

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 23, 2022

Jeremy Ortiz
Archis Architects, LLC
4700 Lincoln Rd.
Albuquerque, NM 87109

Re: Courtyard Apartments, 6001 Topke Pl. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 8-21-2020 (F18-D010)
Certification dated 5-19-22

Dear Mr. Ortiz,

Based upon the information provided in your submittal received 05-19-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Courtyard Apartments **Building Permit #** BP-2020-38331 **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: A portion of Lot 4, Lusk Corporation Development **City Address OR Parcel** 6001 Topke Place, Albuquerque NM 87109

Applicant/Agent: Archis Architects **Contact:** Jeremy Ortiz

Address: 4700 Lincoln Rd NE, Suite 102D **Phone:** 505-998-7717

Email: Jeremy@archisdesign.net

Applicant/Owner: CSC Arbors Realty, LLC **Contact:** Brandon Cooper

Address: 1280 S. Ute Street Suite 10, Aspen CO 81611 **Phone:** 970-379-3398

Email: brandon@cooperstereetcapital.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒

RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 05-19-2022

September 24, 2020

Jeremy Ortiz, RA
ARCHIS Design
4700 Lincoln Road NE, Ste 102D
Albuquerque, NM 87109

**Re: Courtyard Apartments
6001 Topke Place NE
Traffic Circulation Layout
Architect's Stamp 08-21-2020 (F18-D010)**

Dear Mr. Ortiz,

The TCL submittal received 09-24-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

