



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Enterprise Building Permit # 22-31076 Hydrology File # \_\_\_\_\_  
DRB# \_\_\_\_\_ EPC# \_\_\_\_\_  
Legal Description: 2AD Spanish Land Co City Address OR Parcel 5706 San Mateo NE

Applicant/Agent: Scott Anderson Contact: \_\_\_\_\_  
Address: 4419 4<sup>th</sup> St NW Ste B Phone: 505 401 7575  
Email: scott@scsarchitects.com

Applicant/Owner: Enterprise Contact: Mark  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (#of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE: ☒  
RE-SUBMITTAL: ☒ YES \_\_\_\_\_ NO

DEPARTMENT: ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10/5/2022



SCOTT C. ANDERSON  
& associates architects  
4419 4th st nw, suite b  
albuquerque, nm 87107  
scott@scaarchitects.com  
505.401.7575

October 5, 2022

Marwa Al-najjar  
Associate Engineer  
Planning Department, Development Review Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: Enterprise Car Rental, 5700 San Mateo Blvd NE, Traffic Circulation Plan for Building Permit F18D052

Dear Ms. Al-najjar:

I am writing in response to the review comments dated September 23, 2022.

1. Driveways entrances off San Mateo Blvd. need to be updated to current ADA std. or Curb Return is recommended on Principal Arterial. San Mateo classified as Principal Arterial. **See keyed note Y "HC ramp COA standard detail 2425B".**
2. Provide details for the interior existing ADA ramp, to make sure it is ADA compliance. **See detail B6 on Sheet A-501.**
3. Please provide details for all the proposed signs and pavement markings. **Reference details on TCL sheet and sheet A-501.**
4. Per IDO Required Stacking space, you need to show minimum 3 vehicles stacking spaces in the car wash lanes. **There are 4 lanes that are 83.70' long for stacking in front of the private car wash.**
5. Also, please high light the shared access easement on the plat of topography exhibit. **Added, see sheet C-102.**
6. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination and fill out a TIS Form that states whether one is warranted. In some cases a trip generation may be request for determination (Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)) **Not required per Matt Grush, see attached letter.**

Respectfully,

Scott C. Anderson AIA  
Principal  
Scott Anderson & Associates Architects



Scott Anderson <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>

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## 5700 San Mateo Blvd NE Traffic Scoping form

1 message

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**Grush, Matthew P.** <[mgrush@cabq.gov](mailto:mgrush@cabq.gov)>  
To: Scott Anderson <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>

Tue, Sep 27, 2022 at 2:51 PM

Hello Scott,

A TIS is not required for your development at [5700 San Mateo Blvd. NE](#), see attached.

Thank you,



Matt Grush, P.E., PTOE

Senior Engineer

505-924-3362

[mgrush@cabq.gov](mailto:mgrush@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

**From:** Scott Anderson <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>

**Sent:** Tuesday, September 27, 2022 12:16 PM

**To:** Grush, Matthew P. <[mgrush@cabq.gov](mailto:mgrush@cabq.gov)>

**Subject:** [5700 San Mateo Blvd NE](#)

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

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**5700 San Mateo Blvd NE Traffic Scoping form.pdf**  
1255K





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

Project Title: Enterprise Car Rental  
Building Permit #: 22-31096 Hydrology File #: \_\_\_\_\_  
Zone Atlas Page: F18 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot A2D Spanish Land Co  
Development Street Address: 5700 San Mateo Blvd NE  
Applicant: Scott Anderson Contact: \_\_\_\_\_  
Address: 4419 4<sup>th</sup> St NW Ste B  
Phone#: 505 401 7575 Fax#: \_\_\_\_\_  
E-mail: scott@scaarchitects.com

### Development Information

Build out/Implementation Year: 2022 Current/Proposed Zoning: NR-C  
Project Type: New: ( ) Change of Use: (☒) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )  
Change of Zoning: ( )  
Proposed Use (mark all that apply): Residential: ( ) Office: (☒) Retail: ( ) Mixed-Use: ( )  
Describe development and Uses:  
convert car dealership to car rental  
add car wash to service returned cars  
Days and Hours of Operation (if known): 7:00 AM - 7:00 PM

### Facility

Building Size (sq. ft.): 5,466  
Number of Residential Units: 0  
Number of Commercial Units: 2

### Traffic Considerations

ITE Trip Generation Land Use Code \_\_\_\_\_  
Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_  
Expected Number of Employees (if known):\* \_\_\_\_\_  
Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_  
Trip Generations during PM/AM Peak Hour (if known):\* \_\_\_\_\_  
Driveway(s) Located on: Street Name San Mateo Blvd NE

Adjacent Roadway(s) Posted Speed: Street Name Posted Speed  
Street Name Posted Speed

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

### **Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: \_\_\_\_\_  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: \_\_\_\_\_  
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: \_\_\_\_\_ Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): \_\_\_\_\_ Nearest Transit Stop(s): \_\_\_\_\_

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: None  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Yes

### **Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### **TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

M.P. P.E.

