

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 2, 2007

Kenneth R. Hovey, Registered Architect
433 Sierra Drive SE
Albuquerque, NM 87108

Re: Certification Submittal for Final Building Certificate of Occupancy for
Taco Bell/Burger King (Ste. B & A), [F-18/ D9]
6060 San Mateo Blvd NE, Ste. A & B
Architect's Stamp Dated 06/28/07

Dear Mr. Hovey:

The TCL / Letter of Certification submitted on June 29, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: TACO BUENO RESTAURANT ZONE MAP/DRG. FILE # F-18/D009
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B SPANISH LAND COMPANY SUBDIVISION
 CITY ADDRESS: 6060 SAN MATEO BLVD. NE SUITE B 87109

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Suits A18
 PHONE: _____
 ZIP CODE: _____

OWNER: MTM PROPERTIES
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM 87191

CONTACT: MR. JOSEPH
 PHONE: 263-6965
 ZIP CODE: 87191

ARCHITECT: KEN HOVEY
 ADDRESS: 433 SIERRA DRIVE SE
 CITY, STATE: ALBUQ. NM

CONTACT: KEN HOVEY
 PHONE: 259 8458
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: P.J. REEDMITS
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM

CONTACT: PAT
 PHONE: 263-6965
 ZIP CODE: 87191

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

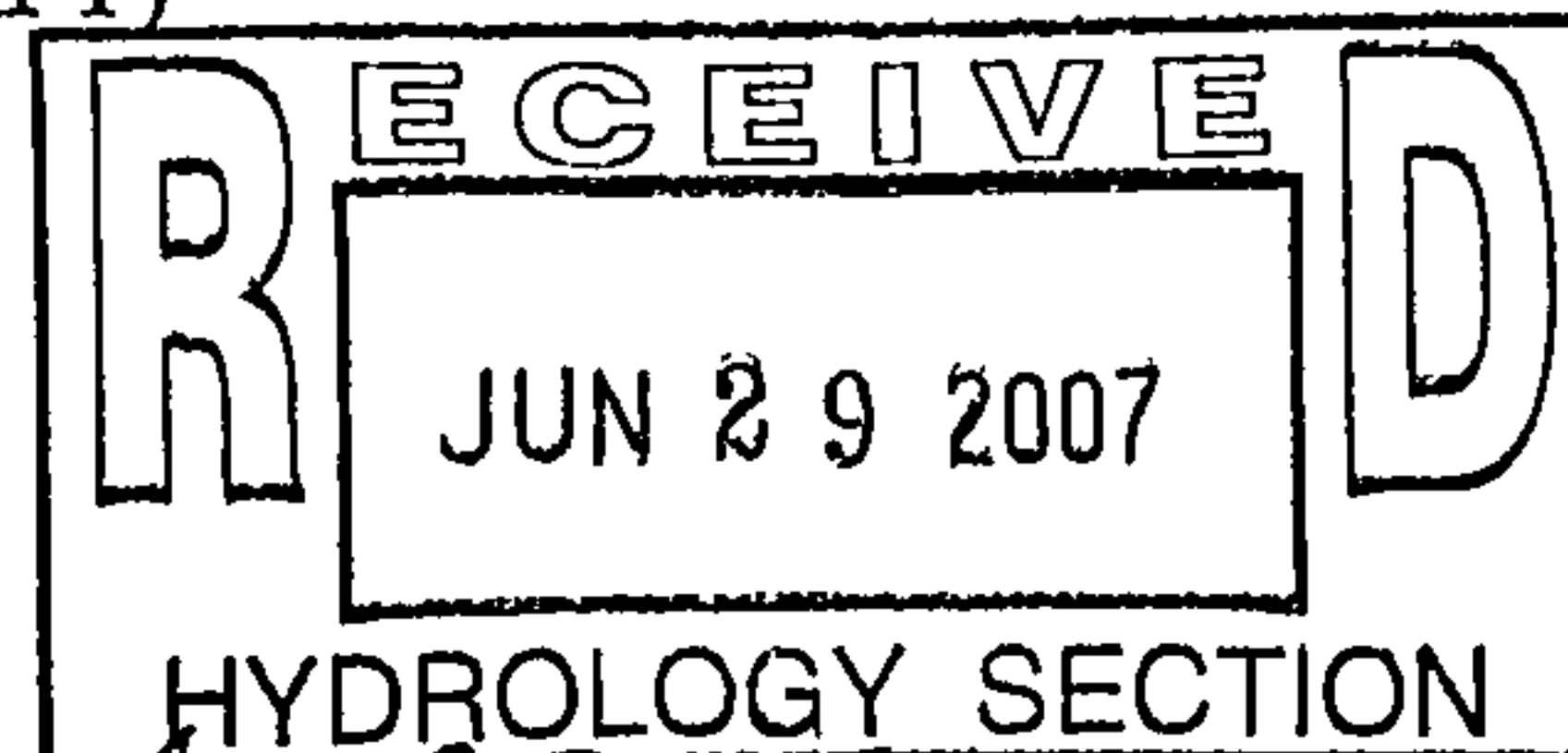
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: KEN HOVEY DATE: 6-29-07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: BURGER KING RESTAURANT ZONE MAP/DRG. FILE # F-18
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B, SPANISH LAND COMPANY SUBDIVISION
 CITY ADDRESS: 6060 SAA MATEO BLVD, AB SITE A 87109

