

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 26, 2023

Andre Sutiono
JM Civil Engineering
1101 Central Expressway S. Ste 215
Allen, TX 75013

Re: Take 5 Oil Change
6201 Montgomery Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 1/14/2022 (F18D030A)
Certification dated 7/20/2023

Dear Mr. Sutiono,

PO Box 1293

Based upon the information provided in your submittal received 7/24/2023, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



TRAFFIC CERTIFICATION

I, JOHN MEASELS, NMPE 16893, OF THE FIRM JM CIVIL ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/17/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS D. JOHNSTON, NMPS 14269 OF THE FIRM WAYJOHN SURVEYING.

I FURTHER CERTIFY THAT I HAVE REVIEWED SITE PICTURE OF THE PROJECT SITE AND CONTRACTOR REDLINES AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

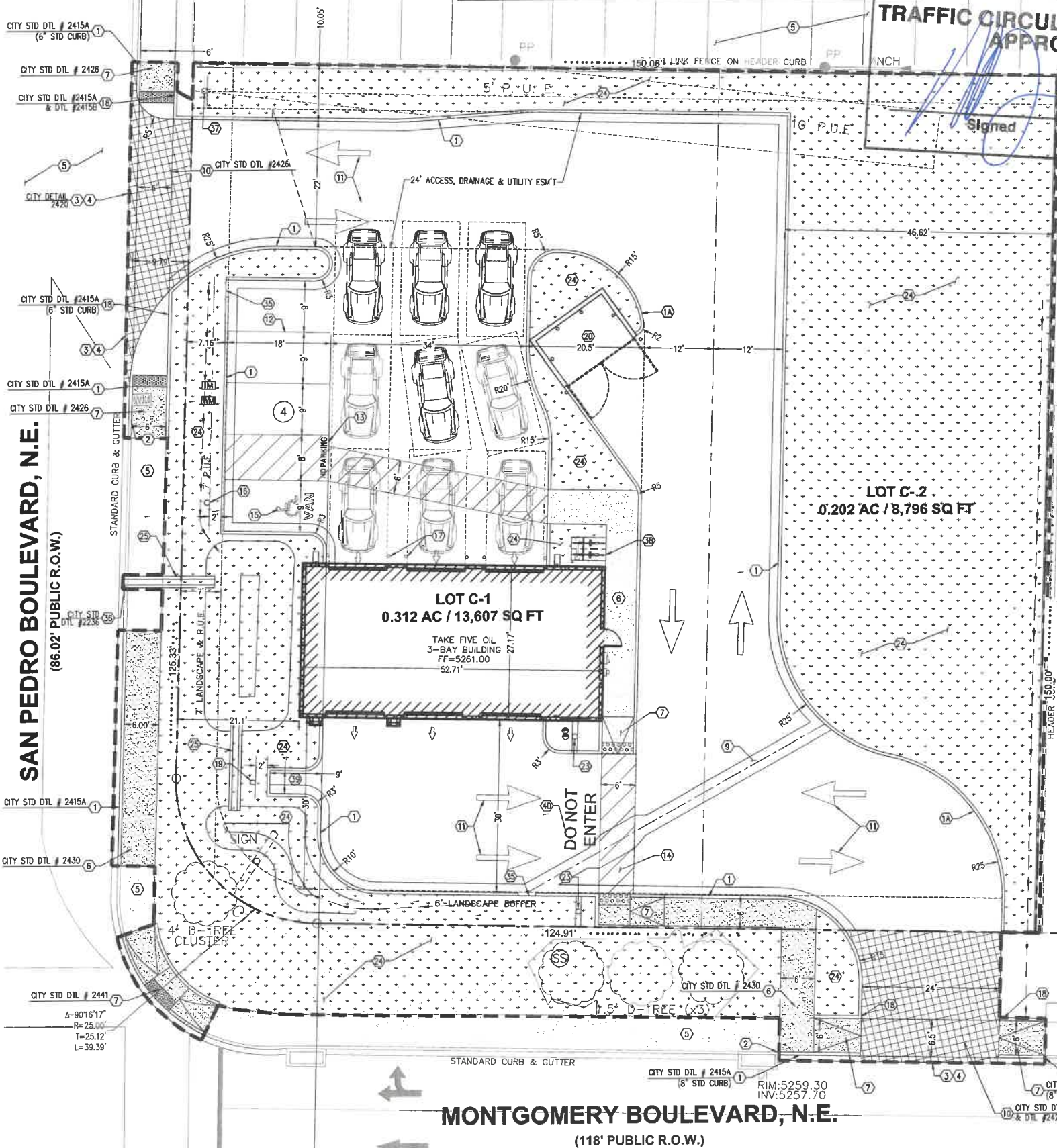


JOHN MEASELS, NMPE 16693
07/20/2023



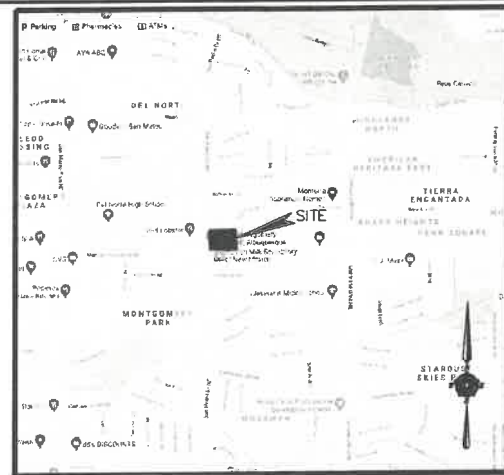
J:\URBAN DEVELOPMENT\JM-DIV2\001.0 ALBUQUERQUE N.M.-CURRENT DRAWINGS\JM-DIV2\001.0 - MONTGOMERY.DWG 1/14/2022 8:20 PM PATRICK SEALES