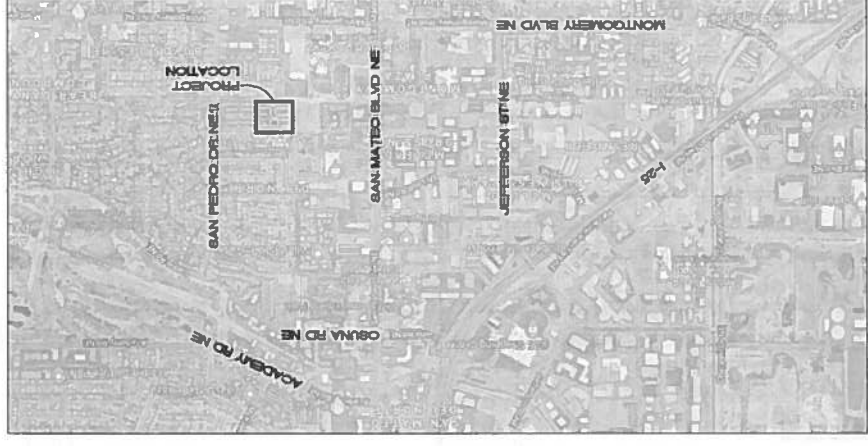
Sincerely,



Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

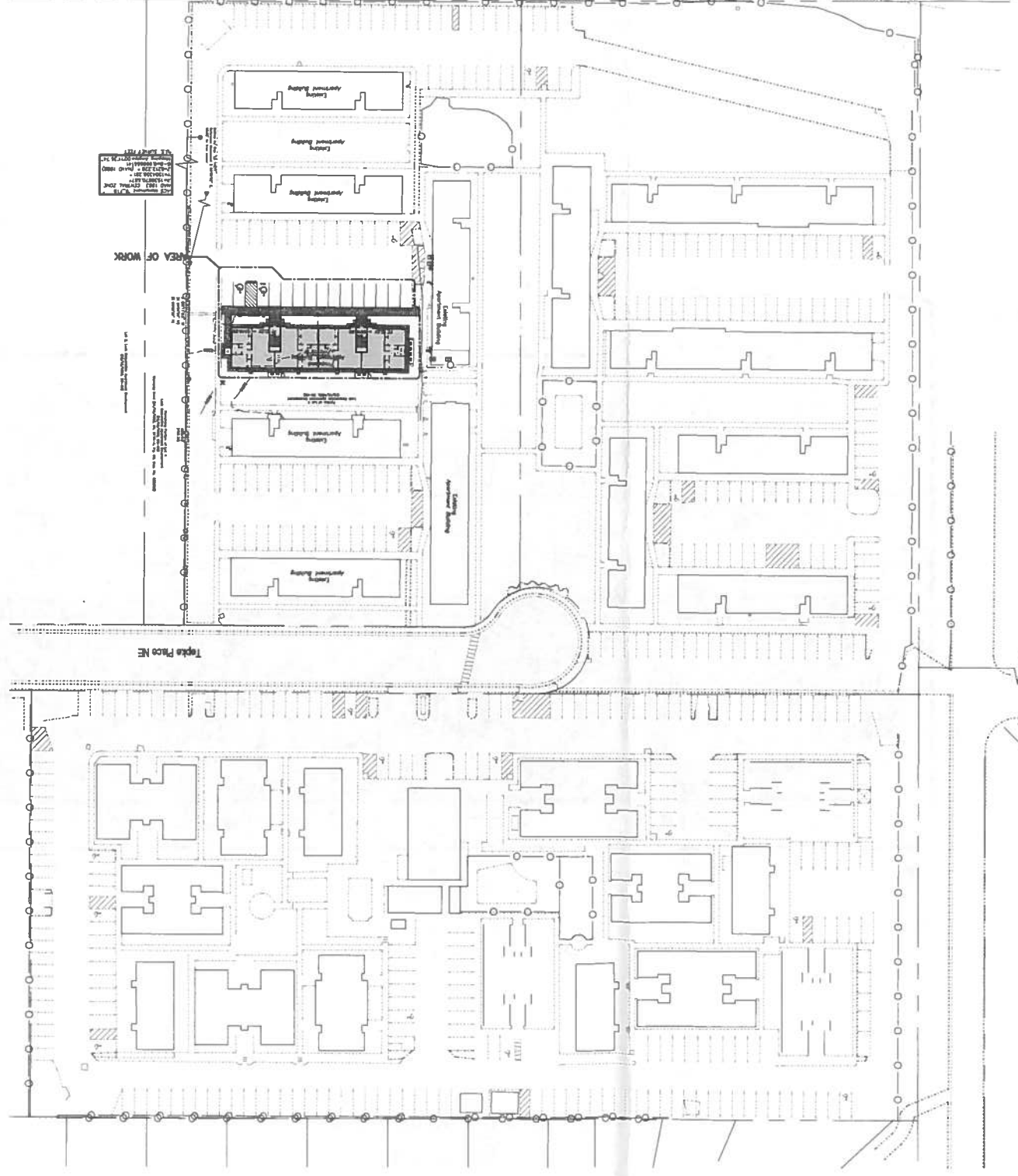
C: CO Clerk, File

Courtyard Apartments



VICINITY MAP

OVERALL SITE PLAN



SHEET INDEX

001	COVER SHEET
002	CODE INFO / CORRESP PLAN
003	FIRE 1
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008	SITE DETAILS
009	DEMOLITION PLAN
010	UTILITY PLAN
011	GRADING PLAN
012	LANDSCAPE PLAN
013	INDEX, LEGEND, ABBREVIATIONS
014	OUTLINE SPECIFICATIONS
015	OUTLINE SPECIFICATIONS
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017	FOUNDATION DETAILS
018	FOUNDATION PLAN
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100	FOUNDATION PLAN

CONTACT INFORMATION

505) 362-9311	505) 442-3232
1210 SW ALVAY BLVD NE	1111 MONTA NE NW
CONTRACT: STEVE ASHBY, PE	CONTRACT: ERIC TRULLI, PE
ENGINEERS	STRUCTURAL
ENGINEERING	ENGINEERING
505) 998-7717	505) 379-3588
1400 UNCLARK RD, NE STE. 1020	3500 N. 45TH ST. NE
CONTRACT: JEREMY ORTIZ, RA	CONTRACT: BRYAN COOPER
ARCHITECTURAL	OWNER
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ARCHITECTURAL	OWNER

Sheet Title
Cover Sheet

Sheet No. **C-001**

COURTYARD APARTMENTS
NEW APARTMENT BUILDING
6001 TOPKE PLACE
ALBUQUERQUE, NEW MEXICO 87109


ARCHIS™
ARCHITECTS
ARCHIS design, LLC
4300 LINCOLN RD NE
SUITE 102 D
ALBUQUERQUE
NEW MEXICO 87109
(505) 998-7717
www.archisdesignllc.com