9/27/2022

TRAFFIC ENGINEER

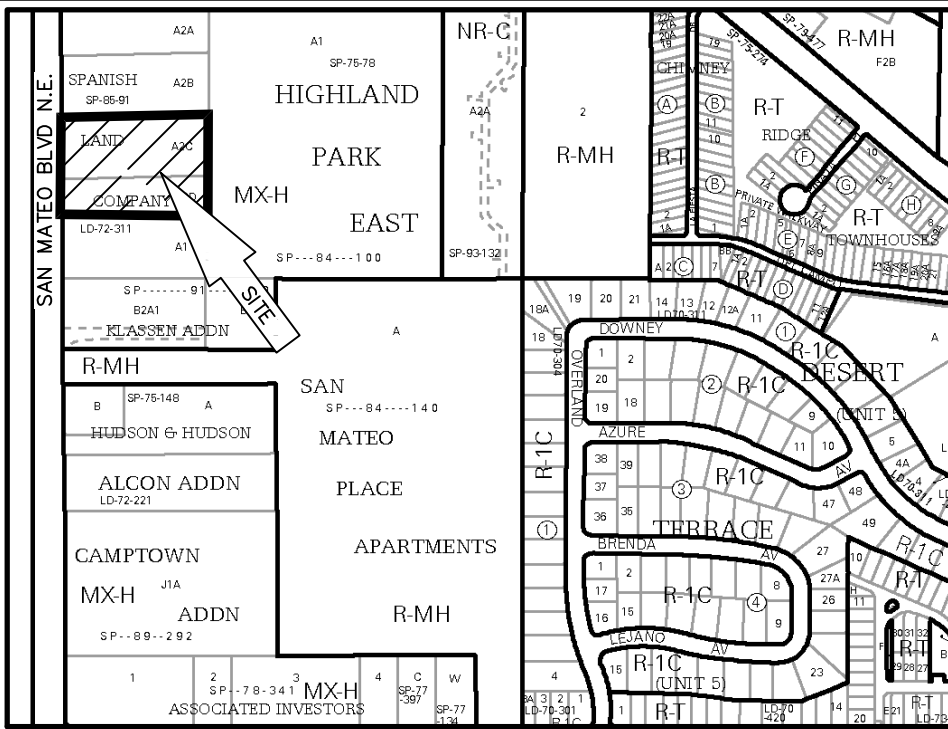
DATE

### **Submittal**









VICINITY MAP No. F-18-Z

GENERAL NOTES:

- OWNER OF RECORD PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 2653542-AL01, DATED JULY 27, 2021, IS MELLOY BROTHERS ENTERPRISES, INC., A NEW MEXICO CORPORATION.
- LEGAL DESCRIPTION AND EASEMENTS SHOWN WERE PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 2653542-AL01, DATED JULY 27, 2021.
- PLATS USED TO ESTABLISH BOUNDARY:
  - PLAT OF TRACTS A-2-A, A-2-B, A-2-C, AND A-2-D REPLAT OF TRACTS A-2-A, AND A-2-B, SPANISH LAND COMPANY SUBDIVISION FILED FEBRUARY 28, 1985, IN VOLUME C26, FOLIO 116
- FIELD WORK PERFORMED ON: AUGUST 4, 2021
- PARKING:

ACCESSIBLE:	3
REGULAR:	23
TOTAL:	26
- CURRENT ZONING: MX-H

TOPOGRAPHY NOTES:

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "12-F18", HAVING AN ELEVATION OF 5215.989 NAVD 1988
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.



LEGAL DESCRIPTION:

TRACT A-2-C, PLAT OF TRACTS A-2-A, A-2-B, A-2-C AND A-2-D, A REPLAT OF TRACTS A-2-A, AND A-2-B, SPANISH LAND COMPANY SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 28, 1985 IN VOLUME C26, FOLIO 116.