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: TOM & JEFF McCOLLUM
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM

CONTACT: JEFF
 PHONE: 263-6965
 ZIP CODE: 87191

ARCHITECT: KEN HOVEY
 ADDRESS: 433 SIERRA DRIVE SE
 CITY, STATE: ALBUQ, NM

CONTACT: KEN HOVEY
 PHONE: 259 8458
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: P.J. DEVELOPMENTS
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM

CONTACT: PJT
 PHONE: 263 6965
 ZIP CODE: 87191

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

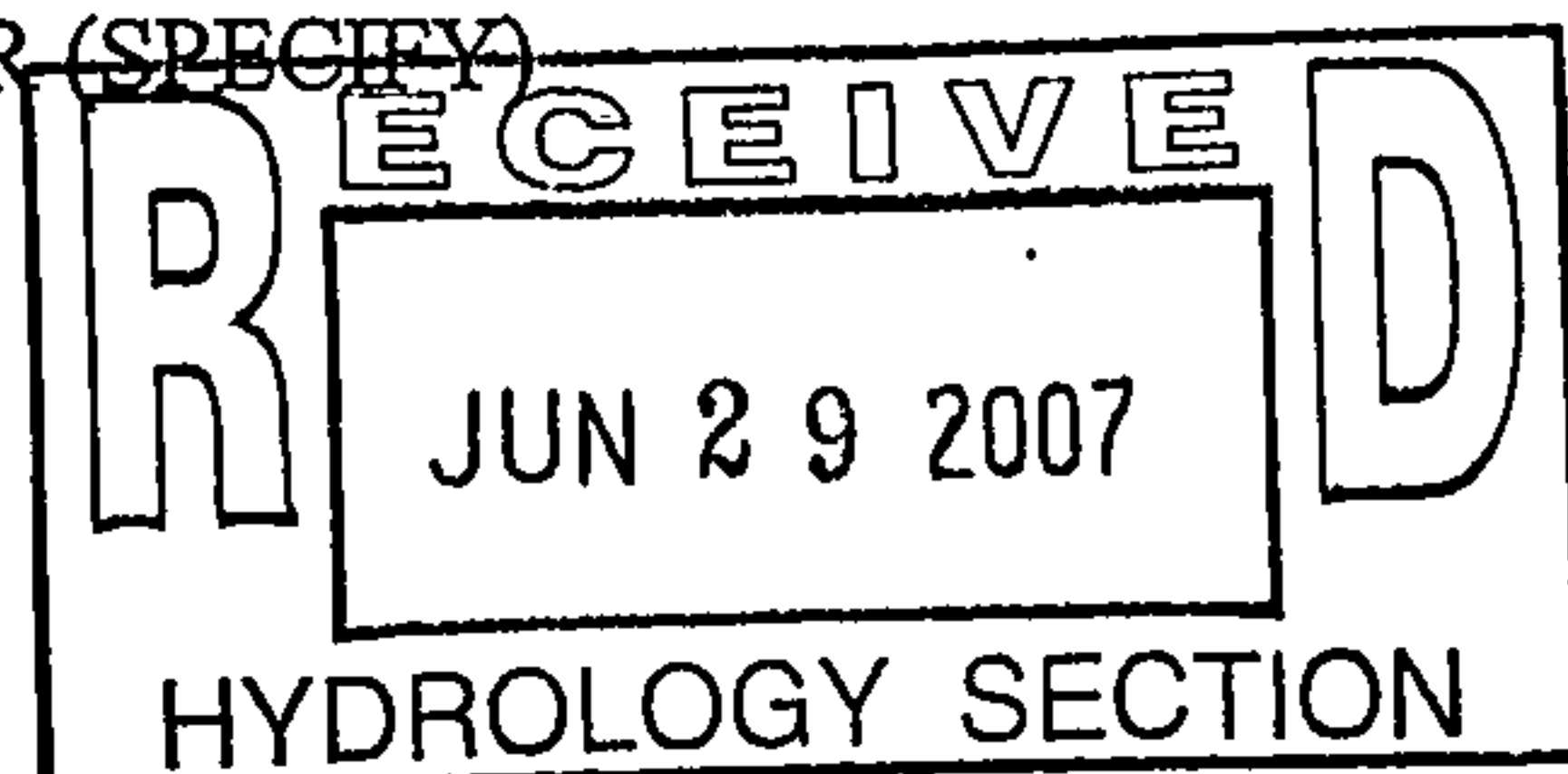
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: KEN HOVEY



DATE: 6-29-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**KEN HOVEY, ARCHITECT
433 SIERRA DRIVE SE
ALBUQUERQUE, NEW MEXICO 87108
PHONE: (505) 259-8458**

June 28, 2007

City of Albuquerque
Transportation Department
600 Second Street NW

Subject: Architect's TCL Certification for Burger King Restaurant, 6060 San Mateo Blvd. NE, Suite A and Taco Bueno Restaurant, 6060 San Mateo Blvd. NE, Suite B, Albuquerque, NM 87109.

I, Ken Hovey, prepared the Traffic Circulation Layout (TCL) for the subject projects located at 6060 San Mateo Blvd. NE, Suites A and B, and more particularly described as Lot B, Spanish Land Company Subdivision..

