

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2024

Treveston Elliot, RA  
1317 Stagecoach Rd SE  
Albuquerque, NM

**Re: Bogan Warehouse - 3808 Bogan Ave NE  
TCL  
Architect's Stamp Date 3-12-24 (F17D105)**

Dear Mr. Elliot,

The TCL submittal received 3-12-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Curtis A. Cherne*

Curtis Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Bogan Warehouse **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** 3901 Bogan Ave. NE Albuquerque NM 87109

**Applicant:** Treveston Elliott Architect **Contact:** Treveston Elliott Architect

**Address:** 1317 Stagecoach Road SE

**Phone#:** 505.259.4617 **Fax#:** \_\_\_\_\_ **E-mail:** Treveston@TEArchitect.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 2.26.24 **By:** Treveston Elliott Architect

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

PROJECT SUMMARY

Construct new metal building for future warehouse uses.

PROJECT INFORMATION

PROJECT ADDRESS

3808 Bogan Ave NE  
Albuquerque, New Mexico 87109

APPLICABLE CODES

2023 UAC  
2021 International Building Code  
2021 International Existing Building Code  
2015 IFC  
2021 Uniform Plumbing Code  
2021 Uniform Mechanical Code  
2020 National Electrical Code  
2018 International Energy Conservation Code  
2017 ICC

ZONING

NR-LM

KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2425 SEE DETAIL TCL SHEET
- CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A SEE DETAIL TCL SHEET
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430 SEE DETAIL TCL SHEET
- 6' X 5.75" X 4"H WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETAIL TCL SHEET
- ADA ACCESSIBLE PARKING SIGN SEE DETAIL TCL SHEET
- MOTORCYCLE PARKING SIGN SEE DETAIL TCL SHEET
- BICYCLE RACK SEE DETAIL TCL SHEET
- PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
- PARKING STRIPING 2" WIDE X 2" O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT WITH 3'X3' HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED. ALL STRIPPING IN BLUE
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
- NA
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CoA STD. DTL- 2415
- PROVIDE 4' WIDE ACCESSIBLE PATH (≤2.0% CROSS-SLOPE) ACROSS THE EXISTING DRIVE ENTRANCE WITH TRUNCATED DOMES AT EACH END.
- ALL INTERNAL RAMPS TO ADA ACCESSIBLE MAX SLOPE 1:12 WITH MAX 2% CROSS SLOPE LANDING AREA MIN. 5'X5' SEE CoA DWG 2430

LEGEND

- PROPERTY LINE
- NEW CONCRETE
- LANDSCAPE AREA

PARKING REQUIREMENTS per 14-16-5-5

Assumed Use Most Restrictive	
1/1,000 GSF (Warehouse)	5,500 = 5.5
3.5/1,000 GSF (Office)	1,500 = 5.25
Total Spaces required	= 11
ADA (1 per Building)	= 1
Motorcycle	= 1
Bicycle	= 2
Total Spaces Required	= 11
Total Spaces Provided	= 14

PROJECT AREA Table 503

VANILLA SHELL = 7,000 Sq. Ft. (Non-Sprinkled)

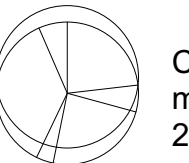

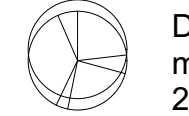


ALLOWABLE AREA = F-1 @ 15,500 sq.ft./ 2 Stories per tables 504.4 / 506.2

MINIMUM LANDSCAPE per 14-16-5-6

Site Area 23,277 sq.ft.  
Building Footprint 7000 sq.ft.

Landscape Area Required 23,277 sq.ft.  
15% of 16,277 sq.ft. = 2,442 sq.ft.  
Landscape Area Provided: = 2,742 sq.ft.

