

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

January 7, 2022

Andre Sutiono, P.E.
JM Civil Engineering
1101 Central Expressway S., Suite 215
Allen, TX 75013

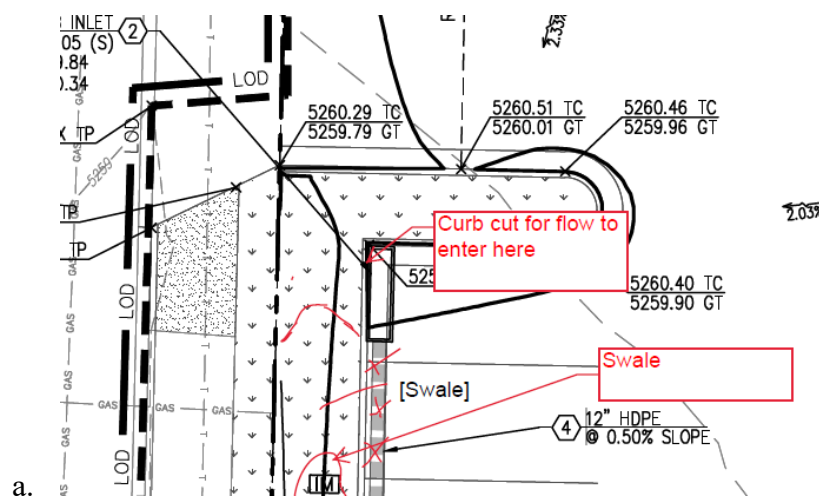
RE: Take 5 Oil Change
6201 Montgomery Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/24/2021
Hydrology File: F18D030A

Dear Mr. Sutiono:

Based upon the information provided in your submittal received November 11, 2021, the Grading & Drainage Plan **is not** approved for Building Permit, SO-19 Permit, and for action by the DRB on Final Plat. The following comments need to be addressed for approval of the above referenced project:

SHEET C300

1. Please include the site map on this sheet.
2. Please provide all calculations per DPM chapter 6 to show required water quality volume, applicable land treatments, and zone as noted within the DPM.
3. The G&D must be a standalone plan and include all benchmark information and datum. Please reference this information.