SAN PEDRO BOULEVARD, N.E.
(86.02' PUBLIC R.O.W.)



CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

BENCHMARKS
ACS MONUMENT "9-F18" BEING A BRASS DISC ON TOP OF STEEL ROD STAMPED 9-F18 IN THE CITY OF ALBUQUERQUE N.M., ON THE SOUTHEAST CORNER OF THE INTERSECTION OF SAN MATEO BLVD NE AND SAN MATEO LANE NE.
N=1,539,870.687 E=1,504,358.281
ELEVATION=5260.21'
DATUM: NAD 83
FLOODNOTE
ACCORDING TO THE F.I.R.M. NO. 35000201386, THE SUBJECT PROPERTY LIES IN ZONE X AND DOES NOT LIE WITHIN A FLOOD PRONE HAZARD AREA, PER MAP REVISION DATED SEPTEMBER 26, 2008.



SITE DATA TABLE		
LOCATION:	6201 MONTGOMERY BLVD N.E. ALBUQUERQUE, NM 79701	
LOT AREA:	0.514 AC. (22,407 S.F.)	
ZONING:	ZONING – MX–L	
CURRENT USE:	AUTO REPAIR	
PROPOSED USE:	OIL CHANGE	
BUILDING DATA:		
BUILDING AREA	1,438 S.F.	
BUILDING HEIGHT	28'–6" (1 STORY)	
BUILDING COVERAGE	10.6%	
F.A.R.	0.11:1	
PARKING SUMMARY:		
1 SP PER 1,000 SQ FT GFA	REQUIRED	PROVIDED
PARKING SPACES (9'x18')	2	3
MOTORCYCLE SPACES (4'x9')	1	1
ACCESSIBLE SPACES	1	1
TOTAL SPACES	3	5
LANDSCAPE:		
PERVIOUS:	8,988 S.F.	
IMPERVIOUS:	13,419 S.F.	

