

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 7, 2025

Scharles Wilder
WilderDesign LLC
661D GARCIA ST
SANTA FE, NM 87505

casawildersd@gmail.com

**Re: Daskalos Shopping Center
6000 San Mateo NE
Traffic Circulation Layout
Engineer's Stamp 7-16-25 (F18D039) TRANS-2025-00177**

Dear Mr. Wilder,

The TCL submittal received 7-7-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

PARKING PROVIDED:

REQUIRED SPACES (RETAIL BLDG):
 5,384 SF 3.5 PER 1000 = 19 SPACES
 2 ACCESSIBLE (1 VAN INCLUDED)
 1 MOTORCYCLE SPACE
 2 BIKE RACK
 TOTAL REQUIRED 19
 TOTAL PROVIDED SPACES 33

REQUIRED SPACES (WAREHOUSE BUILDING):
 10,000 SF 1 PER 2000 = 5 SPACES
 2 ACCESSIBLE (1 VAN INCLUDED)
 1 MOTORCYCLE SPACE
 1 BIKE RACK
 TOTAL REQUIRED 5
 TOTAL PROVIDED SPACES 22

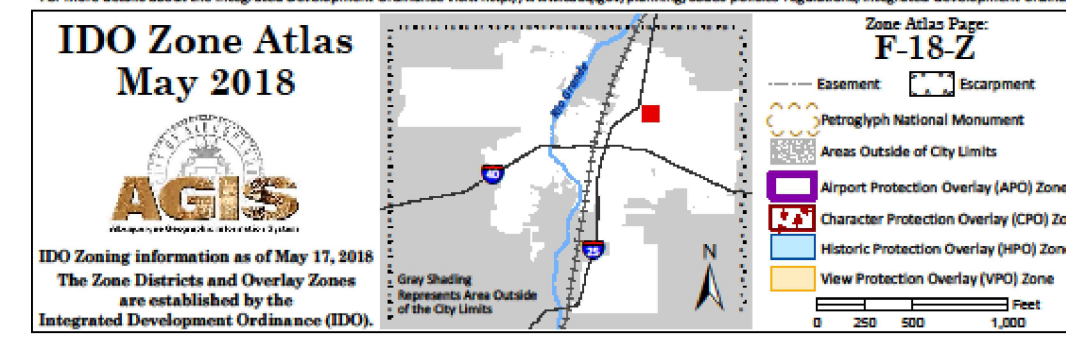
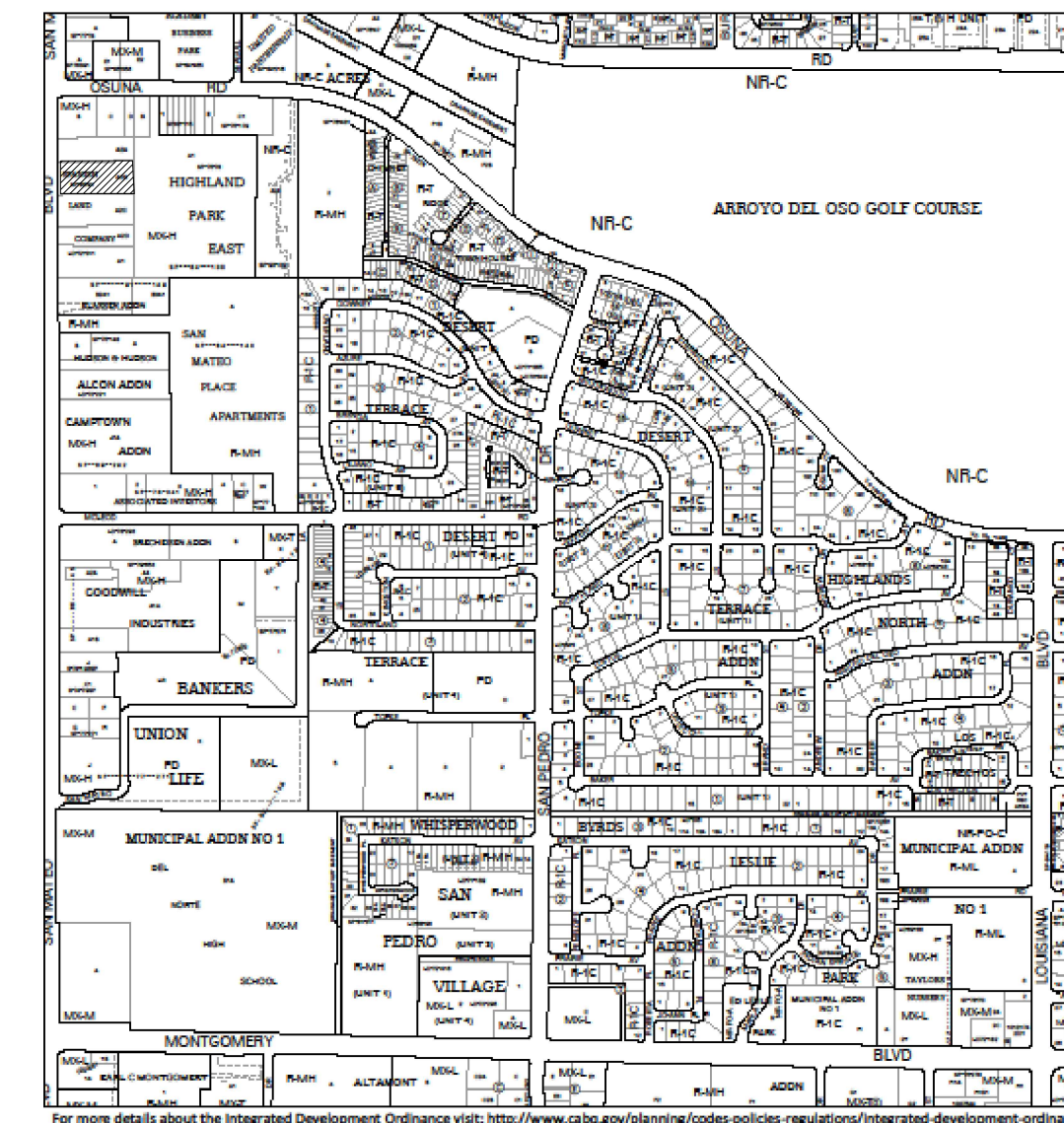
LANDSCAPING PROVIDED:

