

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 7, 2025

Birkie Ayer, P.E.  
Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730

**RE: Lexus Parking Lot  
4849 Pan American Fwy NE  
Grading & Drainage Plan  
Engineer's Stamp Date: 1/30/25  
Hydrology File: K17D107**

Dear Mr. Ayer:

PO Box 1293

Based upon the information provided in your submittal received 2/6/2025, the Grading and Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



GRADING NOTES

- CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMP'S WITH SITE INSPECTOR.
- A. DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.
- B. THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:
- A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)
  - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSED OF AS SOLID WASTE
  - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF, AND MORE THAN 50 FEET AWAY FROM
  - A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.
- C. PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.
- D. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.

TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 911. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH TCEQ REQUIREMENTS.

FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4'-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.

SPOT GRADES SHOWN ARE FINISHED SURFACE ELEVATIONS. CONTRACTOR MUST MAKE ALLOWANCE FOR PAVEMENT THICKNESS.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, THE TOP 12" SHALL BE CONSTRUCTED FROM BRICK OR BLOCK TO ALLOW ADJUSTMENTS TO FINAL GRADE.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, NO WAFFLE WALL BOXES OR ROCK OUT PANELS WILL BE ALLOWED.

M.E.G. = MATCH EXISTING GRADE

CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND FILING NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

EROSION & SEDIMENT CONTROL NOTES

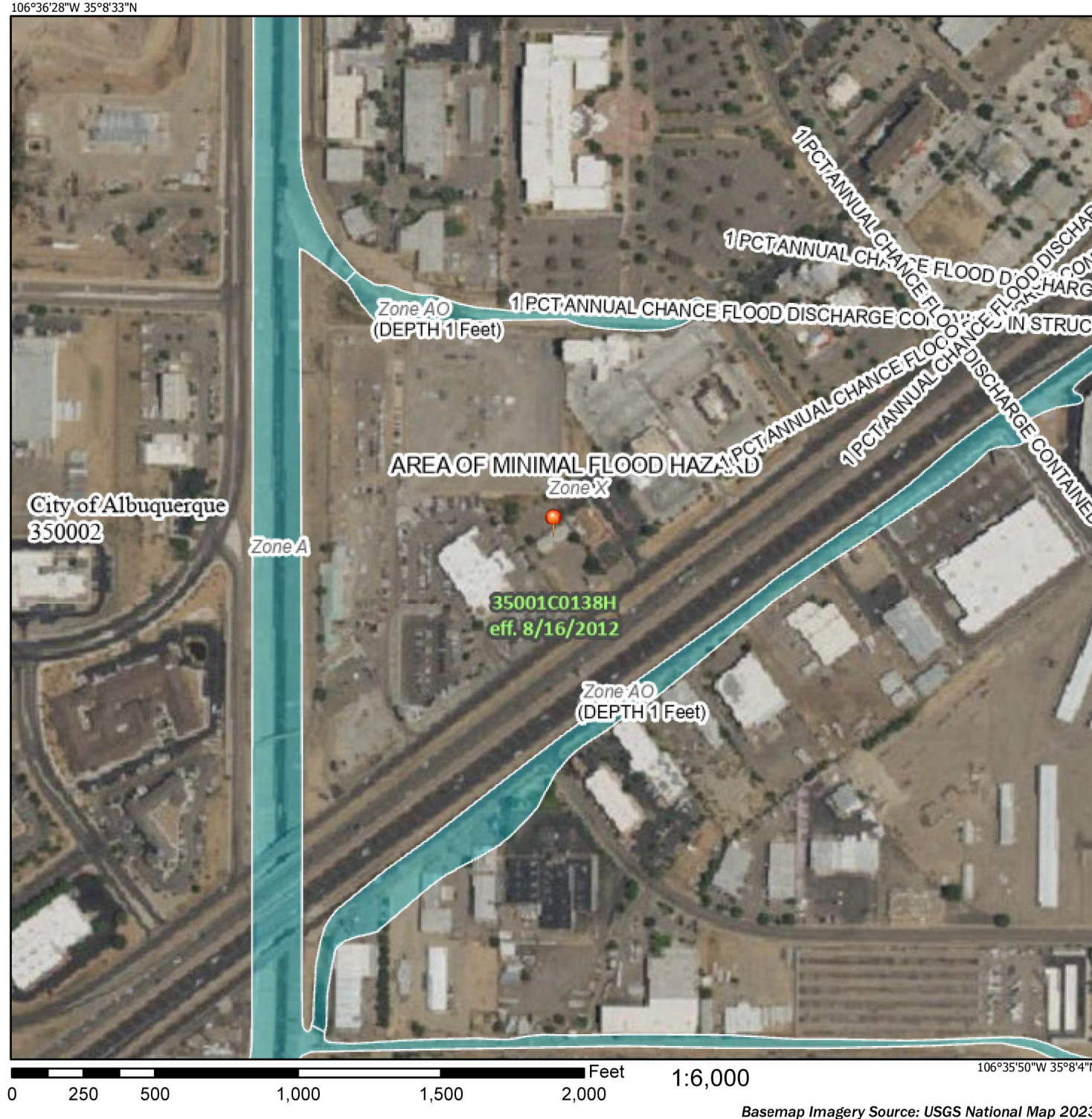
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PREPARE AND PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO
4. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
5. SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
6. SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
7. THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT AT THE END OF EACH DAY.
8. CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
9. CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
10. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
11. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
12. PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
12. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CONSTRUCTION NOTES