PO Box 1293

Albuquerque

NM 87103

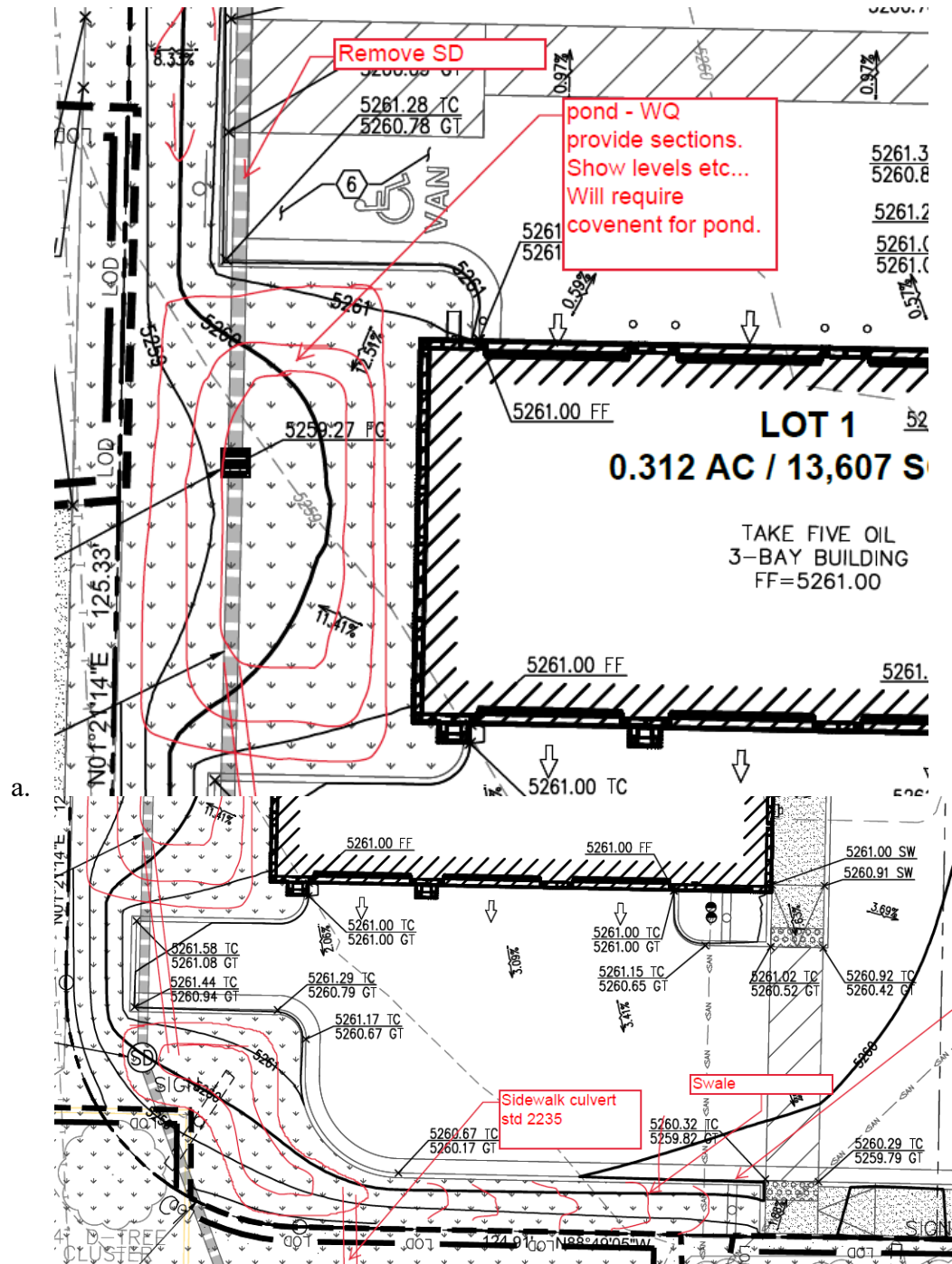
www.cabq.gov

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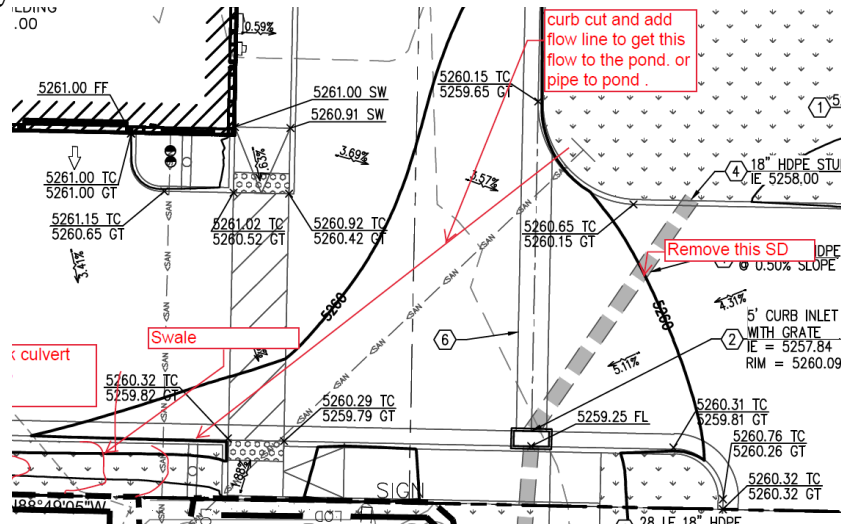
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6. Account for adjacent Lot 2 and design such that flow is conveyed to the pond/Water Quality Pond.



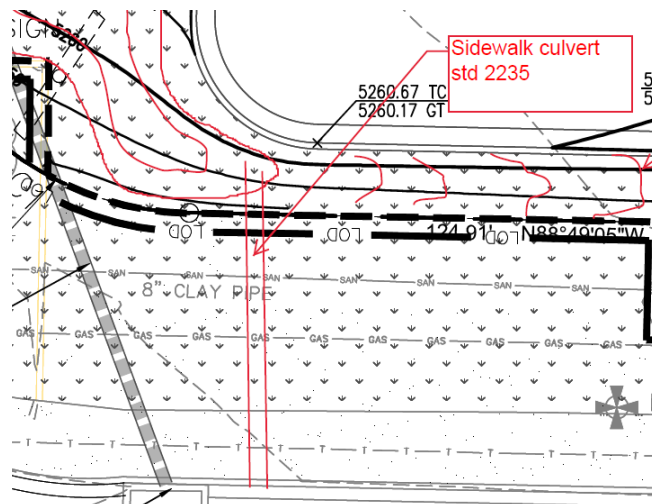
7. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrances.