REQUIRED LANDSCAPING:
 LOT SIZE 68,000 SF
 BUILDING SIZES 5,384 SF + 10,000 SF = 15,384 SF
 68,000 SF - 15,384 SF = 52,616 X .15 = 7,892 SF
 TOTAL REQUIRED LANDSCAPING = 7,892 SF
 TOTAL PROVIDED LANDSCAPING = 10,300 SF

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- H. CONSTRUCT VALLEY GUTTER PRIVATE ACCESS DRIVE PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2420.

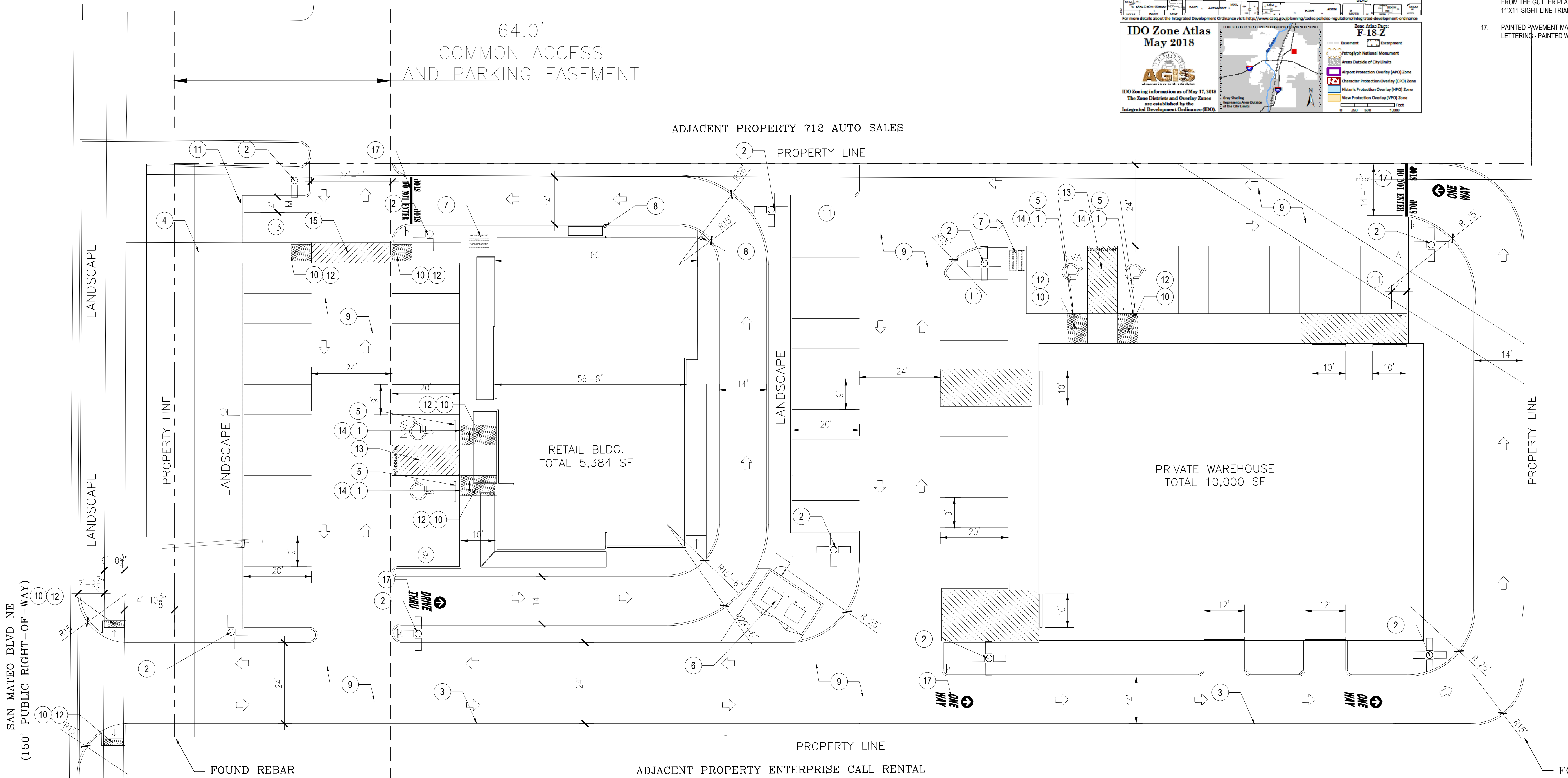
VICINITY MAP



KEYED NOTES

1. HANDICAP SIGN - 2 REQUIRED - SEE DETAIL 8/TCL2
2. SITE LIGHTING - REFER TO DETAIL 6/TCL2
3. NEW STANDUP CURB TYPICAL - SEE DETAIL 1/TCL2
4. NEW SIDEWALK TYPICAL - SEE DETAIL 2/TCL2
5. NEW PARKING BUMPER - 2 REQUIRED - SEE DETAIL 4/TCL2
6. NEW REFUSE CONTAINER BY OWNER - SEE DETAIL 10/TCL2
7. NEW 18" WIDE X 36" TALL "U" STYLE BIKE RACK2 SPACES - 2X6" AREA EACH SIDE OF RACK - SEE DETAIL 7/TCL2
8. PIPE BOLLARD - SEE DETAIL 9/TCL2
9. HEAVY DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION, SEE 3/TCL2
10. HANDICAP RAMPS REQUIRED - PER CITY DETAIL 2440
11. 4X8" MOTORCYCLE PARKING SPACE - WITH SIGNAGE TO READ MOTORCYCLE PARKING ONLY - PER NOTE 8/TCL2 FOR REQUIREMENTS
12. TRUNCATED DOMES TO BE PROVIDED AT THE ADA RAMPS ONTO SITE PER CITY DETAIL 2440
13. ADA ACCESS AISLES TO HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS - 12" HIGH AND AT LEAST 2' WIDE - PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE THE ADJACENT VEHICLES REAR TIRE WOULD BE PLACED.
14. ADA ACCESSIBLE PARKING SIGN MUST HAVE THE REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING. SEE NOTE 8/TCL2 FOR DETAILS
15. 6' WIDE ADA PATHWAY TO SIDEWALK FOR BUILDING ENTRANCE - PER CITY DETAIL 2446
16. "ONE WAY / DO NOT ENTER" SIGNAGE - SEE DETAIL 8/TCL2
17. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE - MINIMUM OF 11'X11' SIGHT LINE TRIANGLE AT BOTH SIDES OF ALL DRIVEWAYS IN SITE. TYPICAL
18. PAINTED PAVEMENT MARKINGS FOR "ONE WAY", DRIVE-THRU, AND DO NOT ENTER" 12" HIGH LETTERING - PAINTED WHITE

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sertil A. Kanbar 8/7/2025
 Signed Date



1 SITE PLAN
 SCALE: 1/16" = 1'-0"



WILDER DESIGN
 architecture.planning.sustainable design consulting

REVISIONS	
1.	
2.	

DASKALOS SHOPPING CTR.
 6000 SAN MATEO BLVD NE,