I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the approved TCL dated 12/5/06.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

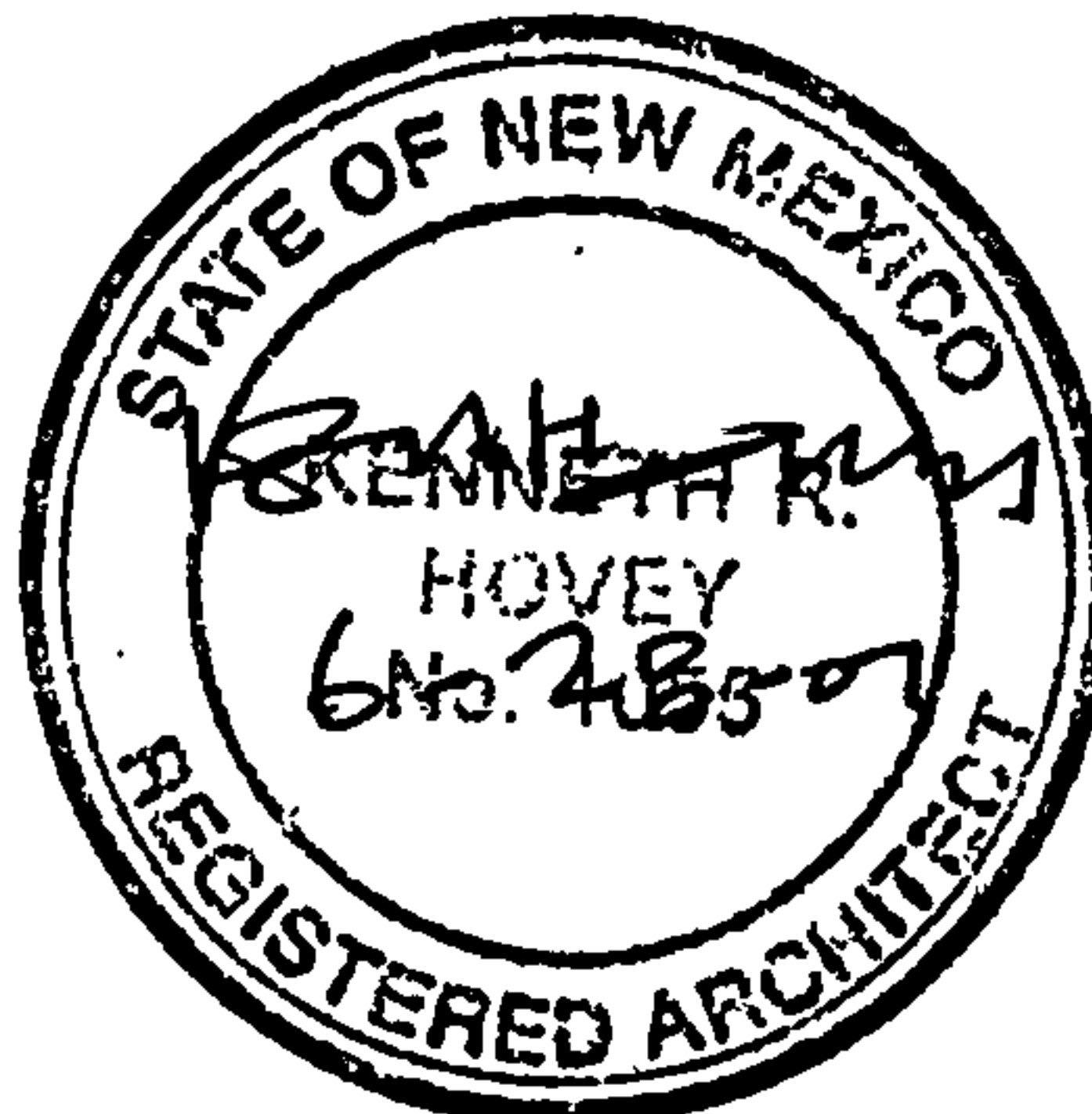
This Architect's certification is submitted in support of issuance of a Certificate of Occupancy for the subject addresses.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 259-8458 or by email at ken_hovey@msn.com.

Sincerely,



Ken Hovey



CITY OF ALBUQUERQUE



June 26, 2007

Jake Bordenave , P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87109

*Suite 3
Rt B*

**Re: Burger King, 6060 San Mateo Blvd. N.E., Lot B Spanish Land Company,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/29/2006 (F-18/D009)
Certification dated 06/25/2007**

Based upon the information provided in your submittal received 06/26/2007, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

Timothy Sims

Plan Checker, Planning Dept.
Development and Building Services

New Mexico 87103

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: BURGER KING ZONE MAP: F18/D009
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot B, Spanish Land Company
CITY ADDRESS: San Mateo NE @ Osuna Rd NE

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Burger King CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
--	-------------	------

CONTRACTOR: <u>P J Development</u>	CONTACT: <u>P. Joseph</u>	
ADDRESS: <u>PO Box 14903</u>	PHONE: <u>263-6965</u>	
CITY, STATE: <u>Albuquerque, NM</u>	ZIP CODE: <u>87191-4903</u>	

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY)