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- a.
9. Please note historical conditions and ensure any predevelopment flows are maintained from adjacent lot. If there is cross lot drainage, please note document number for the easement. Develop cross lot drainage easement for proposed lots as well.
10. Clearly show the lot line split between lot 1 and lot 2 as proposed.
11. Provide spot elevations from survey and include spots around the site to show how it ties into existing grades for adjacent sites. Include how drainage works with the overall shopping center and any flow that drains across lots must be accounted for. (e.g. if this site accepts drainage from other sites, please note, if this site drains to other sites, please note).

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12. Please note any easements (proposed and existing).

13. Please include attached SO-19 notes.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3965 or dggutierrez@cabq.gov

Sincerely,

NM 87103

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Take 5 Oil Change **Building Permit #:** BP-2021-42592 **Hydrology File #:** _____
DRB#: PS-2020-00123 **EPC#:** _____ **Work Order#:** _____
Legal Description: Portion of Lot C, Block 7, Boyd's Addition
City Address: 6201 Montgomery Blvd. NE

Applicant: JM CIVIL ENGINEERING **Contact:** Andre Sutiono
Address: 1101 Central Expressway S., Suite 215, Allen, Texas 75013
Phone#: (214) 705-3182 **Fax#:** _____ **E-mail:** asutiono@jmcivileng.com

Other Contact: JM CIVIL ENGINEERING **Contact:** Kyle Flaming
Address: 1101 Central Expressway S., Suite 215, Allen, Texas 75013
Phone#: (469) 270-3758 **Fax#:** _____ **E-mail:** kflaming@jmcivileng.com

TYPE OF DEVELOPMENT: 2 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
X GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
X FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/10/2021 **By:** JM CIVIL ENGINEERING (Andre Sutiono)

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SURVEYOR'S CERTIFICATION:

TO:
(BUYER), Northern Partners Holdings, LLC
(LENDER), TBD
(TITLE COMPANY), Chicago Title Insurance Company
(UNDERWRITER), Fidelity National Title Insurance Company

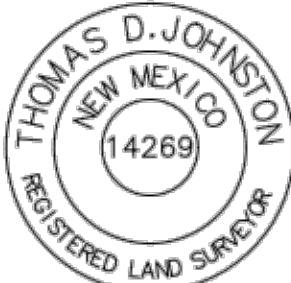
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys", jointly established and adopted by ALTA and NSPS in 2021, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11(a), 13, 16 & 17 (location of utilities per visible, above-ground, on-site observation) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

PRELIMINARY

Thomas D. Johnston, NMPS 14269

MAY 17, 2021

WAYJOHN SURVEYING, INC.



NOTES CORRESPONDING TO SCHEDULE B:

FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. SP000102232 EFFECTIVE DATE FEBRUARY 15, 2021 AT 8:00 A.M.

9. Reservations as contained in the Patent from the State of New Mexico, filed July 28, 1933, in Book 126, page 402, records of Bernalillo County, New Mexico. Item affects subject property. Item is not plotted hereon. Item is blanket in nature.
10. Easements and notes as shown, noted and provided for on the Plat filed April 24, 1963, in Plat Book CS, folio 157, records of Bernalillo County, New Mexico. Item affects subject property. Item is plotted hereon. Item is a seven foot public utility easement affecting the Westerly seven feet of subject property.
11. Easement granted to the Public Service Company of New Mexico, Inc., a New Mexico corporation and Mountain States Telephone and Telegraph Company, a Colorado corporation, filed February 18, 1970, in Book Misc. 165, page 66, records of Bernalillo County, New Mexico. Item affects subject property. Item is plotted hereon.
12. Easement granted to the Public Service Company of New Mexico, Inc., a New Mexico corporation and Mountain States Telephone and Telegraph Company, a Colorado corporation, filed November 14, 1972, in Book Misc. 286, page 134, records of Bernalillo County, New Mexico. Item affects subject property. Item is plotted hereon.

