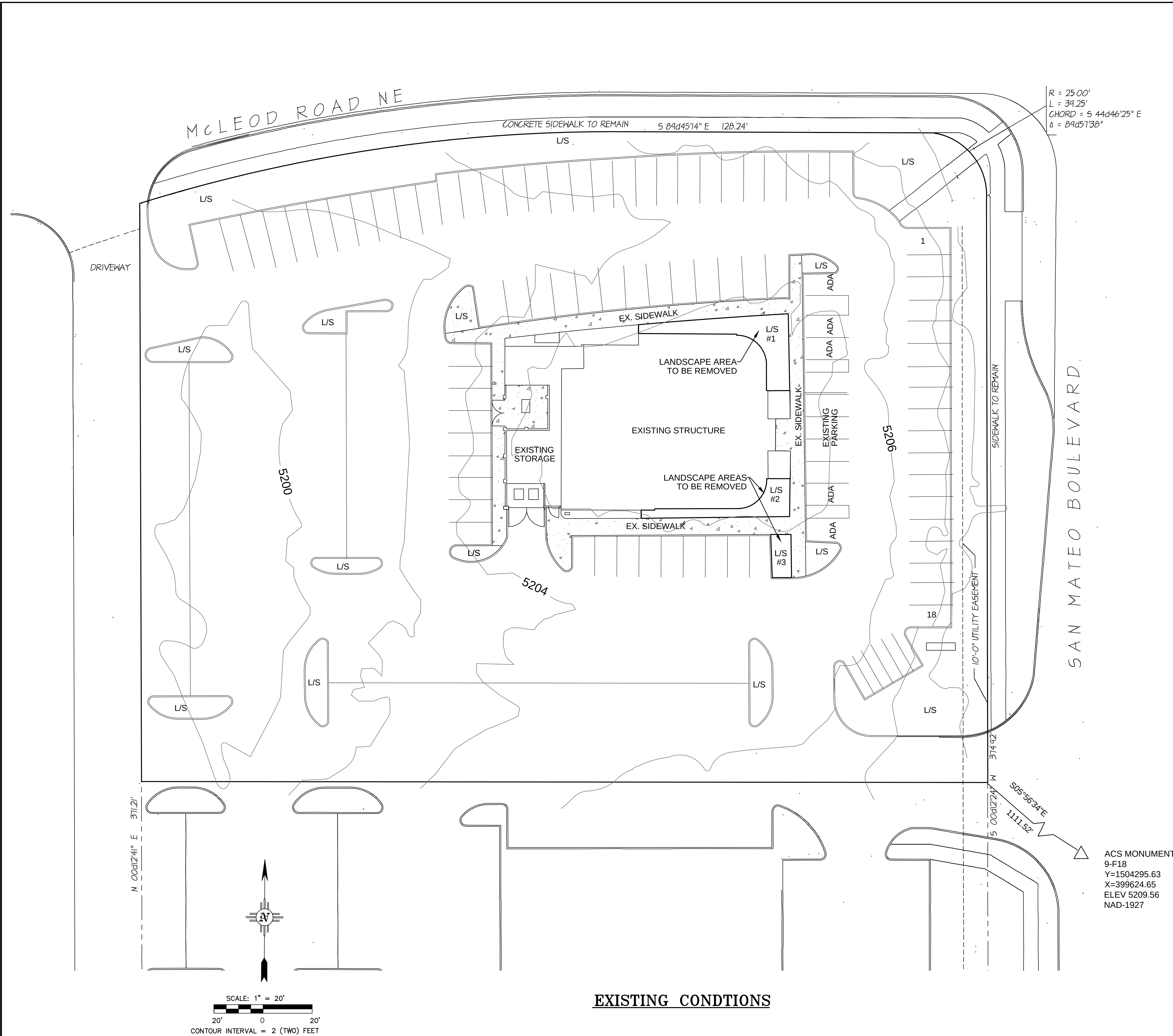
7. The standard review fee of \$150 is included in this resubmittal.