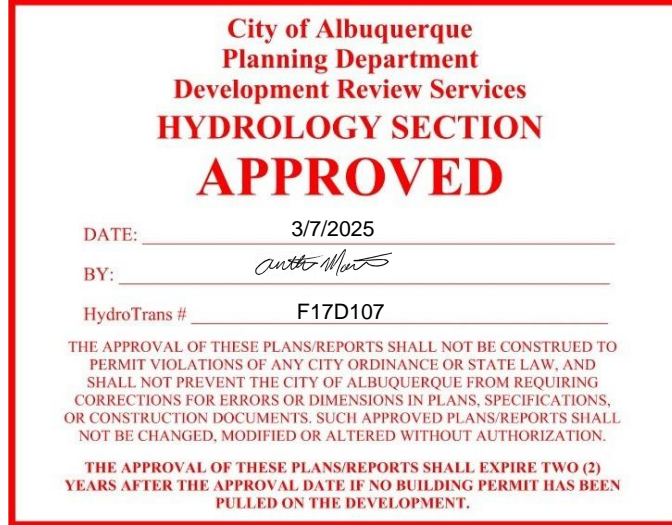
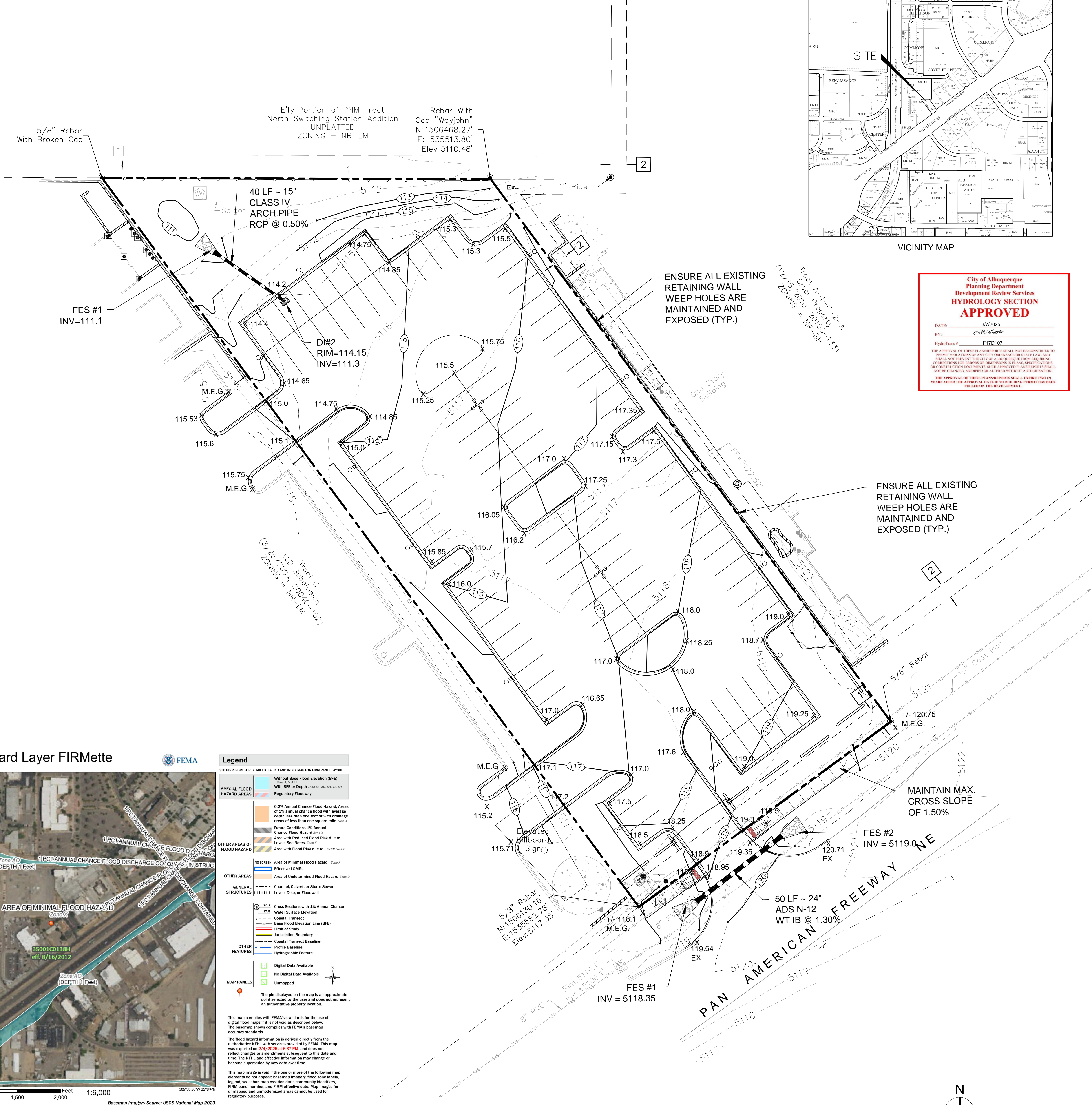
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ONSITE SURFACE EVIDENCE. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 2006020450). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN, IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. ALL LANDSCAPE AND PAVED AREAS ADJACENT TO THE BUILDING SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE.