SURVEYOR'S NOTES:

1. INGRESS AND EGRESS TO THE SUBJECT PROPERTY IS PROVIDED BY SAN PEDRO BOULEVARD, NE, AND MONTGOMERY BOULEVARD, NE, DEDICATED AND ACCEPTED RIGHTS-OF-WAY MAINTAINED BY THE CITY OF ALBUQUERQUE.
2. THE TITLE LINES AND ACTUAL POSSESSION LINES ARE THE SAME.
3. THE SUBJECT PROPERTY IS NOT SERVED AND IS NOT SERVED BY ANY ADJOINING PROPERTY FOR DRAINAGE, INGRESS AND EGRESS EXCEPT AS SHOWN.
4. MONUMENTATION RECOVERED, ACCEPTED OR SET IS AS NOTED HEREON.
5. UTILITY INVERTS PROVIDED BY ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AS-BUILT DATED 5/29/1963, SHEET ME-340 AND 10/1973, P.D. 148, SHEET 28.

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID, BASED ON ALBUQUERQUE CONTROL SYSTEM MONUMENTATION. ALL BEARINGS AND DISTANCES ARE FIELD MEASURED. RECORD BEARINGS AND/OR DISTANCES ARE SHOWN IN PARENTHESES.

FLOOD INFORMATION:

THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (NO Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0139 G; EFFECTIVE DATE: SEPTEMBER 26, 2008.

STATEMENT OF ENCROACHMENTS:

THERE ARE NO EDIFICIAL ENCROACHMENTS AT THE TIME OF THIS SURVEY.

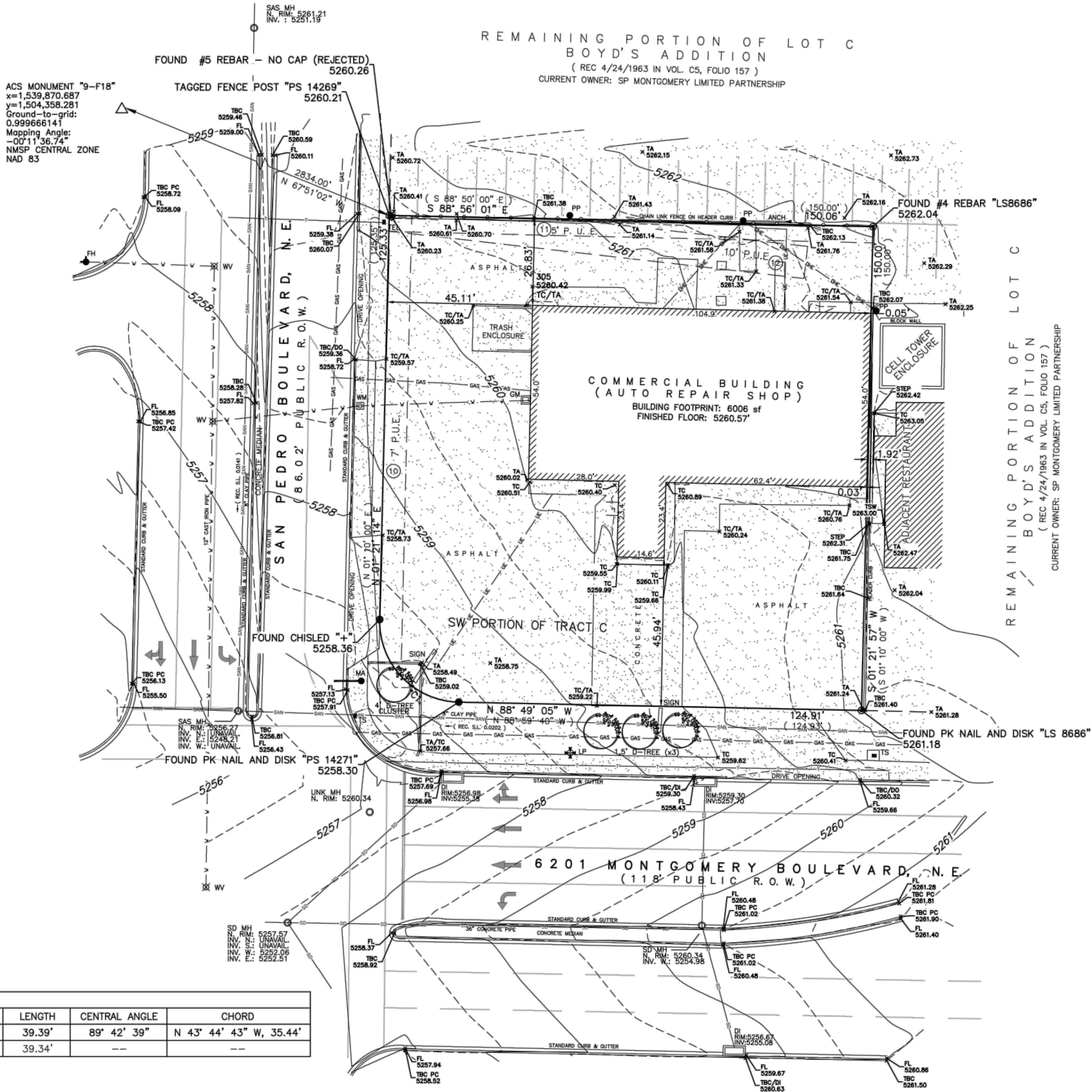
CURVE TABLE				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	25.00'	39.39'	89° 42' 39"	N 43° 44' 43" W, 35.44'
(C1)	25.00'	39.34'	--	--