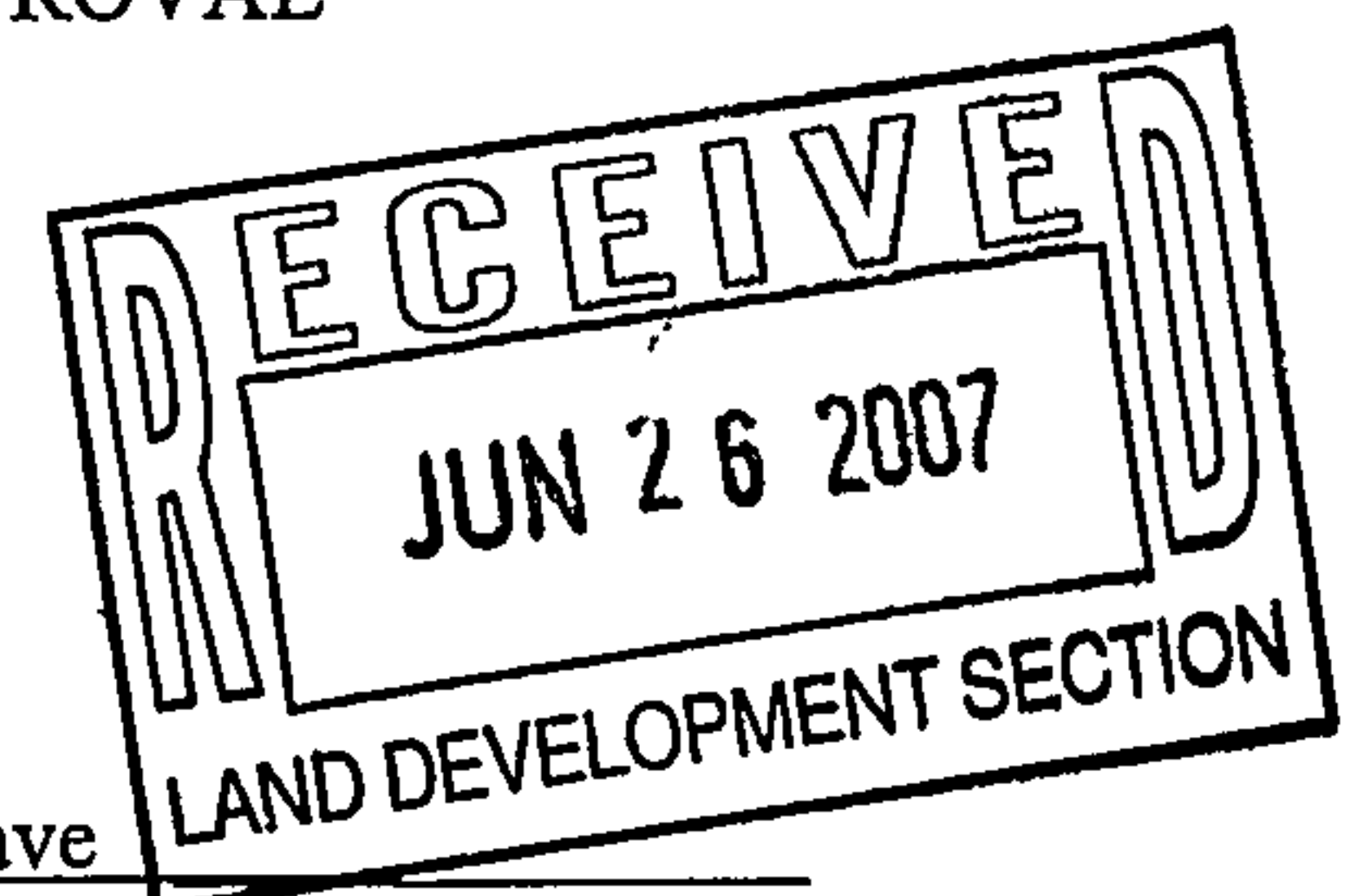
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 25, 2007 BY: Jake Bordenave



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



December 5, 2006

Ken Hovey, R.A.
3808 Simms Ave. SE
Albuquerque, NM 87108

Re: Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE, Traffic
Circulation Layout
Architect's Stamp dated 11-28-06 (F18-D9)

Dear Mr. Hovey,

The TCL submittal received 11-30-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

cc: file

RESUBMITTAL

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: BURGERS & TACO BAR RESTAURANT ZONE MAP/DRG. FILE # F18/D9
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B SPANISH LAND COMPANY SUBDIVISION
CITY ADDRESS: 6060 SAN MATEO BLVD NE

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: M & M PROPERTIES
ADDRESS: P.O. BOX 14903
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MUR, JOSE
PHONE: 263 6965
ZIP CODE: 87191

ARCHITECT: KEN MOVEN
ADDRESS: 3808 SWANKS SB
CITY, STATE: ALBUQUERQUE, NM

CONTACT: KEN
PHONE: 341 33012
ZIP CODE: 87108

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: P. J. BORDMONT
ADDRESS: P.O. BOX 14903
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Pat
PHONE: 934 6965
ZIP CODE: 87191

TYPE OF SUBMITTAL:

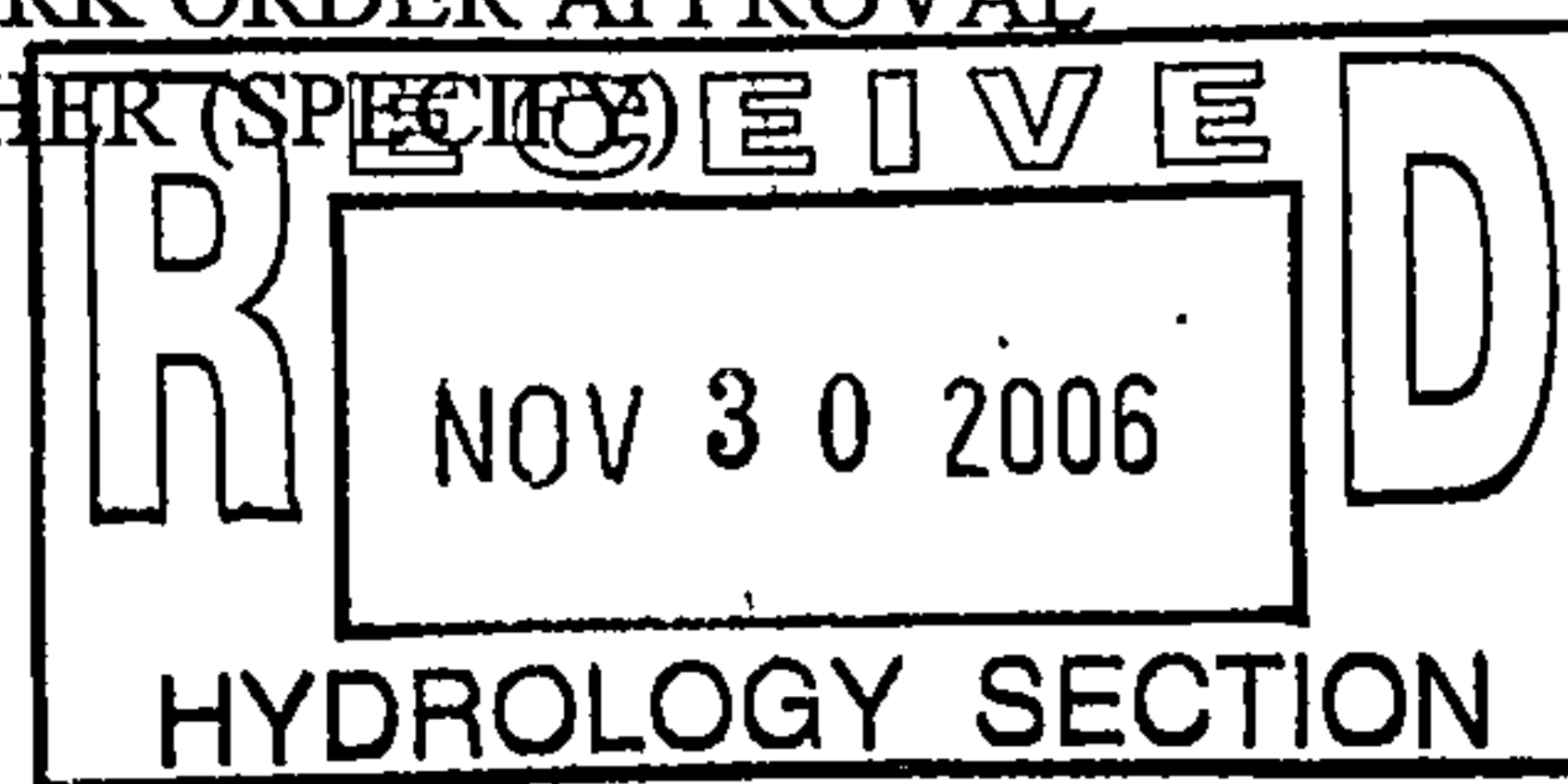
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: KEN MOVEN DATE: 11-30-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

SOLID WASTE DISPOSAL

(505) 761-8100

- A final inspection by the plan checker of the Solid Waste Management Department (SWMD) is required. Required refuse container(s) shall be in place before a Certificate of Occupancy will be issued.
- An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.
- Each customer shall provide their own refuse container(s).
- Contact the SWMD at least thirty (30) days prior to occupancy to start service.
- Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS DISAPPROVED _____

PLANS APPROVED Michael Holton 761-8142

DATE /

DATE 9/8/06

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

Call for prepour inspection, see enclosure specs on back G-1
also requires sanitary sewer drain

INTERNATIONAL BUILDING CODE

(505) 924-39 _____

premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 115 of Uniform Administrative Code.

DESCRIPTION OF WORK

AREA OF BLDG. (SQ.FT.)