Plant Material- see LS-101 for details

- |  |   |
|--|---|
|  Chitalpa mature 15' spread 20' hgt.      |  Fountain Grass - Symbol = 3 plants mature 2' spread 3' hgt. |
|  Desert Willow mature 15' spread 20' hgt. |  Apache Plume - Symbol = 2 plants mature 4' spread 3' hgt.   |
|  |  Russian Sage - Symbol = 2 plants mature 4' spread 4' hgt.   |

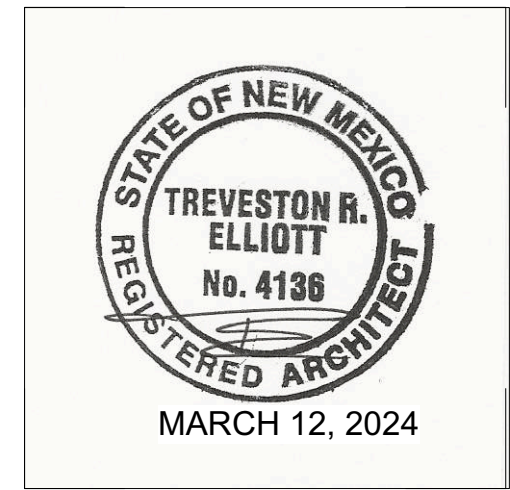
Irrigation System  
Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

TREVESTON ELLIOTT  
ARCHITECT

Metal Building

3808 Bogan Ave. NE  
ALBUQUERQUE, NEW MEXICO

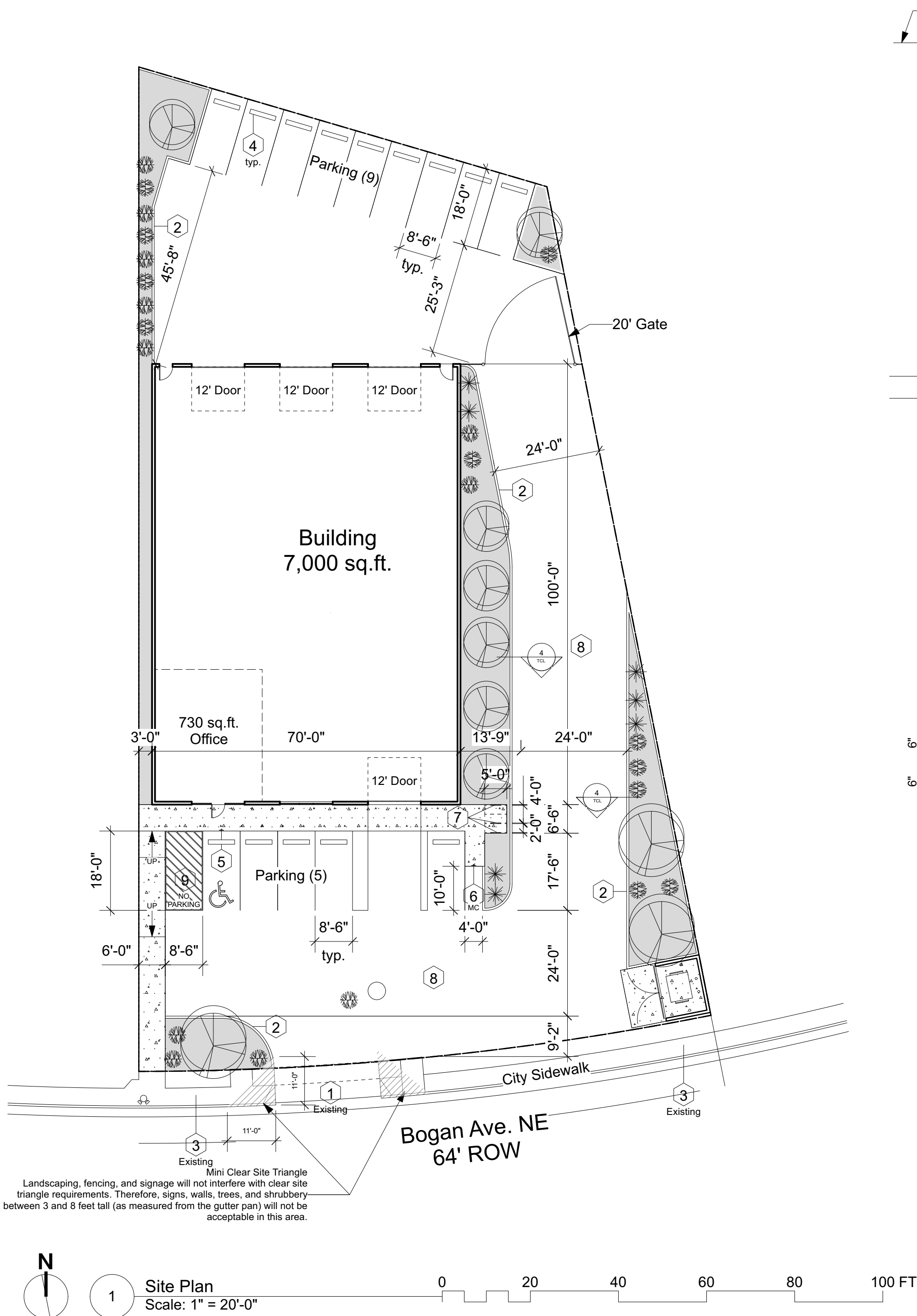
811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102  
C 505.259.4617  
treveston@earthlink.net  
www.earthlink.net



