

Planning Department Transportation Development Services Section

July 2, 2007

Kenneth R. Hovey, Registered Architect 433 Sierra Drive SE Albuquerque, NM 87108

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Taco Bell/Burger King (Ste. B & A), [F-18/ D9]

6060 San Mateo Blvd NE, Ste. A & B Architect's Stamp Dated 06/28/07

Dear Mr. Hovey:

P.O. Box 1293

The TCL / Letter of Certification submitted on June 29, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sin¢erely,

New Mexico 87103

Nilø E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

www.cabq.gov Development and Buil

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

| PROJECT TITLE: TACO BUENO RESTA DRB#: EPC#: | WORK ORDER#: F-18 DOO? |
|--|--|
| LEGAL DESCRIPTION: LOT B SPANIS CITY ADDRESS: 6060 SAN WATED | BIND OBWEANY SIBONISION BIND OB SUITE B B 1109 |
| ENGINEERING FIRM: ADDRESS: CITY, STATE: | CONTACT: |
| OWNER: MTM PROPERTIES ADDRESS: P. D. Box 14903 CITY, STATE: ALDRO, AM 0191 | CONTACT: MR JOSEPH PHONE: 263-6965 ZIP CODE: 37191 |
| ARCHITECT: KENNOVEY ADDRESS: 433 SIEPPA (RIVE SE CITY, STATE: ALBOO, MM | CONTACT: |
| SURVEYOR: ADDRESS: CITY, STATE: | CONTACT: PHONE: ZIP CODE: |
| CONTRACTOR: P.J. CARRELLES ADDRESS: P. P. Box 14903 CITY, STATE: ARBITO AM | CONTACT: PAT PHONE: 263-6965 ZIP CODE: 87191 |
| | CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: YESNOCOPY PROVIDED SUBMITTED BY: | DJUN 2 9 2007 HYDROLOGY SECTION DATE: |

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

| PROJECT TITLE: COROSE KING RESTEAUSION | ZONE MAP/DRG. FILE # 7-13 |
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| | WORK ORDER#: |
| LEGAL DESCRIPTION: LOT B. SPANISH | LAND COMPANT SUBDIVISION BUR, NE SUITE A 87109 |
| CITY ADDRESS: 6060 SAA MATEO | BNP 115 A 8419 |
| ENGINEERING FIRM: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| OWNER: TOW \$ JEFF Mc COLLUM | CONTACT: USF |
| ADDRESS: P. O. Pox 14903 | PHONE: 263-6965 |
| CITY, STATE: ADDITION OF MANAGEMENT OF MANAG | ZIP CODE: 97191 |
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| ARCHITECT: KFW HOVEY | CONTACT: KEN MEY |
| ADDRESS: 433 SIBERA PRIB | 95 PHONE: 259 8458 |
| CITY, STATE: A. A.M. | ZIP CODE: STIDE |
| SURVEYOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| | |
| CONTRACTOR: P.J. DEVISION FINESTAS | CONTACT: # |
| ADDRESS: Poly 14903 | PHONE: <u>263 8965</u> |
| CITY, STATE: ALCO, NA | ZIP CODE: |
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| TYPE OF SUBMITTAL: | CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE |
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| CONCEPTUAL G & D PLAN | S. DEV. FOR BLDG. PERMIT APPROVAL |
| GRADING PLAN | SECTOR PLAN APPROVAL |
| EROSION CONTROL PLAN | FINAL PLAT APPROVAL |
| ENGINEER'S CERT (HYDROLOGY) | FOUNDATION PERMIT APPROVAL |
| CLOMR/LOMR | BUILDING PERMIT APPROVAL |
| TRAFFIC CIRCULATION LAYOUT | CERTIFICATE OF OCCUPANCY (PERM) |
| ENGINEER/ARCHITECT CERT (TCL) | CERTIFICATE OF OCCUPANCY (TEMP) |
| ENGINEER/ARCHITECT CERT (DRB S.P.) | GRADING PERMIT APPROVAL |
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| OTHER (SPECIFY) | WORK ORDER APPROVAL |
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| | |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: | 1121 |
| YES | JUN 2 9 2007 |
| NO | |
| COPY PROVIDED | HYDROLOGY SECTION |
| STIBATTED BY. KAN HOVEY | DATE: 6-29-07 |