08-21-2020




TRAFFIC CIRCULATION LAYOUT
APPROVED
9/24/20
Date
Signed

- ### GENERAL NOTES
- A. USE FULL SCALE DRAWINGS FOR CONSTRUCTION. PRINTED ON 24X36 "D" SIZE PAPER. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK.
 - B. RE: CIVIL SHEETS FOR ADDITIONAL INFORMATION AND FINISH FLOOR ELEVATIONS
 - C. RE: MEP SHEETS FOR ADDITIONAL SITE AND CONNECTION INFORMATION
 - D. RE: SHEET L100 FOR ADDITIONAL LANDSCAPE INFORMATION
 - E. RE: SHEET G-002 FOR PARKING REQUIREMENTS AND CALCULATIONS
 - F. RE: SHEET FP-1 FOR FIRE SPRINKLER SYSTEM INFORMATION AND CONNECTIONS
 - G. RE: SHEET AS101 FOR ARCHITECTURAL SITE PLAN
 - H. FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT THAT UNFORESEEN CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BIDDING, ORDERING OR PROCEEDING WITH THE WORK
 - I. ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT
 - J. PROVIDE POSITIVE GRADING/DRAINAGE AWAY FROM THE BUILDING; RE: CIVIL SHEETS
 - K. PROVIDE LINE SPOTTING PRIOR TO ANY EXCAVATION OF EXISTING PAVED AREAS
 - L. FIELD VERIFY ALL DIMENSIONS PRIOR TO LAYOUT AND FRAMING
 - M. REMOVE, PATCH AND/OR REPAIR ALL PORTIONS OF DAMAGED, BROKEN OR SPALLED CONCRETE SIDEWALKS/CURBS



08-21-2020



ARCHIS design, LLC
4700 LINCOLN RD NE
SUITE 102 D
ALBUQUERQUE
NEW MEXICO 87109
(505) 998-7717
www.archisdesign.net

COURTYARD APARTMENTS
NEW APARTMENT BUILDING
6001 TOPKE PLACE
ALBUQUERQUE, NEW MEXICO 87109

Project No.
20-008

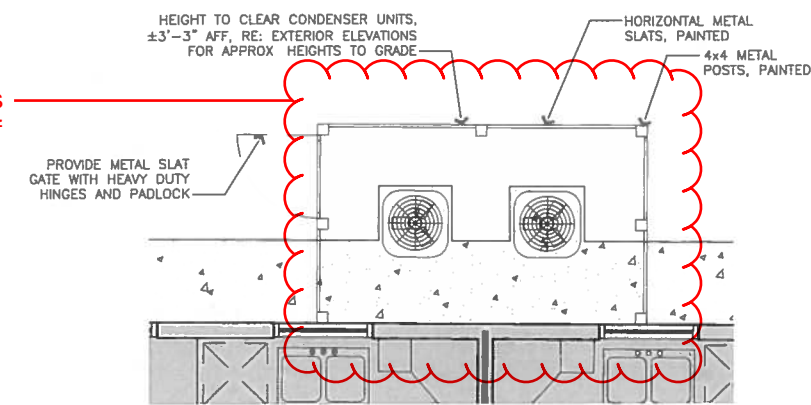
Issue Date:
August 21, 2020

Revisions:	Date:

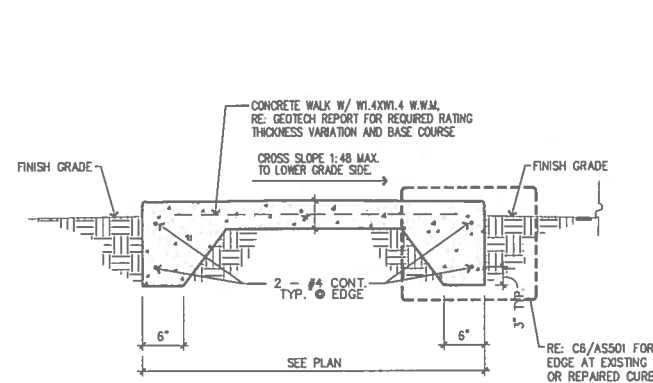
Sheet Title:
Architectural
Site Details

Sheet No.
AS501

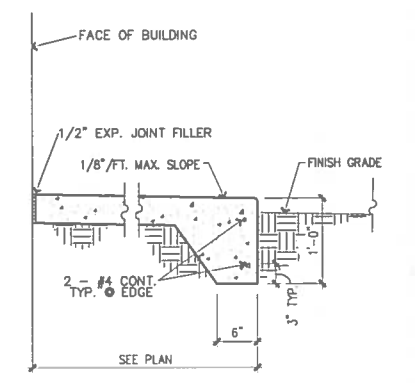
Fence for CU's no longer necessary as CU's are on the roof



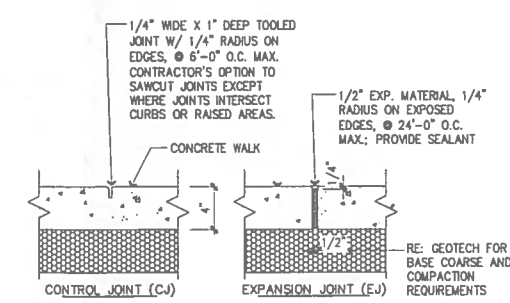
D6 CONDENSER UNIT ENCLOSURE PLAN
SCALE: NTS