Date: MARCH 12, 2024

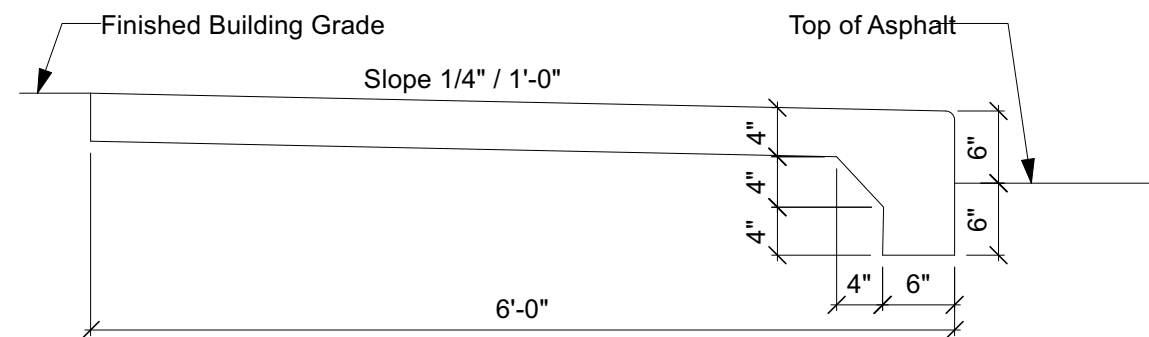
Sheet: TCL

TCL



TRAFFIC CIRCULATION  
LAYOUT APPROVED

*Curtis A. Cherna* 3-13-24  
Signed Date

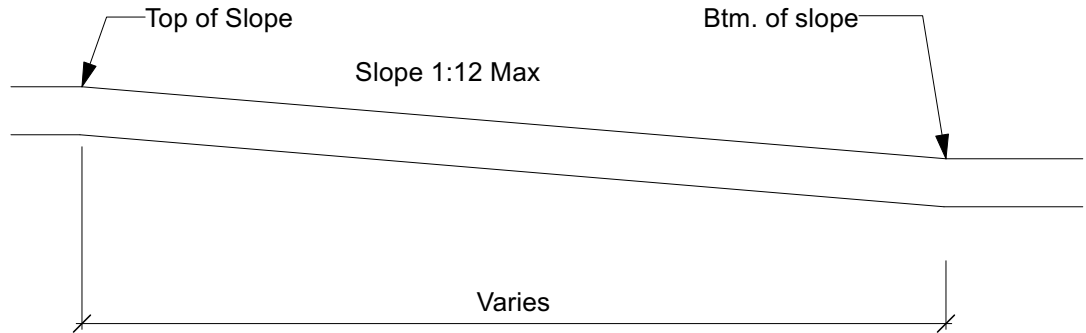


2 Sidewalk Detail  
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.

Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans.

1/2" Expansion joints shall be installed where walk abut rigid structures.