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

KEN HOVEY, ARCHITECT 433 SIERRA DRIVE SE ALBUQUERQUE, NEW MEXICO 87108 PHONE: (505) 259-8458

June 28, 2007

City of Albuquerque Transportation Department 600 Second Street NW

Subject: Architect's TCL Certification for Burger King Restaurant, 6060 San Mateo Blvd. NE, Suite A and Taco Bueno Restaurant, 6060 San Mateo Blvd. NE, Suite B, Albuquerque, NM 87109.

I, Ken Hovey, prepared the Traffic Circulation Layout (TCL) for the subject projects located at 6060 San Mateo Blvd. NE, Suites A and B, and more particularly described as Lot B, Spanish Land Company Subdivision..

I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the approved TCL dated 12/5/06.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

This Architect's certification is submitted in support of issuance of a Certificate of Occupancy for the subject addresses.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 259-8458 or by email at ken_hovey@msn.com.

COF NEW ME

Sincerely,

Ken Hovey



June 26, 2007

Jake Bordenave, P.E.

Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87109

Sució R&B

Re: Burger King, 6060 San Mateo Blvd. N.E., Lot B Spanish Land Company,

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 11/29/2006 (F-18/D009)

Certification dated 06/25/2007

Based upon the information provided in your submittal received 06/26/2007, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Timothy Sims

Sincerely.

Plan Checker, Planning Dept.

New Mexico 87103

Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala

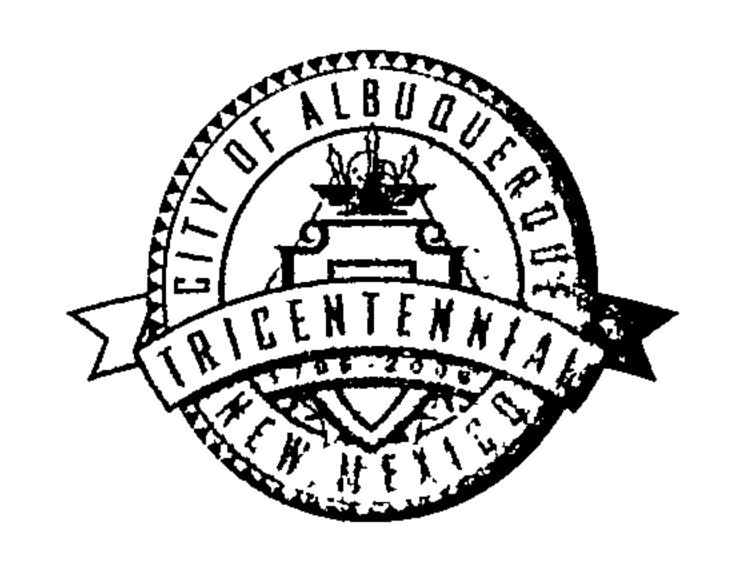
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