AND

TRACT A-2-D, PLAT OF TRACTS A-2-A, A-2-B, A-2-C AND A-2-D, A REPLAT OF TRACTS A-2-A, AND A-2-B, SPANISH LAND COMPANY SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 28, 1985 IN VOLUME C26, FOLIO 116.

SCHEDULE B NOTES:

ITEM #9. ARE RESERVATIONS CONTAINED IN PATENT FROM UNITED STATES OF AMERICA RECORDED IN BOOK 80, PAGE 353, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, NO EASEMENTS ARE NOTED.

ITEM #10. IS A RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY FILED OCTOBER 23, 1964, RECORDED IN BOOK R/W 143, PAGE 265, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHICH AFFECTS THE PROPERTY AND IS SHOWN HEREON.

ITEM #11. IS AN EASEMENT IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION FILED AUGUST 6, 1982, RECORDED IN BOOK MISC. 950, PAGE 95 AS DOCUMENT NO. 82-40928, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHICH AFFECTS THE PROPERTY TO THE NORTH.

ITEM #12. IS A RECIPROCAL EASEMENTS FOR COMMON ACCESS BY ROBERT MELLOY FILED JULY 19, 2011, RECORDED IN DOCUMENT NO. 2011065310, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHICH AFFECTS THE PROPERTY AND IS SHOWN HEREON.

ITEM #13. IS A PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (ELECTRIC) FILED OCTOBER 20, 2011, RECORDED IN DOCUMENT NO. 2011095470, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TRACT A-2-C, WHICH AFFECTS THE PROPERTY AND IS SHOWN HEREON.

ITEM #14. ARE EASEMENT(S) RESERVED ACROSS THE LAND AS SHOWN AND NOTED ON THE RECORDED PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 28, 1985, IN PLAT BOOK C26, PAGE 116, AS AFFECTED BY PUBLIC SERVICE COMPANY OF NEW MEXICO FOR IT'S ELECTRIC SERVICES DIVISION WAIVER AND RELEASE OF EASEMENT FIELD NOVEMBER 3, 1998 IN BOOK 9817, PAGE 9419 AS DOCUMENT NO. 1998141229, WHICH AFFECTS THE PROPERTY AND IS SHOWN HEREON.

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
CERTIFY TO: EAN HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY &  
FIRST AMERICAN TITLE INSURANCE COMPANY

I, ANTHONY L. HARRIS, A PROFESSIONAL SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THERE ARE NO ENCROACHMENTS FROM THIS PROPERTY TO ADJOINING PROPERTIES OR FROM ADJOINING PROPERTIES TO THIS PROPERTY UNLESS HEREON SHOWN. I FURTHER CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS LAND IN 2021, AND INCLUDES ITEMS: 1, 2, 3, 4, 6(A), 6(B), 7(A), 8, 9, 10, 11(A), 12, 13, 16, 17, AND 18, OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) ON AN URBAN SURVEY.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO  
THIS 20TH DAY OF AUGUST, 2021

Anthony L. Harris, N.M.P.S. #11463



Anthony L. Harris, N.M.P.S. #11463 HARRIS SURVEYING, INC.  
1508 CIELO VISTA DEL SUR N.W. • Corrales, New Mexico 87046  
Telephone (505) 250-2273



## Reciprocal Easements for Common Access

As owner(s) of the property located at:

**Melloy Suzuki Super Center**  
6000 San Mateo Blvd. NE  
Albuquerque, NM 87109

I (we) hereby agree to create a common access easement between the below described adjoining lots:

Tract A-2-B, Spanish Land Company  
Tract A-2-C, Spanish Land Company  
Tract A-2-D, Spanish Land Company


The easement shall provide access, from an existing 64' common access and parking easement (per plat recorded February 28, 1985 in Plat Book C26, Folio 116), to said lots owned by them for the benefit of each of them; and therefore agree as follows.

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run with the land.

### Verification

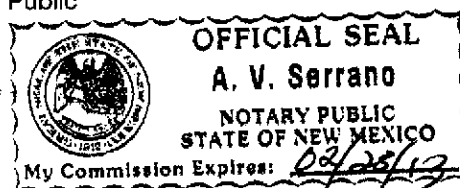
STATE OF NEW MEXICO        }  
  } ss.  
COUNTY OF BERNALILLO    }

Robert Melloy, of lawful age and upon being duly sworn, upon oath, states and verifies as follows: that he has read the foregoing document and understands the contents thereof; that the matters and things contained therein are true and correct to the best of his knowledge, information and belief.