RECORD LEGAL DESCRIPTION:

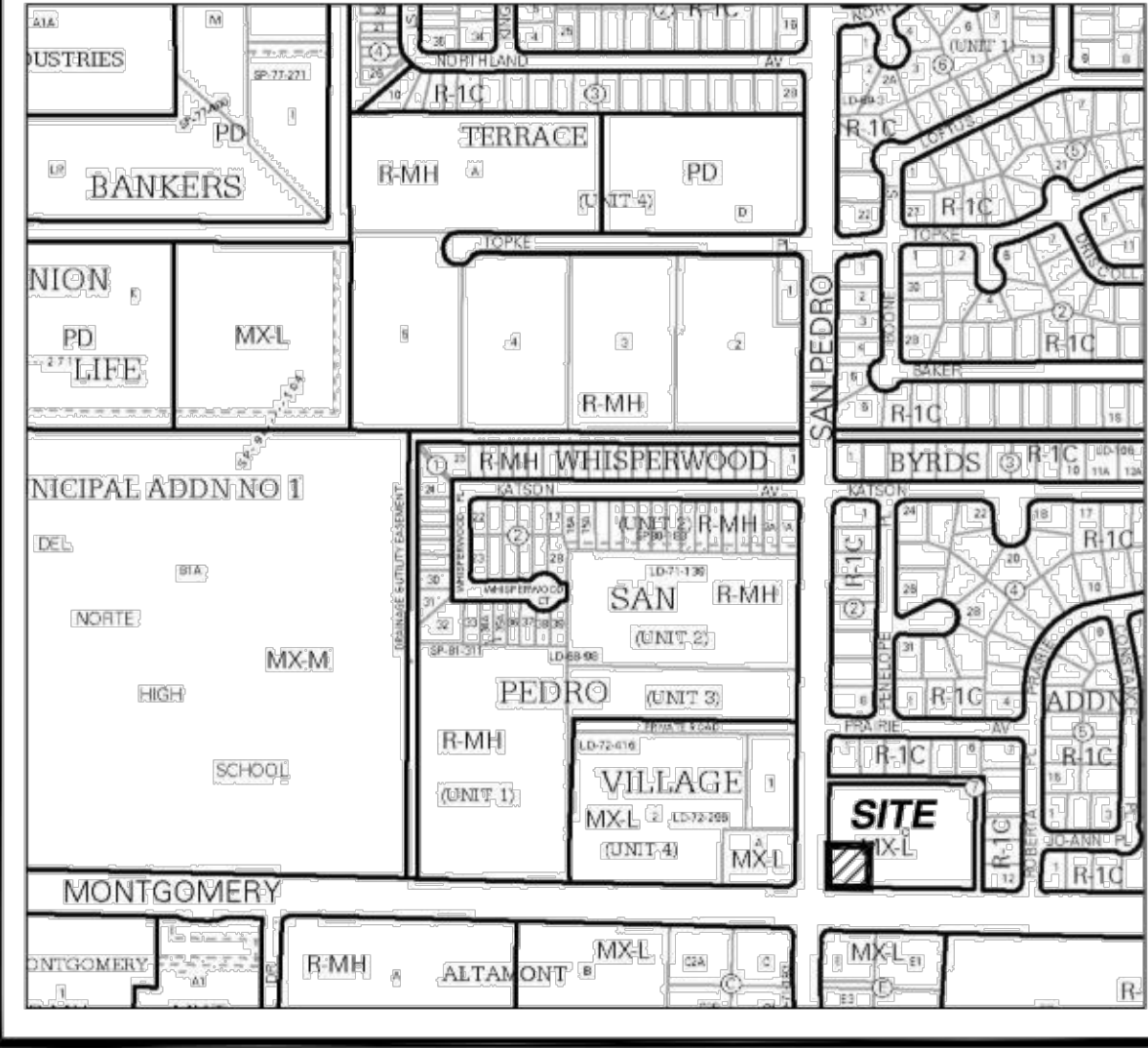
A TRACT OF LAND BEING AND COMPRISING A PORTION OF LOT LETTERED "C" IN BLOCK NUMBERED SEVEN (7) OF BOYD'S ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, BEING A REPLAT OF TRACTS "C", "D", "E" AND "F" OF THE REPLAT OF MUNICIPAL ADDITION NO. 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 1963, AND REFILED APRIL 24, 1963 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, SAID CORNER BEING ALSO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF MONTGOMERY BLVD., NE, FROM WHENCE THE SOUTHEAST CORNER OF SECTION 36, T.11 N., R. 3 E., N.M.P.M., BEARS S. 87°29'46"E, AND 2489.16 FEET DISTANT, AND RUNNING THENCE FROM SAID POINT OF BEGINNING, AND SAID NORTHERLY RIGHT OF WAY LINE N. 1°10' E., 150.0 FEET TO THE NORTHEAST CORNER OF THE HEREIN SAID EASTERLY RIGHT OF WAY LINE, TO A POINT OF CURVATURE AND RUNNING THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 25.0 FEET, AN ARC LENGTH OF 39.34 FEET TO A POINT OF TANGENCY ON SAID NORTHERLY RIGHT OF WAY LINE OF MONTGOMERY BOULEVARD N.E., AND RUNNING THENCE S. 88°59'40" E., 124.93 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, AND THE POINT OF BEGINNING, ALL WITHIN SAID LOT LETTER "C" IN BLOCK NUMBERED SEVEN (7) OF BOYD'S ADDITION.