CONSTRUCTION TYPE

FAST-FOOD RESTAURANT

2206

VB

OCCUPANCY GROUP

BUILDING CODE EDITION

A-2

UI

(505) 9

CODE E

UPC

PLANS

PLANS A

CITY OF ALBUQUERQUE



December 4, 2006

Jean Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199-1194

**Re: Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE,
Grading and Drainage Plan
Engineer's Stamp dated 11-29-06 (F18-D9)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 11-30-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

F-18/D9

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: BURGER KING ZONE MAP: F18/D9
 DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot B, Spanish Land Company
 CITY ADDRESS: San Mateo NE @ Osuna Rd NE

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
 ADDRESS: PO Box 91194 PHONE: 823-1344
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Burger King CONTACT: P. Joseph
 ADDRESS: PO Box 14903 PHONE: 263-6965
 CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
 ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
 ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
 CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: P J Development CONTACT: P. Joseph
 ADDRESS: PO Box 14903 PHONE: 263-6965
 CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

TYPE OF SUBMITTAL:

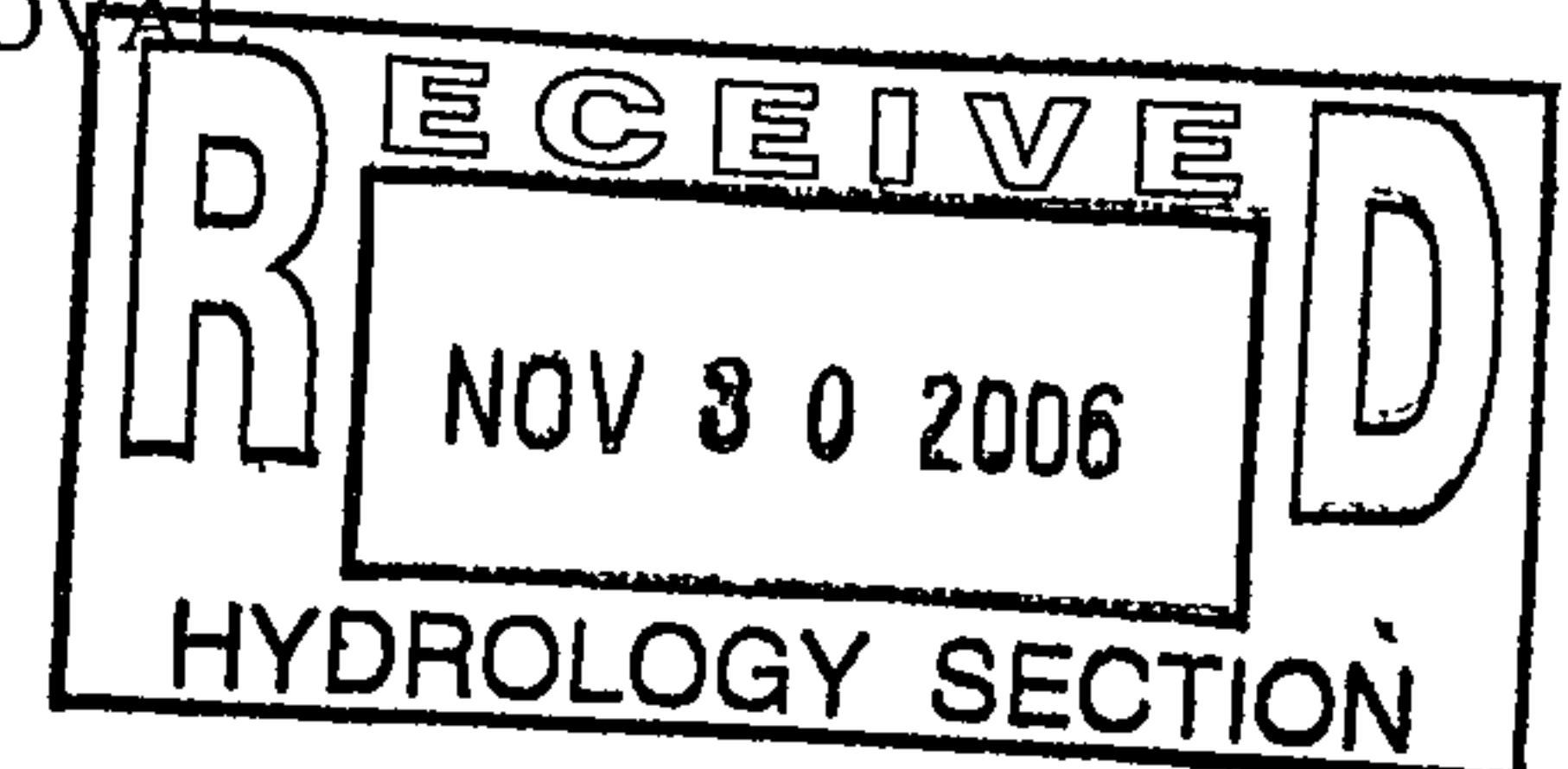
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: November 29, 2006 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: BURGER KING ZONE MAP: F18 / D9
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot B Spanish Land Company
CITY ADDRESS: San Mateo NE @ Osuna Rd NE

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Burger King CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