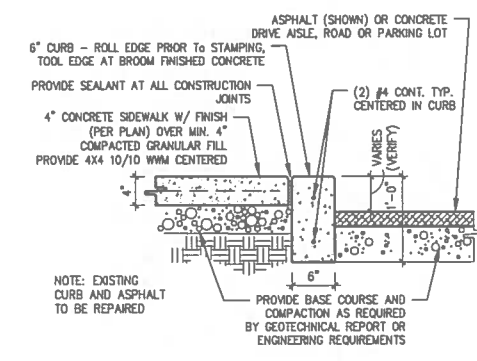
C2 CONCRETE WALK SECTION
SCALE: 1" = 1'-0"



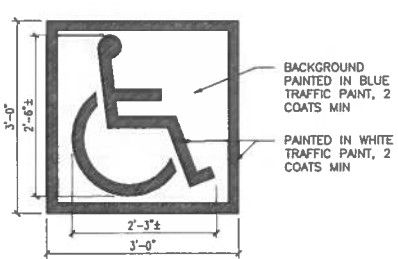
C3 CONCRETE MOWSTRIP SECTION
SCALE: 1" = 1'-0"



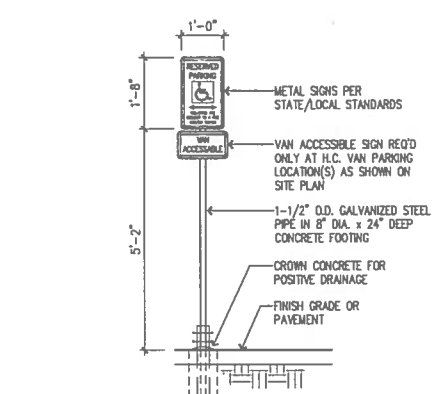
C5 CONCRETE WALK JOINT
SCALE: 1-1/2" = 1'-0"



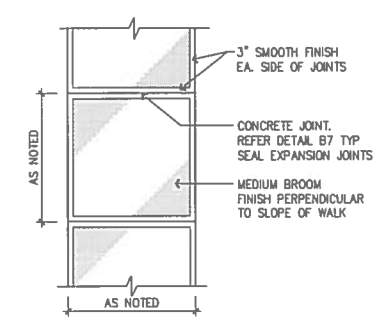
C6 CONCRETE CURB
SCALE: 1" = 1'-0"



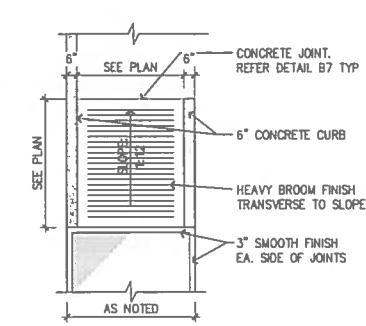
A1 ACCESSIBLE PARKING PAVEMENT MARKING
SCALE: 3/4" = 1'-0"



A3 VAN ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0"



A5 CONCRETE WALK PLAN
SCALE: 1/4" = 1'-0"



A7 ACCESSIBLE RAMP
SCALE: 1/4" = 1'-0"



Traffic Certification

ARCHIS Architects, LLC
4700 Lincoln Rd
Albuquerque, New Mexico 87109
(505) 948-8908

May 19, 2022

Re: Traffic circulation layout substantial compliance BP-2020-38331

I, Jeremy Ortiz, NMRA 5695, of the firm Archis Architects, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved traffic circulation layout plan with approved stamp date of 09/24/20. I further certify that a representative of the firm visited the project site on 05/19/22 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

Exceptions:

1. Bicycle rack installed is not product specified on plan, however the installed bicycle rack does accommodate 3-bicycle capacity per plan; Not installed in location as per plan
2. ADA Parking space not installed in location per plan; shifted to the east 1 spot; concrete walk slopes shifted to accommodate new ADA parking aisle
3. West ADA parking sign mounted on building instead of pole as per plan
4. Wheel stops not install as per plan
5. Sidewalk on east end not installed as per plan; existing sidewalk to east being used

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

A handwritten signature in black ink, appearing to read 'Jeremy Ortiz', is written over a faint, large, stylized 'A' watermark.

Jeremy Ortiz
May 19, 2022