SURVEY LEGAL DESCRIPTION:

A TRACT OF LAND BEING AND COMPRISING A PORTION OF LOT LETTERED "C" IN BLOCK NUMBERED SEVEN (7) OF BOYD'S ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, BEING A REPLAT OF TRACTS "C", "D", "E" AND "F" OF THE REPLAT OF MUNICIPAL ADDITION NO. 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 1963, AND REFILED APRIL 24, 1963 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, SAID CORNER BEING ALSO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAN PEDRO BOULEVARD, NE., FROM WHENCE THE ALBUQUERQUE CONTROL STATION MONUMENT "9-F18"(X=1539870.687, Y=1504358.281, NM CENTRAL ZONE, NAD83) BEARS N. 67°51'02" W., 2834.00 FEET DISTANT, AND RUNNING THENCE FROM SAID POINT OF BEGINNING S. 88°56'01"E., 150.06 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, RUNNING S. 01°21'57"W., 150.00 FEET DISTANT TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY OF MONTGOMERY BOULEVARD, NE; THENCE, RUNNING ALONG SAID RIGHT-OF-WAY N. 88°49'05"W., 124.91 FEET DISTANT TO A POINT OF CURVATURE; THENCE RUNNING ALONG A CURVE TO THE RIGHT 39.39 FEET DISTANT AND HAVING A RADIUS OF 25 FEET (CHORD: N. 43°44'43"W, 35.44 FEET, CENTRAL ANGLE: 89°42'39"); THENCE RUNNING N. 01°21'14" E., 125.33 FEET DISTANT, ALONG THE EASTERLY RIGHT-OF-WAY OF SAN PEDRO BOULEVARD, NE, TO THE NORTHWEST CORNER AND POINT OF BEGINNING; CONTAINING 0.5143 ACRES MORE OR LESS.



VICINITY MAP
(NOT TO SCALE)



ZONE: MX-L - MIXED USE - LOW INTENSITY
SITE RESTRICTIONS ARE AVAILABLE FROM CITY OF ALBUQUERQUE INTEGRATED. DEVELOPMENT ORD. CITY OF ALBUQUERQUE ZONING DEPARTMENT (505) 924-3860.