LEGEND	
	PROPERTY CORNER
	CENTER LINE
	PROPERTY LINE
	RIGHT OF WAY
	SEPTIC TANK
	WATER METER
	CATV
	TELEPHONE PEDESTAL
	POWER POLE
	ELECTRICAL BOX
	BENCHMARK
	FIRE HYDRANT
	WATER VALVE
	BLOW OFF
	SANITARY SEWER MANHOLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	PROPOSED SWALE
	RIP RAP
	FLARED END SECTION
	STORM DRAIN DROP INLET
	STORM DRAIN JUNCTION BOX
	HANDICAP PARKING SPACE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING OVERHEAD ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	SILT FENCE
	EASEMENT LINE
	INLET PROTECTION
	STORM DRAIN
	TREE SAVE / PROTECTION
	TREE TO BE REMOVED

National Flood Hazard Layer FIRMette



SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.



AYER DESIGN GROUP  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29720  
Phone: 803-328-5858



PROJECT NAME:

LEXUS OF  
ALBUQUERQUE  
INVENTORY LOT

4849 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:

GRADING PLAN

PROJECT #	2023-12
DRAWN BY	CC
CHECKED BY	BA

NO ISSUE/REVISION DATE



## I. INTRODUCTION & EXECUTIVE SUMMARY

Group 1 Automotive, Inc. plans to redevelop this existing commercial site located at 4849 Pan American Freeway NE in Albuquerque, New Mexico. The project consists of removing the existing building and expanding the existing parking lot. The existing site does not have stormwater infrastructure, and the proposed project will increase the existing impervious cover by app. 1,579 SF.