LEGEND:	
	PROPERTY LINE
	PROPOSED CURB & GUTTER
	LIMITS OF FULL DEPTH SAWCUT
	PARKING SPACES
	FIRELANE
	STOP BAR STRIPING
	ACCESSIBLE SPACES
	ADA RAMP
	BOLLARD
	TRAFFIC SIGN
	BOLLARD MOUNTED ACCESSIBLE SIGN
	DIRECTIONAL SIGN
	SPEAKER BOX
	MENU BOARD
	LIGHT POLE
	BUILDING UP LIGHTS
	AREA DRAIN
	GREASE TRAP
	CLEAN-OUT
	DOUBLE CLEAN-OUT
	GAS METER
	WATER METER
	IRRIGATION METER
	MANHOLE
	CURB INLET

EXISTING LEGEND:	
	EXISTING PROPERTY LINE
	EXISTING CURB & GUTTER
	LIMITS OF FULL DEPTH SAWCUT
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING FIBER OPTIC CABLE LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING TREE LINE
	EXISTING EASEMENT LINE
	EXISTING SETBACK LINES
	EXISTING FENCE LINE
	EXISTING IRON PIN FOUND, AS NOTED
	EXISTING IRON PIN SET
	EXISTING IRON PIN SET
	EXISTING BOLLARD
	EXISTING SIGN, AS NOTED
	EXISTING SEWER CLEAN OUT
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING WATER SPIGOT
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING GATE POST
	EXISTING IRRIGATION VALVE
	EXISTING TELEPHONE BOX
	EXISTING CURB INLET
	EXISTING STORM MANHOLE
	EXISTING TRAFFIC SIGNAL

- SITE KEY NOTES:**
- 6" CONCRETE CURB AND GUTTER. (CITY DTL #2415A & #2415B)
 - CONCRETE CURB W/NO GUTTER. (SEE DTL #2415A, 2415B & 2415C)
 - TAPER CURB TO MATCH EXISTING.
 - MATCH EXISTING PAVEMENT ELEVATION.
 - LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
 - EXISTING PAVEMENT TO REMAIN.
 - CONCRETE SIDEWALK, 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE (SEE CITY STD DETAIL #2430)
 - RAMP @ 8.33% MAX. (SEE CITY DETAIL #2443)
 - EXISTING FIRE HYDRANT.
 - 3' CONCRETE SWALE
 - DRIVEWAY (PER LOCAL CODES) SEE CITY STD DETAIL #2425A, #2425B, #2426
 - DIRECTIONAL TRAFFIC ARROW. (SEE SHEET C700)
 - PARKING STALL STRIPING. (SEE SHEET C700)
 - 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45°
 - PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
 - ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
 - ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
 - BOLLARD.
 - CONCRETE HEADER CURB (SEE CITY STD DTL #2415C)
 - MOTOR CYCLE PARKING ONLY SIGN (SEE SHEET C700)
 - DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
 - EXISTING CONCRETE DRIVEPAD
 - "THANK YOU" AND "DO NOT ENTER" SIGN.
 - LANDSCAPE AREA. (PER LANDSCAPE PLAN)
 - 1' WIDE CONCRETE CULVERT (CITY DTL 2236)
 - "EXIT ONLY" MARKING.
 - 3' CURB CUT. (SEE GRADING PLAN)
 - DRAINAGE SIDEWALK CULVERT. (CITY DTL 2236)
 - STOP SIGN.
 - APEX BICYCLE RACK MODEL #AP2-02-EM 2 3/8" OD., EMBEDDED MOUNT AS MANUFACTURED BY SITESCAPES INC. OR APPROVED EQUAL.
 - MOTORCYCLE PARKING STALL
 - "DO NOT ENTER" PAVEMENT MARKING.
- NOTES:**
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

JM CIVIL
1101 Central Expressway South
Suite 215
Allen, TX 75013
Ph. 214-491-1830
John Measels, PE
CIVIL ENGINEER

JOHN THOMAS MEASELS
NEW MEXICO
18893
PROFESSIONAL ENGINEER

01/14/22



TAKE FIVE OIL
6201 MONTGOMERY BLVD N.E.
ALBUQUERQUE, NEW MEXICO 87109

REV	DATE	DESCRIPTION
01	01/14/22	INITIAL BUILDING PERMIT SUBMITTAL
02	01/14/22	TRAFFIC CONTROL COMMENTS ADDRESSED
03	01/14/22	PLAN REVISIONS DUE TO HYDROLOGIC COMMENTS
04	01/14/22	
05	01/14/22	
06	01/14/22	
07	01/14/22	
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39	01/14/22	
40	01/14/22	

TRAFFIC CIRCULATION LAYOUT

CITY PROJECT NUMBER: PR-2020-04915

TCL

F18-D030A