| PROJECT TITLE: BURGER KING | | ZONE MAI | |
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| DRB#: EPC#: | W | ORK ORDER#: | |
| LEGAL DESCRIPTION: Lot B, Spanish | Land Company | | |
| | (a) Osuna Rd NE | | |
| CITTADDICEOD | (co, Obuille 1ttl 1ttl | <u> </u> | |
| ENGINEERING FIRM: Bordenave Designs | | CONTACT: | J. Bordenave |
| ADDRESS: PO Box 91194 | | PHONE: | 823-1344 |
| CITY, STATE: Albuquerque, NM | | ZIP CODE: | 87109 |
| | | | |
| OWNER: Burger King | <u> </u> | CONTACT: | P. Joseph |
| ADDRESS: PO Box 14903 | <u> </u> | PHONE: | <u>263-6965</u> |
| CITY, STATE: <u>Albuquerque, NM</u> | <u> </u> | ZIP CODE: | 8/191-4903 |
| ARCHITECT: Ken Hovey | | CONTACT: | K. Hovey |
| ARCHITECT. Refi Hovey ADDRESS: 3808 Simms Ave. SE | | PHONE: | 259-8458 |
| CITY, STATE: Albuquerque, NM | | ZIP CODE: | 87108 |
| OILL, DITTID | | | |
| SURVEYING FIRM: Hall Surveying, Inc. | LIC | ENSED SURVEYOR | : Cliff |
| ADDRESS: 12805 Menaul Blvd. N | E | PHONE: | 292-6727 |
| CITY, STATE: <u>Albuquerque, NM</u> | | ZIP CODE: | 87112 |
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| | TITOTO TITOTO | TENICIE NIO | DATE |
| PROFESSIONAL LICENSED SURVEYOR SIGNA | I UKE LIC | CENSE NO. | DAIL |
| CONTRACTOR: P J Development | | CONTACT: _ | |
| ADDRESS: <u>PO Box 14903</u> | | PHONE: | 263-6965 |
| CITY, STATE: <u>Albuquerque, NM</u> | | ZIP CODE: | <u>87191-4903</u> |
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| TYPE OF SUBMITTAL: | | NCIAL GUARANTE | |
| DRAINAGE REPORT | | IARY PLAT APPROV | |
| DRAINAGE PLAN 1 st SUBMITTAL | | LAN FOR SUB'D API | |
| DRAINAGE PLAN RESUBMITTAL | | OR BLDG. PERMIT A | |
| CONCEPTUAL G & D PLAN GRADING PLAN | | LAN APPROVAL | |
| EROSION CONTROL PLAN | | AT APPROVAL | |
| xENGINEER'S CERT (HYDROLOGY) | | TION PERMIT APPRO | OVAI. |
| CLOMR/LOMR | | FERMIT APPROVA | |
| TRAFFIC CIRCULATION LAYOUT | | ATE OF OCCUPANO | |
| ENGINEER'S CERT (TCL) | | PERMIT APPROVA | |
| ENGINEER'S CERT (DRB SITE PLAN | | ERMIT APPROVAL | |
| OTHER (SPECIFY) | , | DER APPROVAL | |
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| WAS A PRE-DESIGN CONFERENCE ATTENI | ED: | | |
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| xNO | | B 0 10 1 0 | |
| COPY PROVIDED | | 1111 | ODMENT SECTION |
| DATE SUBMITTED: June 25, 2007 | BY: Jak | ce Bordenave LAND D | EVELOPMENT SECTION |
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- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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December 5, 2006

Ken Hovey, R.A. 3808 Simms Ave. SE Albuquerque, NM 87108

Re:

Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE, Traffic

Circulation Layout

Architect's Stamp dated 11-28-06 (F18-D9)

Dear Mr. Hovey,

The TCL submittal received 11-30-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza

www.cabq.gov

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Del Sol Building.

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

1/5

CC:

file

RESUBMITAL

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

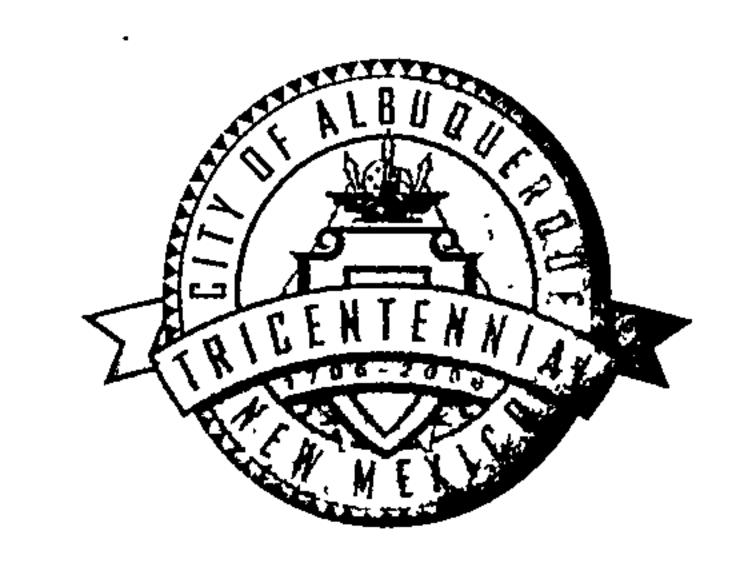
| PROJECT TITLE: BARGGEL / 116 THEO BELL ROSSTA DRB#: EPC#: | WANTSZONE MAP/DRG. FILE # F18/D9 WORK ORDER#: |
|---|---|
| LEGAL DESCRIPTION: LOT B SAN WAR | LAND COMPANY SUBPRISION |
| ENGINEERING FIRM: ADDRESS: CITY, STATE: | CONTACT: PHONE: ZIP CODE: |
| OWNER: MANAGERIAN ADDRESS: CITY, STATE: AWA | CONTACT: MIR DOCEDO PHONE: 263 695 ZIP CODE: 27191 |
| ARCHITECT: WENT TO WENT ADDRESS: 300 SWAWS SECITY, STATE: AM | CONTACT: 130/25 PHONE: 34 370/25 ZIP CODE: 67108 |
| SURVEYOR: ADDRESS: CITY, STATE: | CONTACT: PHONE: ZIP CODE: |
| CONTRACTOR: P.O. BOX 14003 CITY, STATE: AM | CONTACT: PAT PHONE: 934 6965 ZIP CODE: 3719) |
| TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER/ARCHITECT CERT (TCL) ENGINEER/ARCHITECT CERT (DRB S.P.) ENGINEER/ARCHITECT CERT (AA) OTHER (SPECIFY) | CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL OUTPON CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: YESNOCOPY PROVIDED SUBMITTED BY: | OTHER (SPECIO) E I V E NOV 3 0 2006 HYDROLOGY SECTION DATE: N-20-00 |

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| (505) 761-8100 | WASTE DISPOSAL | |
|--|---|--|
| A final inspection by the | he plan checker of the Salid Manda A | |
| eruse container(s) shall let An inspection by the or | he plan checker of the Solid Waste Management Department (SWMD) is required. Required | |
| ale action by title 2 | WMD plan checker is required before the concrete slab or apron is poured. ovide their own refuse container(s). | |
| e e e e e e e e e e e e e e e e e e e | east thirty (30) days prior to occupancy to start service. | |
| Proposed construction | 1 1 1/1 1/2 1/2 1/2 1/2 1/2 1/2 1/2 1/2 | |
| -1980, as amended). | Ordinance (Ordinance) | |
| ANS DISAPPROVED ANS APPROVED | | |
| TOVED //L | chael Areton 76/-8142 DATE 9/8/06 | |
| | PLANS CORRECTIONS REQUIRED: (INDICATE ORDINANCE SECTION REFERENCE) | |
| 200 | AND SECTION REFERENCE) | |
| alas for prep | our magaction 100 | |
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| elso requires | our inspection, see enclosure specs on back C-1 | |
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| elso requires | anitary sewer drain | |
| elso requires | | |
| elso requires | | |
| elso requires | TIONAL BUILDING CODE | |

BUILDING CONFEDITION AG.

PLANS A



December 4, 2006

Jean Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199-1194

Re: Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE, Grading and Drainage Plan

Engineer's Stamp dated 11-29-06 (F18-D9)

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 11-30-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be

required.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Kristal D. Metro, P.E.

Sincerely,

www.cabq.gov

Senior Engineer, Planning Dept.