## II. PROJECT DATA

- |    |                            |  |
|----|----------------------------|--|
| A. | Project location:          | 4849 Pan American Fwy. NE                            |
| B. | Legal Description:         | Tract Lettered B, lands of Sandia Upholstery Company |
| C. | FEMA FIRM Panel:           | 35001C0138H, effective 8/16/2012                     |
| D. | Special Flood Hazard Area: | Zone X, Area of Minimal Flood Hazard                 |
| E. | Site Area:                 | 1.22 Acres   |
| F. | UPC#:                      | 101706104727220106                                   |
| G. | Precipitation Zone:        | Zone 2, Between Rio Grande and San Mateo             |

III. Background Documents: The following documents available on GIS were referenced in preparation of this submittal

- A: F16-D19 Rocky Mountain Stone Company Road-Parking Documents: 12-20-1999  
Shows the existing contributing drainage area to the concrete flume to the AMAFCA North  
Division Channel as 6.53 ac with Peak Discharge (Q100/6hr) = 23.04 cfs.
- B: F16-D19 Rocky Mountain Stone Co. Road-Parking Plans
- C: F17-D80 Fuddrucker's Documents: 11-16-1998
- D: F17-D80 Fuddrucker's Plans

#### IV. Existing Conditions

The site was fully developed as a commercial use and parking lot. The former building has been recently removed. The site slopes generally from southeast to northwest with storm water runoff leaving the site via overland flow in a single locations at the NW corner where overland flow discharges into an access road shared by the PNM Electrical Substation and the Rocky Mountain Stone Property. Eventually all of the runoff from this site reaches the AMAFCA North Diversion Channel. Existing slopes range from less than 0.5% to 2.5%. Offsite flows do not impact the site.

## V. Proposed Conditions

The site will be used as parking for the automotive dealership next door. The proposed site will have concrete curb & gutter, paving, lighting and landscaping. Because the impervious area of the site is nearly the same as existing conditions, peak runoff will be essentially unchanged from runoff levels prior to the re-development. One new storm drain inlet is proposed. The site slopes generally from southeast to northwest with storm water runoff leaving the site via overland flow at the same locations as existing conditions. Proposed finish grades range from 1% to 5%. Offsite flows do not impact the site.

## VI. Sediment & Erosion Control

Erosion control measures consisting of silt fence, diversion ditches & a stone construction entrance will be utilized during construction to minimize sediment and dust from leaving the site. Final stabilization will be accomplished by paving and with a vegetative cover established by landscaping and stone mulch cover.

## VII. Calculations

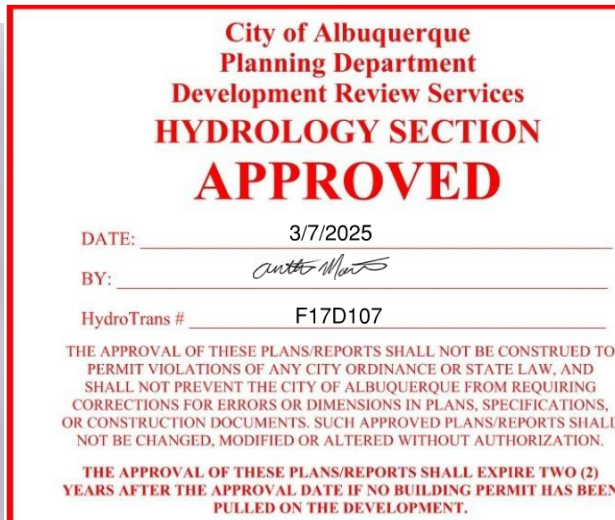
Existing and proposed conditions for the 100-year, 6-hour storm have been prepared for the project limits following the procedure set forth in the Design Process Manual for 40 Acre and smaller basins. As shown by the calculations included, the peak flow rate of runoff leaving the site is very slightly increased due to a small increase in pervious area and a small increase in drainage area.