AREA:
22,403.49 sq. ft
0.5143 Acres
PARKING:
0 STANDARD SPACES
0 HANDICAPPED SPACES
0 TOTAL SPACES

LEGEND:

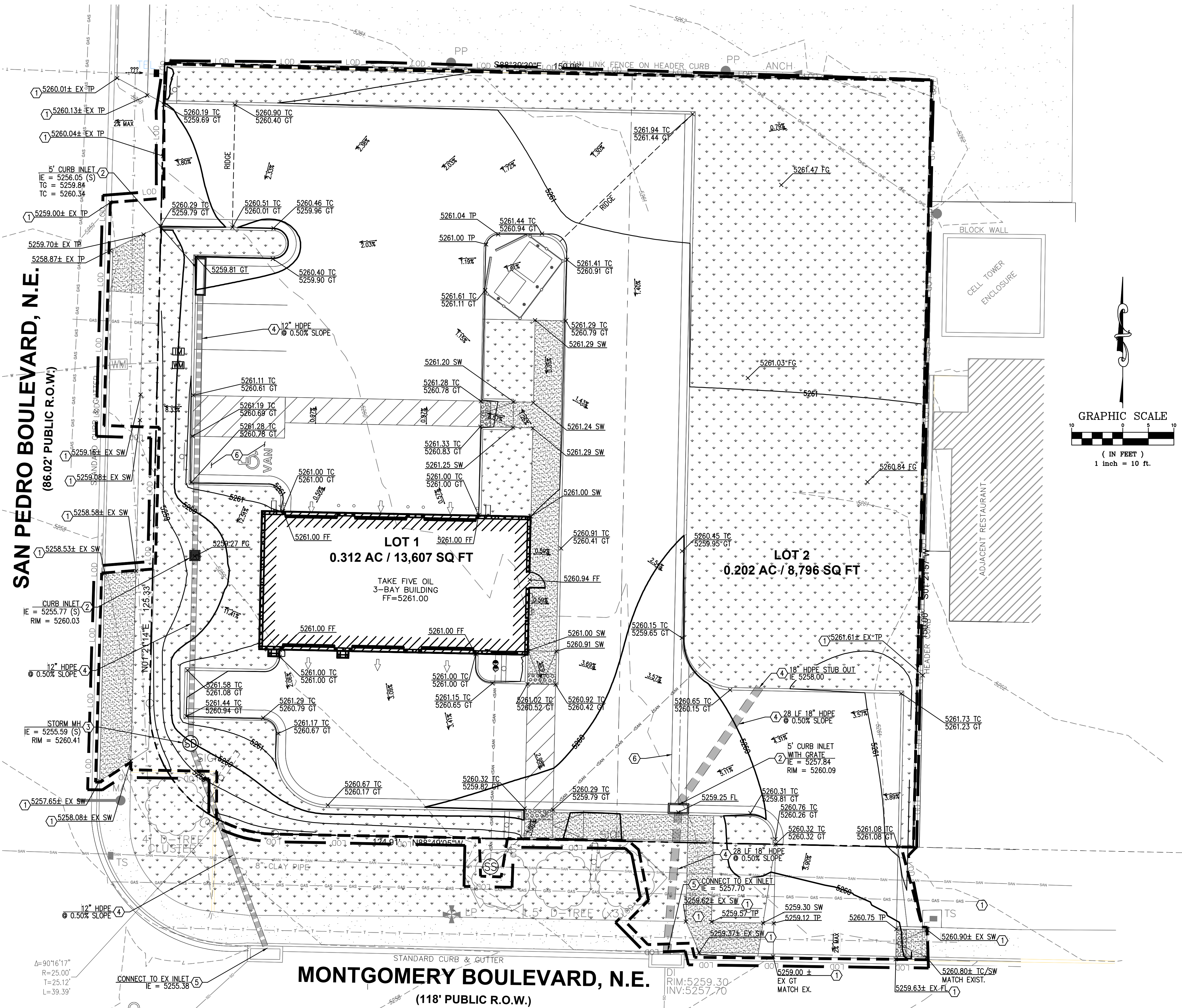
SPOT ELEVATION ELEVATIONS ARE TO ANNOTATED SPOTS	TBC TOP BACK OF CURB FL FLOW LINE TC TOP OF CONCRETE TA TOP OF ASPHALT FF FINISHED FLOOR RIM TOP OF RIM COVER NG NATURAL GROUND INV INVERT OF PIPE
EXISTING CONTOURS @0.5 FT. INTERVALS	
INDEX CONTOURS @1 FT. INTERVALS	
DROP INLET LIGHT POLE POWER POLE ELECTRIC METER GAS METER WATER METER SEWER CLEANOUT WATER VALVE FIRE HYDRANT TELEPHONE PEDESTAL GUY ANCHOR TRAFFIC SIGNAL PULLBOX MANHOLE (TYPE)	DHE OVERHEAD ELECTRIC LINES SD STORM DRAIN LINES UE UNDERGROUND ELECTRIC LINES T UNDERGROUND TELE-COMM LINES SAN SANITARY SEWER LINES W WATER LINES DECIDUOUS TREE CALIPER AS NOTED CHAIN LINK FENCE BLOCK WALL
CONCRETE/ASPHALT FOUND/SET CORNER AS NOTED	