Development and Building Services

C: File

F-18/109

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

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| DKB#: | EPC#: | | WC | ORK OF | RDER#: | | |
| LEGAL DESCRIPTION: | Lot B, Spanish I | and Con | many | | | | |
| CITY ADDRESS: | San Mateo NE (| | | | | | |
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| ENGINEERING FIRM: Bord | denave Designs | | | CO | ONTACT: | J. Borden | 21/A |
| | Box 91194 | | | | IONE: | 823-1344 | |
| CITY, STATE: <u>Albi</u> | iquerque, NM | | | · · · · · | P CODE: | | |
| OMATED. D. rr. | | | | | | | |
| OWNER: Burger King | | | _ CONTACT: | | <u>oseph</u> | ·· ····· | |
| | Box 14903 | - | | PF | IONE: | <u> 263-6965</u> | - |
| CITY, STATE: Albi | iquerque, NM | | | ZI | P CODE: | 87191-49 | 03 |
| ARCHITECT: Ken | Hovey | | | | ``` | TY | |
| | Simms Ave. SE | | | | DNTACT: _ | K. Hovey | |
| CITY, STATE: Albi | · | | | | IONE: | <u>259-8458</u> | _ |
| <u> </u> | rquorquo, rvivi | <u> </u> | | Z1 | P CODE: | <u>87108</u> | |
| SURVEYING FIRM: Hall | Surveying, Inc. | | LICENSED | STIRVE | YOR. | Cliff | |
| - <u>-</u> | 5 Menaul Blvd. NE | | _ ~1021,025 | | IONE: | 292-6727 | |
| CITY, STATE: Albu | | . | | | P CODE: | 87112 | |
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| · — · · · · · · · · · · · · · · · · · · | <u>Development</u> | | | | NTACT: | P. Joseph | |
| | 30x 14903 | | | | ONE: | <u> 263-6965</u> | |
| CITY, STATE: <u>Albu</u> | querque, NIVI | <u></u> | <u> </u> | ZII | CODE: | <u>87191-490</u> |)3 |
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| OTHER (SPECIFY) | | | WORK ORDE | | | | |
| WAS A PRE-DESIGN CONFER YES xNO COPY PROVIDED | RENCE ATTENDED | | OTHER (SPE | CIFY) | | | 2006 |
| DATE SUBMITTED: Nove | mber 29, 2006 | | | BY: | Jake Bo | | |

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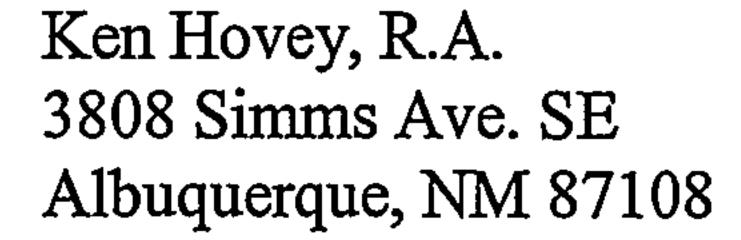
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

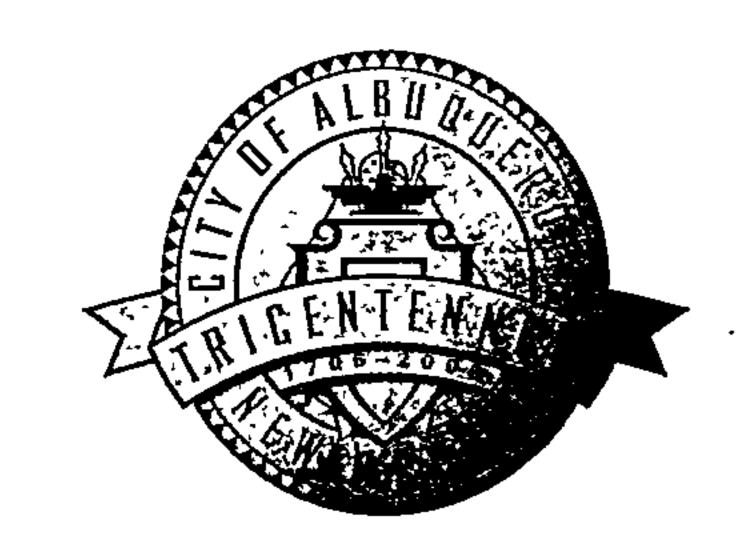
(REV 01/06 - KDM)