If you have any comments or need further information, please do not hesitate to call be a 505-820-7990 ex1 or email me at morey@walkerengineering.net.

Sincerely,
Walker Engineering

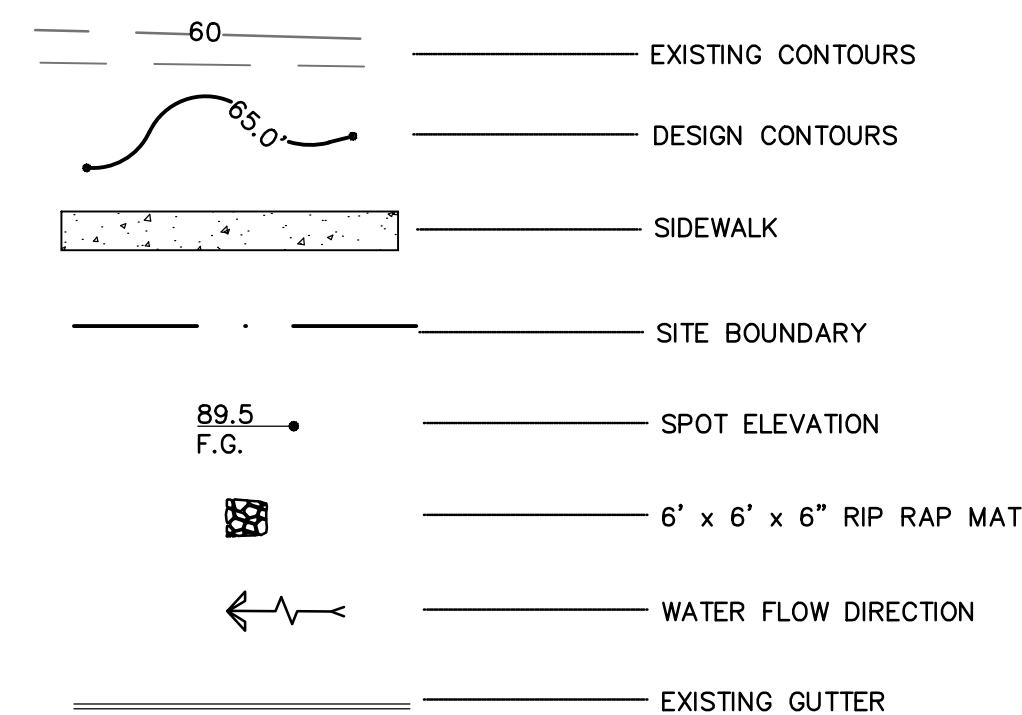
Morey Walker

Morey E. Walker, P.E.
Principal



VICINITY MAP

LEGEND



LEGAL DESCRIPTION

ADDRESS: 5011 SAN MATEO BLVD, NE 87109
LEGAL DESCRIPTION:
TR A-1-A-1 PLAT OF TR A-1-A-1 & A-1-A-2
ALLWOODS SUBDIVISION
PARCEL ID: 1 017 061 505 268 40315

Civil Engineering • Water Resources • Traffic Engineering		W. E. Walker Engineering		905 Camino Sierra Vista, • Santa Fe, NM 87505	
505-820-7990		FAX 505-820-3539		E-MAIL: civil@walkerengineering.net	
PROJECT: 19-221		DESIGNED BY: JRD		JRD	
FILE: 19-221		GRADE		DRAWN BY: JRD	
DATE: 10/21/19		CHECKED BY: M.E.W.		M.E.W.	
SCALE: AS NOTED		3/12/20		AS NOTED	
COUNTY REVIEW		SIGN-OFF		DATE	
DEPARTMENT		LAND USE PLANNER		PUBLIC WORKS DIRECTOR	
S.F. WATER COMPANY		S.F. WATER COMPANY		S.F. WATER COMPANY	
SHEET NO.		C-1		SHEET NO.	