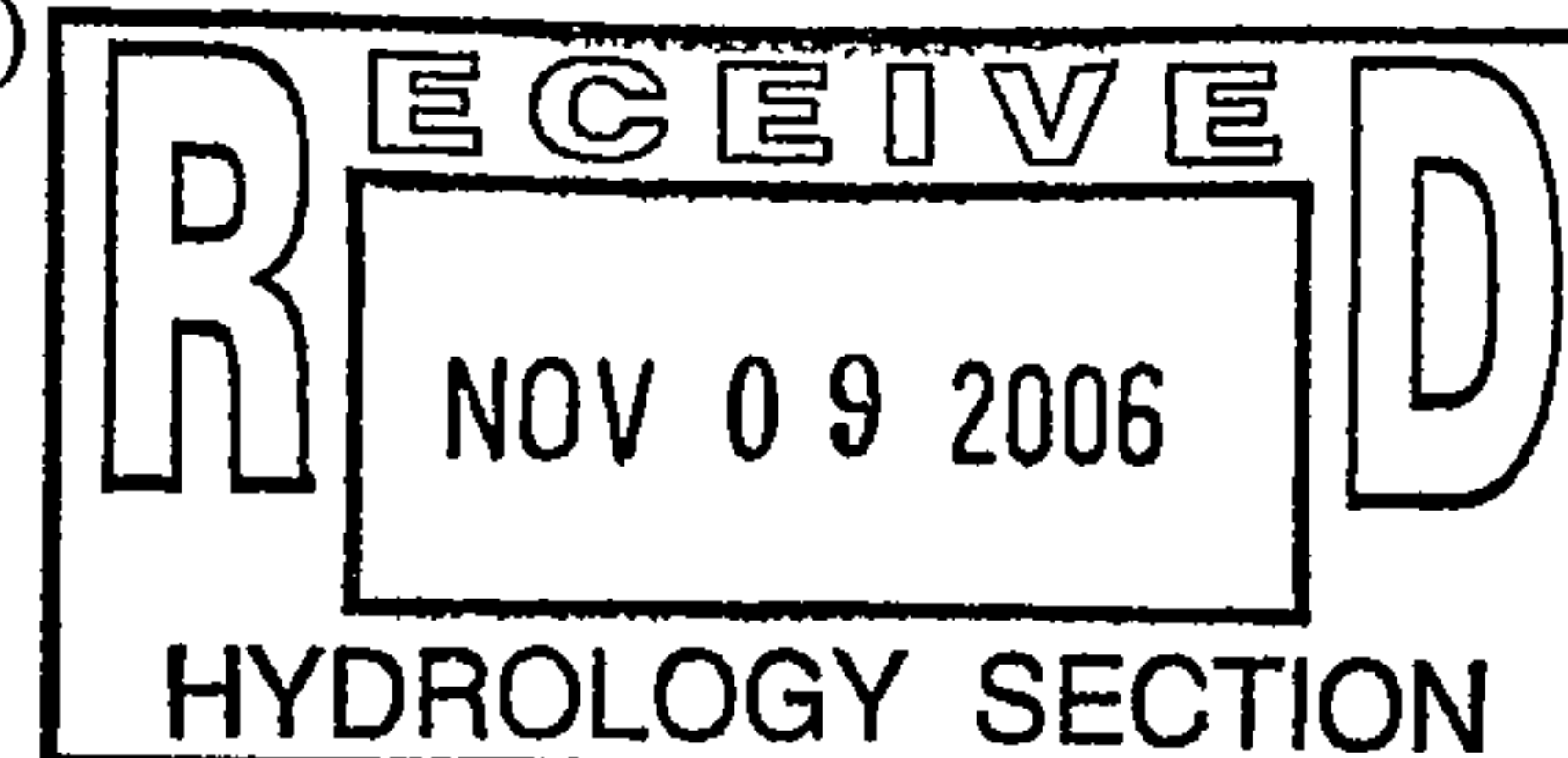
PROFESSIONAL LICENSED SURVEYOR SIGNATURE _____ LICENSE NO. _____ DATE _____

CONTRACTOR: P J Development CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: Nov. 9, 2006 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 21, 2006

Ken Hovey, R.A.
3808 Simms Ave. SE
Albuquerque, NM 87108

Re: Burger King and Taco Bueno Restaurants, 6000 San Mateo Blvd NE, Traffic Circulation Layout

Architect's Stamp dated 11-4-06 (F18-D9)

Dear Mr. Hovey,

Based upon the information provided in your submittal received 11-09-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. What is the existing layout of the site? Show the location of the existing entrances, as they will need to be removed. In addition, a build note should be added noting the necessity of removing the existing entrances and replacing them with new sidewalk and curb and gutter.
2. Please show the location of the nearest driveway on the adjacent lot.
3. Provide a copy of refuse approval.
4. Provide a detail for the wheelchair ramps or refer to the appropriate City Standard.
5. What is the width of the van access aisles?
6. Place a "Do Not Enter" sign at the one-way drive off of Osuna Road.
7. For drive through lanes, the inside edge must have a minimum radius of 25 feet with a 12 foot lane width or the inside edge must have a minimum radius of 15 feet with a 14 foot lane width. *Layout ok'd by WG*
8. The new drive on San Mateo Boulevard and the one way drive on Osuna Road should refer to City Standard 2426; however, the other drive on Osuna Road should refer to City Standard 2425.
9. Since Osuna Road is a minor arterial in this area, a one way drive must have a minimum width of 18 feet and a two way drive with no median access must have a minimum width of 25 feet. Curb returns must have a minimum radius value of 20 feet. *14' ok'd by WG*
10. A two-way drive aisle has a minimum width of 24 feet.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: BURGER KING RESTAURANT ZONE MAP/DRG. FILE # F-18/D9
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B SPANISH LAND COMPANY SUBDIVISION
 CITY ADDRESS: 6000 3RD STREET NE
check address

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: M & M PROPERTIES CONTACT: _____
 ADDRESS: P.O. Box 14903 PHONE: 263-6965
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87191