| PROJECT TITLE: BURGER KING | ZONE MAP: | F18 /09 |
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| DRB#: EPC#: | WORK ORDER#: | |
| TECAT DECODINGIONI. TAAD Coonial Land (| ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~ | |
| LEGAL DESCRIPTION: Lot B Spanish Land (| | |
| CITY ADDRESS: San Mateo NE @ Ost | ina Ku NE | |
| | | |
| ENGINEERING FIRM: Bordenave Designs | CONTACT: | J. Bordenave |
| ADDRESS: PO Box 91194 | PHONE: | 823-1344 |
| CITY, STATE: Albuquerque, NM | ZIP CODE: _ | 87109 |
| | | |
| OWNER: Burger King | CONTACT: | |
| ADDRESS: PO Box 14903 | PHONE: | 263-6965 |
| CITY, STATE: <u>Albuquerque, NM</u> | ZIP CODE: _ | 87191-4903 |
| ARCHITECT: Ken Hovey | \ CONTACT: _ | K Hovey |
| ADDRESS: 3808 Simms Ave. SE | PHONE: | 259-8458 |
| CITY, STATE: Albuquerque, NM | ZIP CODE: | 87108 |
| CITT, BITTID. TROUGHOLDING. TAIVE | | <u> </u> |
| SURVEYING FIRM: Hall Surveying, Inc. | LICENSED SURVEYOR: | Cliff |
| ADDRESS: 12803 Menaul Blvd. NE | PHONE: | 292-6727 |
| CITY, STATE Albuquerque, NM | ZIP CODE: _ | 87112 |
| PROFESSIONAL LICENSED SURVEYOR SIGNATURE | LICENSE NO. | DATE |
| CONTRACTOR: P J Development | CONTACT: _ | P. Joseph |
| ADDRESS: PO Box 14903 | PHONE: | 263-6965 |
| CITY, STATE: <u>Albuquerque, NM</u> | ZIP CODE: _ | <u>87191-4903</u> |
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| CONCEPTUAL G & D PLAN | S. DEV. FOR BLDG. PERMIT | |
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| TRAFFIC CIRCULATION LAYOUT | CERTIFICATE OF OCCUPAN | CY |
| ENGINEER'S CERT (TCL) | GRADING PERMIT APPROVA | AL |
| ENGINEER'S CERT (DRB SITE PLAN) | PAVING PERMIT APPROVAI | |
| OTHER (SPECIFY) | WORK ORDER APPROVAL | |
| | OTHER (SPECIFY) | |
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| WAS A PRE-DESIGN CONFERENCE ATTENDED: | | |
| YES | | OV 0 9 2006 |
| xNO | | |
| COPY PROVIDED | HYDR | OLOGY SECTION |
| DATE SUBMITTED: Nov. 9, 2006 | BY: Jake Bordenav | e |

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

November 21, 2006





Re: Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE, Traffic Circulation Layout

Architect's Stamp dated 11-4-06 (F18-D9)

Dear Mr. Hovey,

Based upon the information provided in your submittal received 11-09-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. What is the existing layout of the site? Show the location of the existing entrances, as they will need to be removed. In addition, a build note should be added noting the necessity of removing the existing entrances and replacing them with new sidewalk and curb and gutter.
- 2. Please show the location of the nearest driveway on the adjacent lot.
- <3. Provide a copy of refuse approval.
 - 4. Provide a detail for the wheelchair ramps or refer to the appropriate City Standard.
- -5. What is the width of the van access aisles?
- = 6. → Place a "Do Not Enter" sign at the one-way drive off of Osuna Road.
- For drive through lanes, the inside edge must have a minimum radius of 25 feet with a 12 foot lane width or the inside edge must have a minimum radius of 15 feet with a 14 foot lane width.
- 28. The new drive on San Mateo Boulevard and the one way drive on Osuna Road should refer to City Standard 2426; however, the other drive on Osuna Road should refer to City Standard 2425.
- Since Osuna Road is a minor arterial in this area, a one way drive must have a minimum width of 18 feet and a two way drive with no median access must have a minimum width of 25 feet. Curb returns must have a minimum radius value of 20 feet.
- ~10. A two-way drive aisle has a minimum width of 24 feet.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

| PROJECT TITLE: | REPC#: | EDGATURANT | ZONE MAP/DRG. FILE # | F-18/Da |
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| ADDRESS: | P. D. FOX 12 | 1103 | PHONE: | 00-6105 |
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| ARCHITECT: | KEM HOVEY | | CONTRA CT. | |
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| CONTRACTOR: | Te Je 1818 | PWBATWO | CONTACT: | Cosseph |
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