C 500

CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

BENCHMARKS
ACS MONUMENT "9-F18" BEING A BRASS DISC ON TOP OF STEEL ROD STAMPED 9-F18 IN THE CITY OF ALBUQUERQUE N.M., ON THE SOUTHEAST CORNER OF THE INTERSECTION OF SAN MATEO BLVD NE AND SAN MATEO LANE NE.
N=1,539,870.687 E= 1,504,358.281
ELEVATION=5260.21'

FLOODNOTE
ACCORDING TO THE F.I.R.M. NO. 3500020139G, THE SUBJECT PROPERTY LIES IN ZONE X AND DOES NOT LIE WITHIN A FLOOD PRONE HAZARD AREA, PER MAP REVISION DATED SEPTEMBER 26, 2008.



EXISTING LEGEND:

- PROPERTY LINE
- EXISTING CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING FIBER OPTIC CABLE LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELETRIC LINE
- EXISTING TREE LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINES
- EXISTING FENCE LINE
- EXISTING IRON PIN FOUND, AS NOTED
- EXISTING IRON PIN SET
- EXISTING IRON PIN SET
- EXISTING BOLLARD
- EXISTING SIGN, AS NOTED
- EXISTING SEWER CLEAN OUT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING WATER SPIGOT
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING GATE POST
- EXISTING IRRIGATION VALVE
- EXISTING TELEPHONE BOX
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING TRAFFIC SIGNAL

LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- ADA RAMP
- EXISTING SPOT ELEVATION
- TOP OF PAVEMENT ELEVATION
- TOP OF CURB
- GUTTER
- GROUND
- FINISH FLOOR
- SIDEWALK
- TOP OF GRATE
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER
- IRRIGATION METER
- MANHOLE
- STORM MANHOLE
- CURB INLET
- DRAINAGE SLOPE AND DIRECTION

GRADING KEY NOTES:

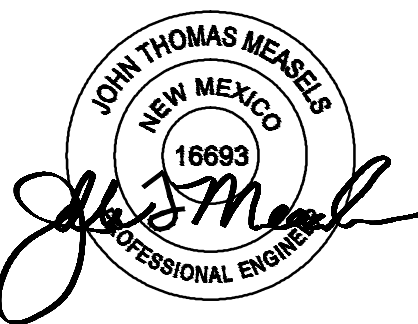
- MATCH EXISTING PAVEMENT ELEVATION.
- CURB INLET (SEE NOTE FOR SIZE)
- STORM MANHOLE
- HDPE STORM PIPE.
- CONNECT TO EXIST INLET (FIELD VERIFY LOCATION AND DEPTH)
- ADA COMPLIANT PARKING TO BE 2% MAX IN ALL DIRECTIONS.
- 3' CONCRETE SWALE



1101 Central Expressway South
Suite 215
Allen, TX 75013

Ph. 214-491-1830

John Measels, PE
CIVIL ENGINEER



09/24/21



TAKE FIVE OIL
6201 MONTGOMERY BLVD N.E.
ALBUQUERQUE, NEW MEXICO 87109

REV	DATE	DESCRIPTION	NAME	DATE	DATE
1	09/15/21	PRELIMINARY PLAN	JK	09/15/21	09/15/21
2	09/24/21	INITIAL BUILDING PERMIT SUBMITTAL	JM	09/24/21	09/24/21
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GRADING PLAN

CITY PROJECT NUMBER: PR-2020-004215