ARCHITECT: KEN HOVEY CONTACT: _____
 ADDRESS: 3800 SUMMIT DRIVE SE PHONE: 341-3302
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108
 FAX: 343-1183

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: P. J. DEVELOPMENT INC CONTACT: PAT JOSEPH
 ADDRESS: P.O. Box 14903 PHONE: 934-6965
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87191

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

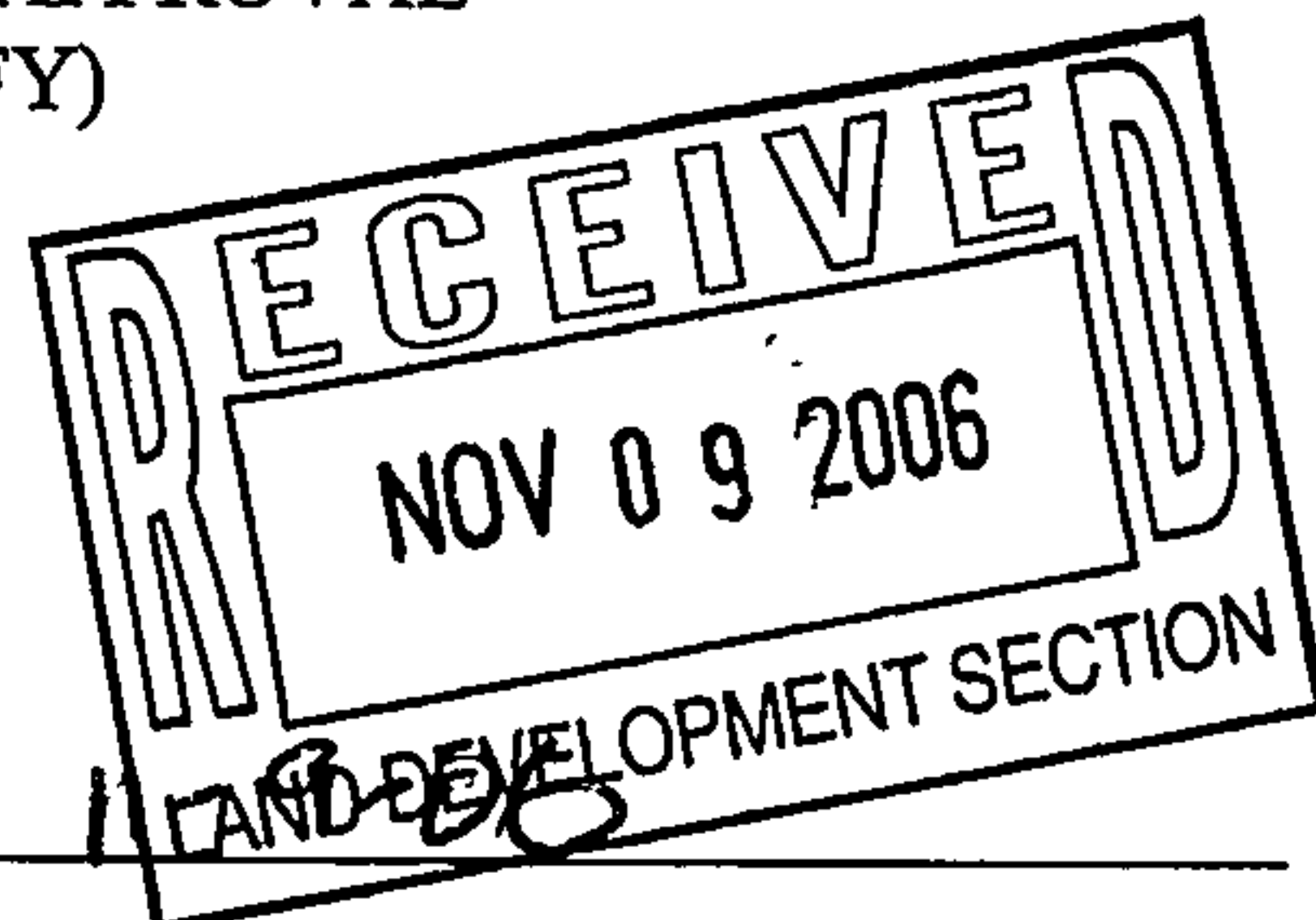
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES WHP
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: KEN HOVEY *Stamp date* 11-4-06 DATE: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

What is the existing layout of the site? Show the location of the existing entrances - they'll need to be removed
- need to add build notes to remove existing entrances and replace w/ new sidewalk, etc

Show location of nearest driveway on the adjacent lots

Provide copy of refuse approval

Provide detail for wheel chair ramps or refer to appropriate City Std
What is the width of the van access aisles?

Place a do not enter sign at the one way drive off of Osuna Rd

For Drive Thrus

- inside edge has a min radius of 25' w/ a 12' lane width, or an inside edge radius of 15' w/ a 14' lane width

New driveway on San Mateo^{Blvd} and one way drive on Osuna Rd should refer to City Std 2426; however, the other drive on Osuna should refer to City Std 2425

Since Osuna Rd is a minor arterial in this area, a one way drive must have a minimum width of 18', and a two way drive w/ no median access has a minimum width of 25'. Curb returns have a minimum radius value of 20'.

