

The following items concerning the La-Z-Boy Showcase Shoppe Drainage Plan are contained hereon:

1. Vicinity Map
2. Grading Plan
3. Calculations

The proposed improvements, as shown by the Vicinity Map, are located at the southeast corner of the intersection of San Mateo Boulevard N.E. and McLeod Road N.E. At present, the site is developed as a retail store. The intent of this plan is to provide additional parking and retail space.

Research has revealed that the site does not lie within a designated Flood Hazard Zone and that the free discharge of runoff is permitted. Storm drain facilities exist in San Mateo Boulevard which convey runoff to an adequate downstream channel. This was determined during the pre-design conference. Review of map No. 17 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, Bernalillo County, New Mexico, indicates that an off-site basin of approximately three acres contributes runoff to this site. Further analysis has revealed that this off-site basin is approximately 71% impervious.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1' 0" intervals, 2) continuity between existing and proposed elevations, 3) the limit and character of the existing improvements, 4) the limit and character of the proposed improvements, and 5) the existing and proposed drainage basin boundaries. As shown by this plan, the proposed improvements include an addition to the existing building along with additional paved parking. The plan also shows that in both the existing and proposed conditions approximately one-third of the site drains south to an existing drainage easement which lies along the south property line of the site. The remaining two-thirds of the site drains toward San Mateo Boulevard. Once in San Mateo Boulevard, the runoff is intercepted by the existing storm drain facilities. The previously mentioned drainage easement drains in a westerly direction to an existing concrete box culvert. This box culvert is the double barrel variety. Each barrel has a cross-section which measures eight feet wide by four feet high. With this in mind, it is intuitively obvious that the box culvert has the capacity to receive the combined discharge from the site and the off-site basin. Lastly, it should be noted that the box culvert discharges into the previously mentioned drainage facility which lies within San Mateo Boulevard.

The Calculations which appear below analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Rational Method has been used for this analysis in accordance with the City of Albuquerque Development Process Manual, Volume II. The review of these calculations reveals that a relatively minor increase in runoff is anticipated due to the proposed improvements. It should also be noted that this increase in runoff is largely due to the new paving proposed at the southeast corner of the site and that this area will drain to the existing drainage easement and not onto San Mateo Boulevard. It should finally be noted that the existing drainage easement is heavily vegetated with weeds and native grasses. It is due to the presence of this dense vegetation that erosion control measures are not necessary. In the present condition, there are no signs of erosion along the drainage easement.

PROJECT BENCH MARK

ACS BENCH MARK 8-FIT LOCATED IN THE WEST SIDE OF THE MEDIAN IN SAN MATEO BLVD. NE AT THE INTERSECTION OF SAN MATEO BLVD AND SAN MATEO LAKE NE. A STANDARD BRASS TABLET STAMPED '8-FIT' SET IN CONCRETE. ELEV. = 5209.15 FEET (MSLD)

TBM

THE TEMPORARY BENCH MARK IS LOCATED AT THE INTERSECTION OF SAN MATEO BLVD. AND MCLEOD ROAD NE IN THE SE QUADRANT OF THE INTERSECTION AT THE SSE CURB RETURN. ELEV. = 5213.37 FEET (MSLD)

ADDRESS

5004 SAN MATEO BLVD. NE

LEGAL DESCRIPTION

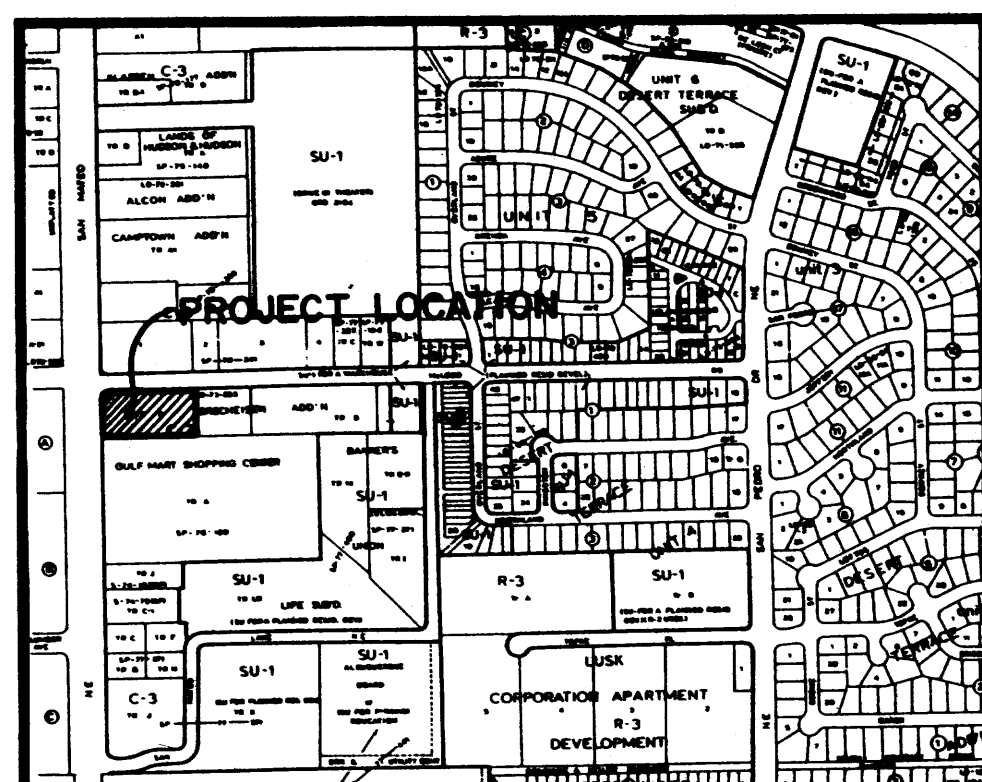
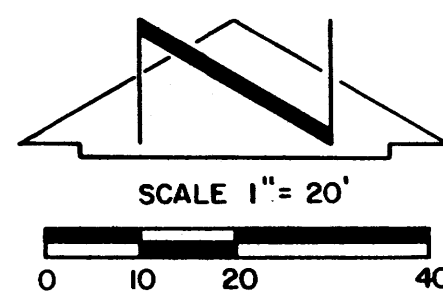
TRACT A, DRECHSEIN ADDITION, EXCEPTING EASTERLY 200'