## VIII. Stormwater Quality

Water quality volume for the 80<sup>th</sup> percentile storm was determined using the Redevelopment criteria of 0.26 inches depth over the total impervious area of the proposed development. The developer has determined that reducing parking area, providing underground detention or limiting the proposed building expansion are undesirable options and has instead elected to make a payment in lieu for the WQV.

## IX. Conclusions

- a. The runoff generated by the proposed improvements will continue to drain via surface drainage to the same discharge location and ultimately to the AMAFCA North Division Channel.
- b. Total runoff is essentially the same with a calculated increase of 0.11 cfs.
- c. Free discharge of runoff from this site at the proposed rate is appropriate and in conformance with previously approved drainage plans.
- d. Onsite measures are not feasible for addressing stormwater quality and detention. So the developer agrees to pay the cash-in-lieu fee.



## HYDROLOGY CALCULATIONS:

Drainage Area 1: EXISTING CONDITION								
Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/AC 100-yr	Q CFS 100-VR	Table 6.2.13 Excess Precip E-100VR-6HR	Volume F*A Ac-In	Volume Ac-Ft
A	0	0	0	1.71	0	0.62	0	0
B	23206	0.533	41.0%	2.36	1.26	0.80	0.43	0.04
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	33421	0.767	59.0%	4.34	3.33	2.33	1.79	0.15
Totals	56627	1.300	100.0%		4.59		2.21	0.18

Drainage Area 1: REVELOPED CONDITION								
Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/yr	Q CFS 100-YR	Table 6.2.13 Excess Precip E-100YR-6HR	Volume E*Ac-In	Volume Ac-ft
A	0	0	0.00	1.71	0	0.62	0	0.00
B	22307	0.512	38.9%	2.36	1.21	0.80	0.4096786	0.03
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	35000	0.803	61.1%	4.34	3.49	2.33	1.271304	0.16
Totals	57307	1.316	100.0%		4.70		2.28	0.19

SUMMARY & COMPARISON OF EXISTING VS. RE-DEVELOPED CONDITION 100-YR, 6-HOUR				
DEVELOPED CONDITION	DA#1 CFS	Q TOTAL CFS	V DA#1 AC-FT	V TOTAL AC-FT
EXISTING	4.59	4.59	0.18	0.18
REDEVELOPED	4.70	4.70	0.19	0.19
	INCREASE	0.11	INCREASE	0.01

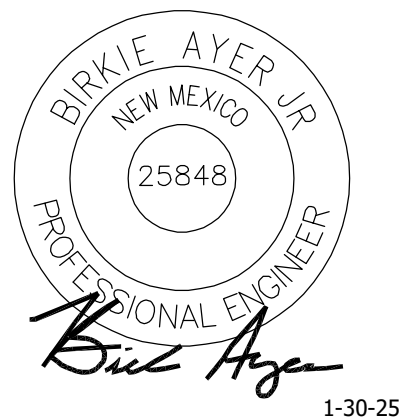
FIRST FLUSH WATER QUALITY VOLUME, WQV						
DRAINAGE BASIN	AREA AC	SF	DEPTH IN	WQV AC-IN	WQV AC-FT	WQV CF
A <sub>01</sub>	0.803	35000	0.26	0.209	0.017	758
Total A <sub>0</sub>	0.803	35000	0.26	0.209	0.017	758

WQV = IMPERVIOUS AREA \* 0.26 IN                      WQV = (A<sub>01</sub>+A<sub>02</sub>) \* 0.26 IN



SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA  
AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL  
NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.

**A** **AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:

LEXUS OF  
ALBUQUERQUE  
INVENTORY LOT

4849 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

**SHEET DESCRIPTION:**

DRAINAGE AREA MAP  
PROPOSED CONDITIONS

PROJECT #		2023-12	
DRAWN BY		CC	
CHECKED BY		BA	
NO	ISSUE/REVISION		DATE

# DA-1