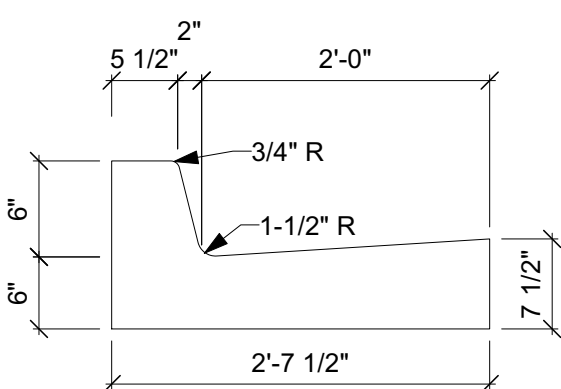


3 Standard Ramp Detail  
Scale: 3/4" = 1'-0"

Width per Plan  
Per CoA std. dwg 2430 maximum cross slope of 2%

Concrete walks shall have contraction joints at 6' o.c. Intervals.

1/2" Expansion joints shall be installed where walk abut rigid structures.

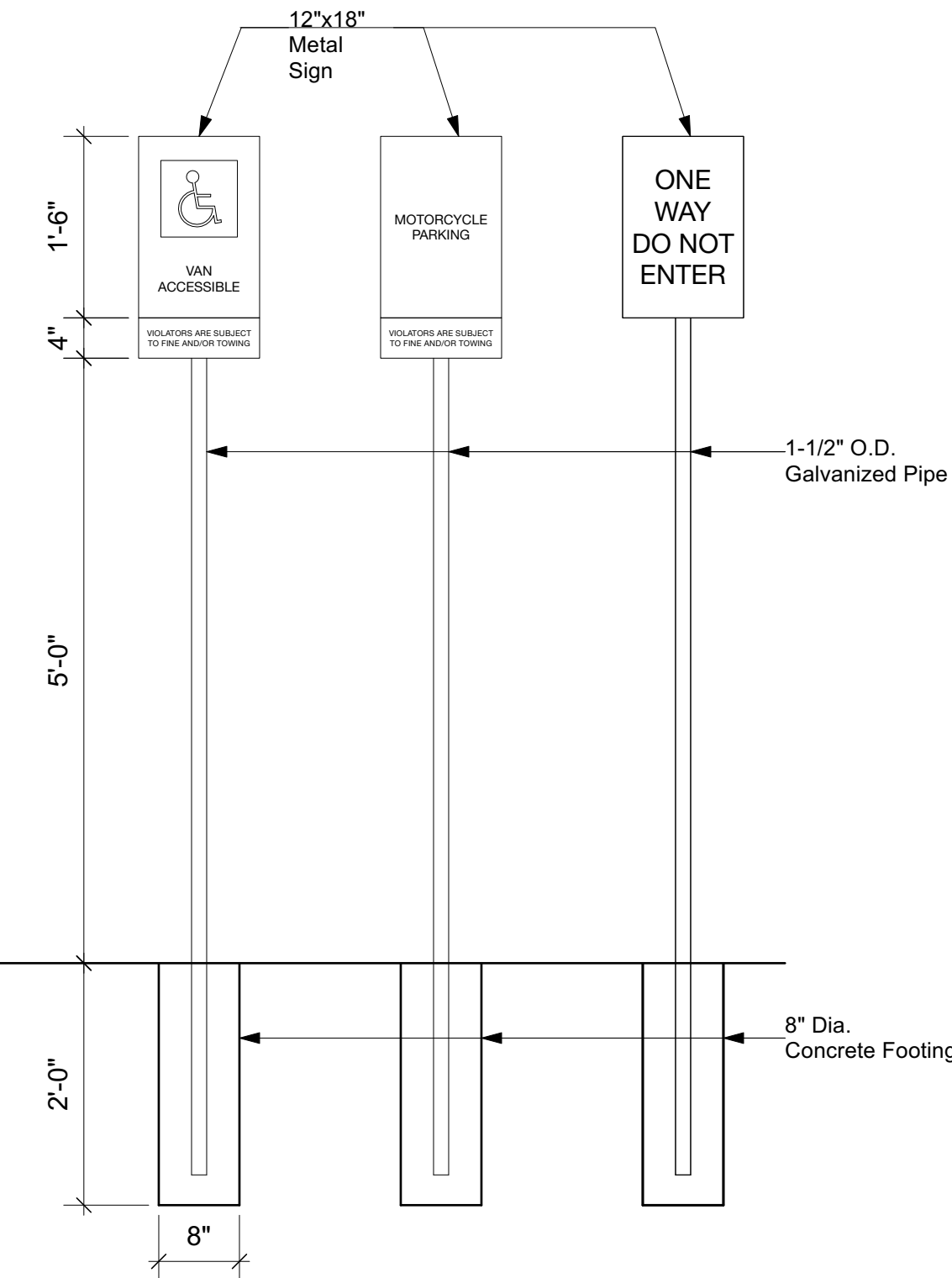


4 Curb Detail  
Scale: 3/4" = 1'-0"

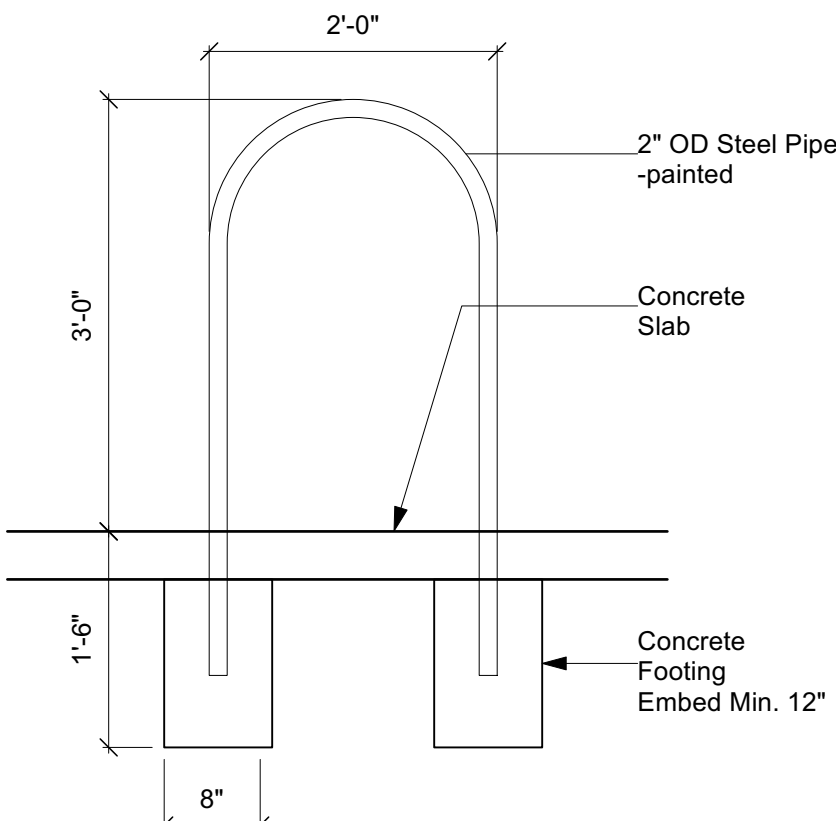
Per CoA std. dwg 2415A Provide 1/2" Expansion joints at 36" o.c. at immovable objects and at the beginning and end of curves

Provide contraction joints at 6' o.c.

All exposed concrete corners to have 3/4" radius.