SUPPLEMENTAL TEXT

This plan has been updated to address modifications to the facade of the existing building. The new facade will not alter the hydrologic characteristics of the site because no additional impervious surface is being created and existing drainage patterns will not be changed or modified.

LEGEND

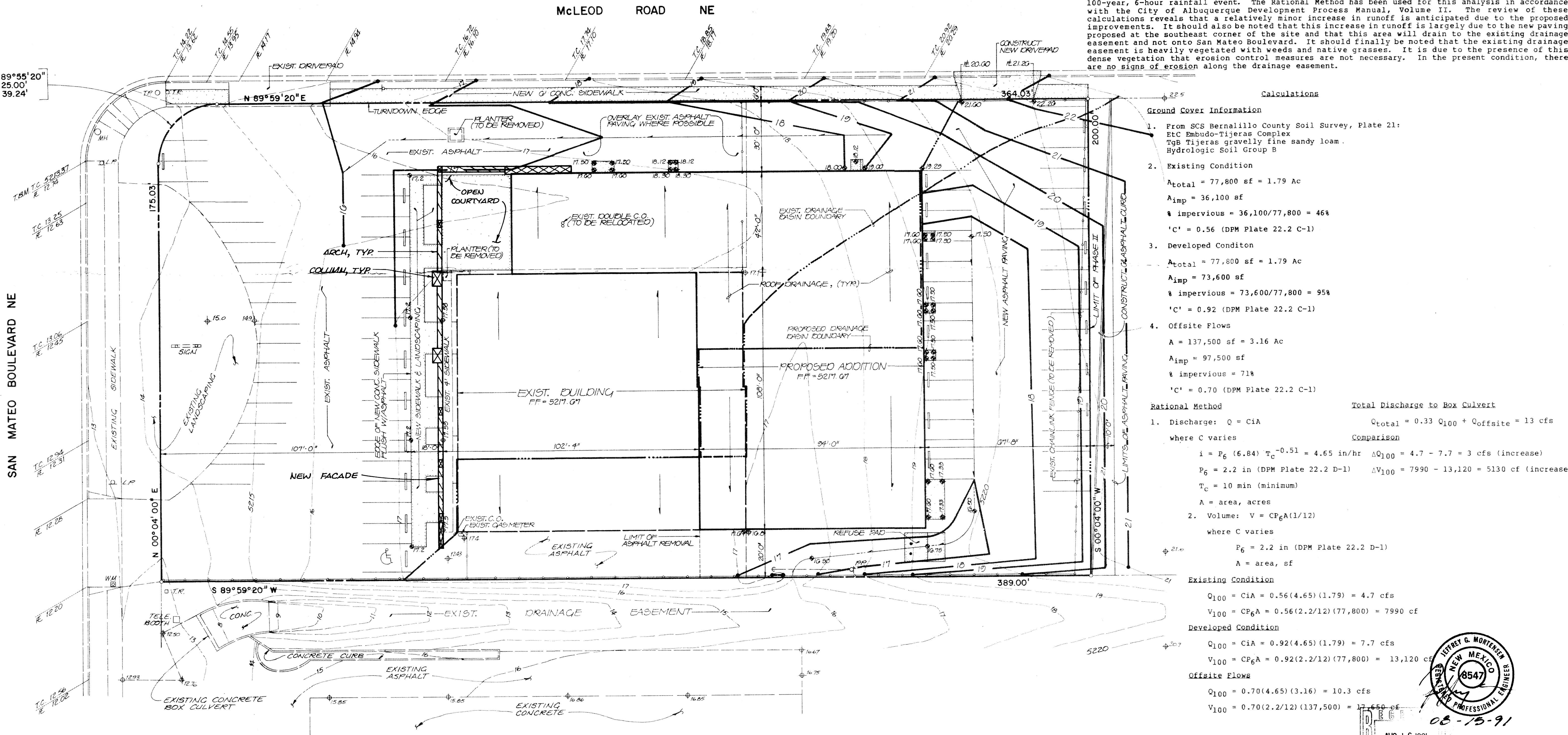
- 80.1 EXISTING SPOT ELEVATION
- 83.2 PROPOSED SPOT ELEVATION
- 52.80 EXISTING CONTOUR
- 82 PROPOSED CONTOUR
- SWALE
- T.C. 82.51 TOP OF CURB ELEVATION
- 81.52 FLOW LINE ELEVATION
- CONCRETE
- BASIN BOUNDARY



VICINITY MAP

F-18

SCALE 1" = 800'



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NO.	DATE	BY	REVISIONS

DESIGNED BY: J.G.M.
 DRAWN BY: TXW / CLB
 APPROVED: J.G.M.

JOB NO.
31062
 DATE
8-91

UPDATE
 GRADING AND DRAINAGE PLAN
 LA-Z-BOY SHOWCASE SHOPPE

HYDROLOGY DIVISION

FILE NO.

SHEET 1 OF 1