 ALBUQUERQUE, NM 87109

TRAFFIC CIRCULATION LAYOUT

JOB #	24015
DATE	7.7.25
DRAWN BY:	STW
PROJECT MANAGER	STW

TCL1



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title: Daskalos Shopping Center (temporary name)

Zone Atlas Page: F18 DFT/DHO #: _____ BP #: _____

Development Street Address: 6000 San Mateo Blvd NE, Albuquerque, NM 87109

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: Wilder Design LLC Contact: Scharles Wilder

Address: 7617 Guadalupe Trail NW, Los Ranchos, NM 87107

Phone#: 858-754-7735 E-mail: casawildersd@gmail.com

Development Information

Build out/Implementation Year: 2025

Existing Use: car storage lot

Describe Proposed Development and Uses:
(1) 5,484 Sf Retail building with a drive thru and (1) 10,000 private warehouse

Days and Hours of Operation (if known): 9:00am to 9:00pm

Facility

Building Size (sq. ft.): 5,384 SF Retail Building and 10,000 Private Warehouse

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour and ITE # (if known):* 220 AM/ 180 PM ITE 934

Driveway(s) Located on: Street Name San Mateo Blvd

Adjacent Roadway(s) Posted Speed: Street Name San Mateo Blvd Speed 35

Street Name _____ Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): Main Street
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): Main Street
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector) : Principal
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s):

Name: San Mateo Blvd Traffic Volume: 32,742 Volume-to-Capacity Ratio (v/c): .47

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : Bus Service Nearest Transit Stop(s): 70' north
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: yes
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : 2 bike racks and pedestrian connection
Bikeways: Mitigating Reasons for Not Requiring TIS and/or Notes:
<https://www.mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: 6' sidewalk to building
Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Ernest Armijo: Earmijo@cabq.gov. Email or call 505-924-3991 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [x]

Thresholds Met? Yes [x] No []

V/C is below 0.50, indicating fronting roadway has excess capacity

Ernest Armijo
TRAFFIC ENGINEER

8/7/2025
DATE