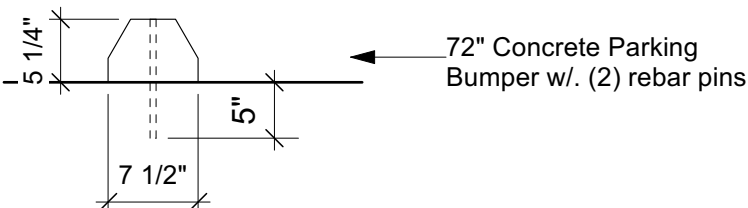


7 HC / Motorcycle / One Way Sign Detail  
Scale: 3/4" = 1'-0"

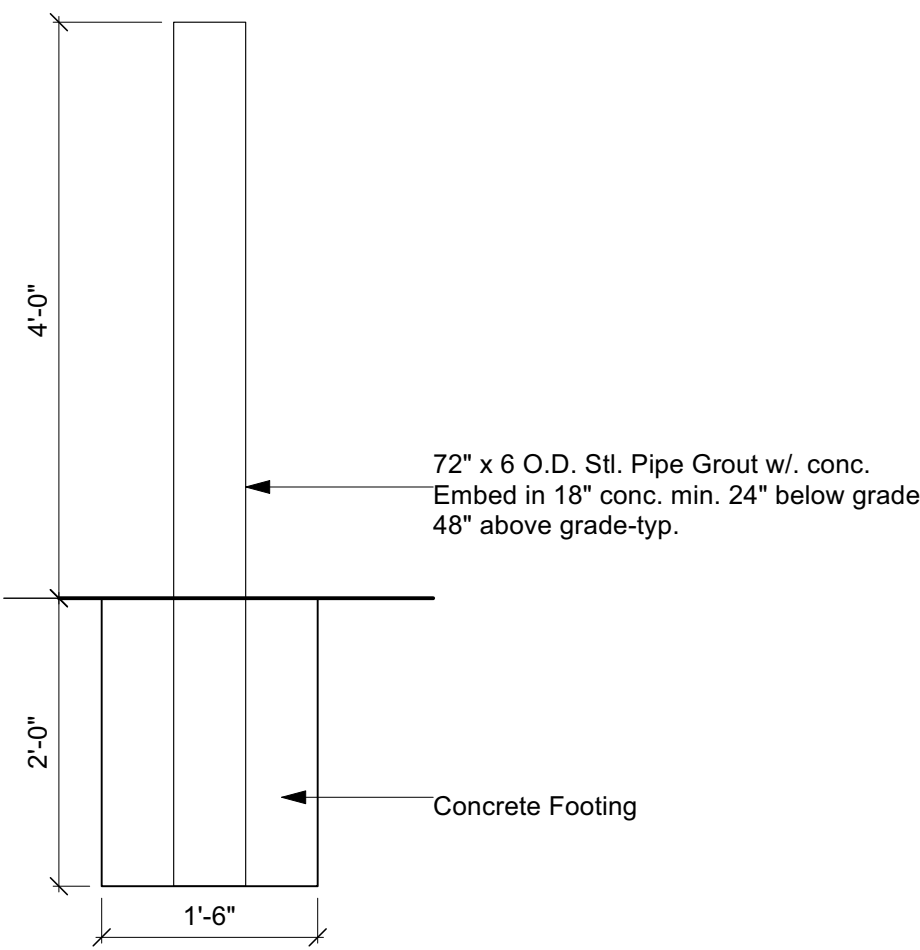


5 Bike Rack Detail  
Scale: 3/4" = 1'-0"

Rack: min. 3'-0" tall 2'-8" wide  
U- Shape allows multiply place of attachment  
Upright Support  
Varying frame sizes accommodated  
No lift Attachment  
4'-0" min btwn. racks  
Rack Centered on concrete pad



6 Parking Bumper  
Scale: 3/4" = 1'-0"



8 Bollard  
Scale: 3/4" = 1'-0"

LANDSCAPE COVERAGE

TREE CANOPIES AND GROUND LEVEL PLANTS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION. OF THE REQUIRED VEGETATIVE COVERAGE, A MINIMUM OF 25 PERCENT SHALL BE PROVIDED AS GROUND-LEVEL PLANTS(SHRUBS, GRASSES, ETC.) AS MEASURED OF THE MATURE SIZE OF THE ACTUAL VEGETATION. ALL

TREES

(2) 15' DIAMETER NEW MEXICO OLIVE TREES = 528 SQ.FT.

OTHER PLANTS

(7) 12' DIAMETER DESERT WILLOW = 826 SQ.FT.  
(27) 1' DIAMETER FOUNTAIN GRASS = 22 SQ.FT.  
(19) 4' DIAMETER APACHE PLUME = 238 SQ.FT.  
(19) 4' DIAMETER RUSSIAN SAGE = 238 SQ.FT.

REQUIRED PLANT COVERAGE = 1,852 SQ.FT.  
PROVIDED PLANT COVERAGE = 1,831 SQ.FT.