  
Robert Melloy

Subscribed and sworn to before me this 18th day of July, 2011.

  
Notary Public



Doc# 2011065310

07/19/2011 10:20 AM Page: 1 of 1  
EASE R:\$25.00 M. Toulouse Oliver, Bernalillo County





## KEYED NOTES

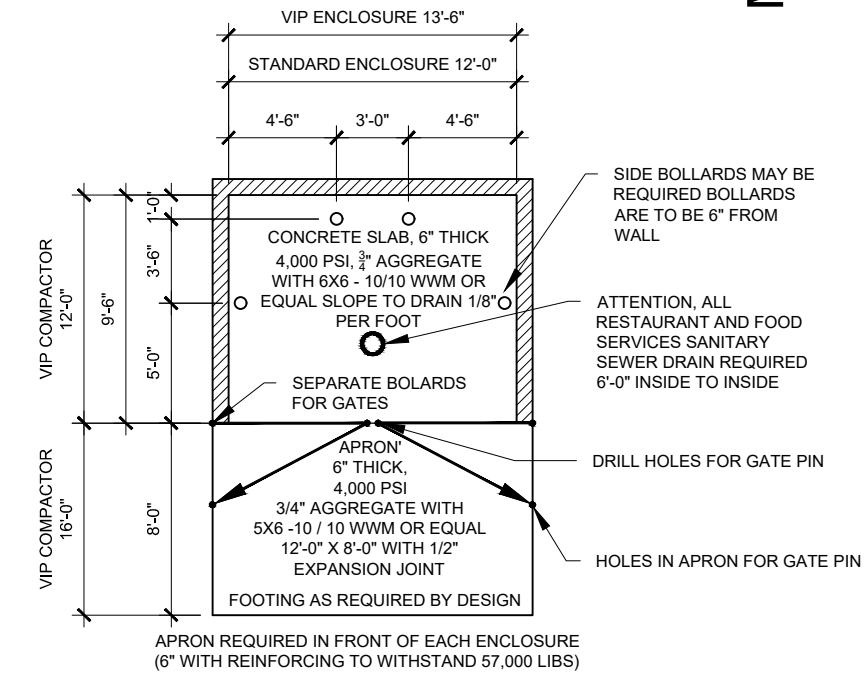
- A. EXISTING DRIVE CUT  
B. BIKE RACK, REF DETAIL THIS SHEET  
C. MOTORCYCLE PARKING REF DETAIL SHEET A-501  
D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL ON A-501  
E. EXISTING FIRE HYDRANT  
F. SHARED ACCESS EASEMENT  
G. NEW 6" CMU WALL  
H. EXISTING 4" STEEL BOLLARDS @ 4'-0" +/- OC AT INSIDE EDGE OF SIDEWALK TO REMAIN  
I. EXISTING CONC. STAIRS AND RAIL.  
J. EXISTING LIGHT POLE TO REMAIN  
K. EXISTING HC RAMP WITH HANDRAILS TO REMAIN  
L. HEADER CURB, REF DETAIL SHEET A-501  
M. PROPERTY LINE  
N. UTILITY EASEMENT  
O. AUTOMOTIVE SECURITY GATE  
P. KNOX BOX  
Q. EXISTING CMU WALL ON ADJOINING PROPERTY  
R. REFUSE ENCLOSURE, REF DETAIL THIS SHEET  
S. LANDSCAPE BED, REF L-100  
T. EXISTING SITE SIGN TO REMAIN  
U. EXISTING 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E WITH TURN DOWN EDGE, REF DETAIL D5 ON SHEET A-001  
V. EDGE OF ASPHALT  
W. VEHICLE QUEUE

MX-H ZONING

SAN MATEO BLVD NE 150'-0" ROW

NR-C ZONING

MX-H ZONING



## REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

## SITE - TCL PLAN

NOTE:  
SOLID WASTE WILL BE PROVIDED WITH GATE CONTROLLER

Approved for access by the  
Solid Waste Department for a single trash enclosure  
Herman Gallegos 08-05-22. \*\*A gate controller will be provided  
for access\*\*.

0' 10' 20' 40' 60' 80'

SCALE: 1" = 20'-0"

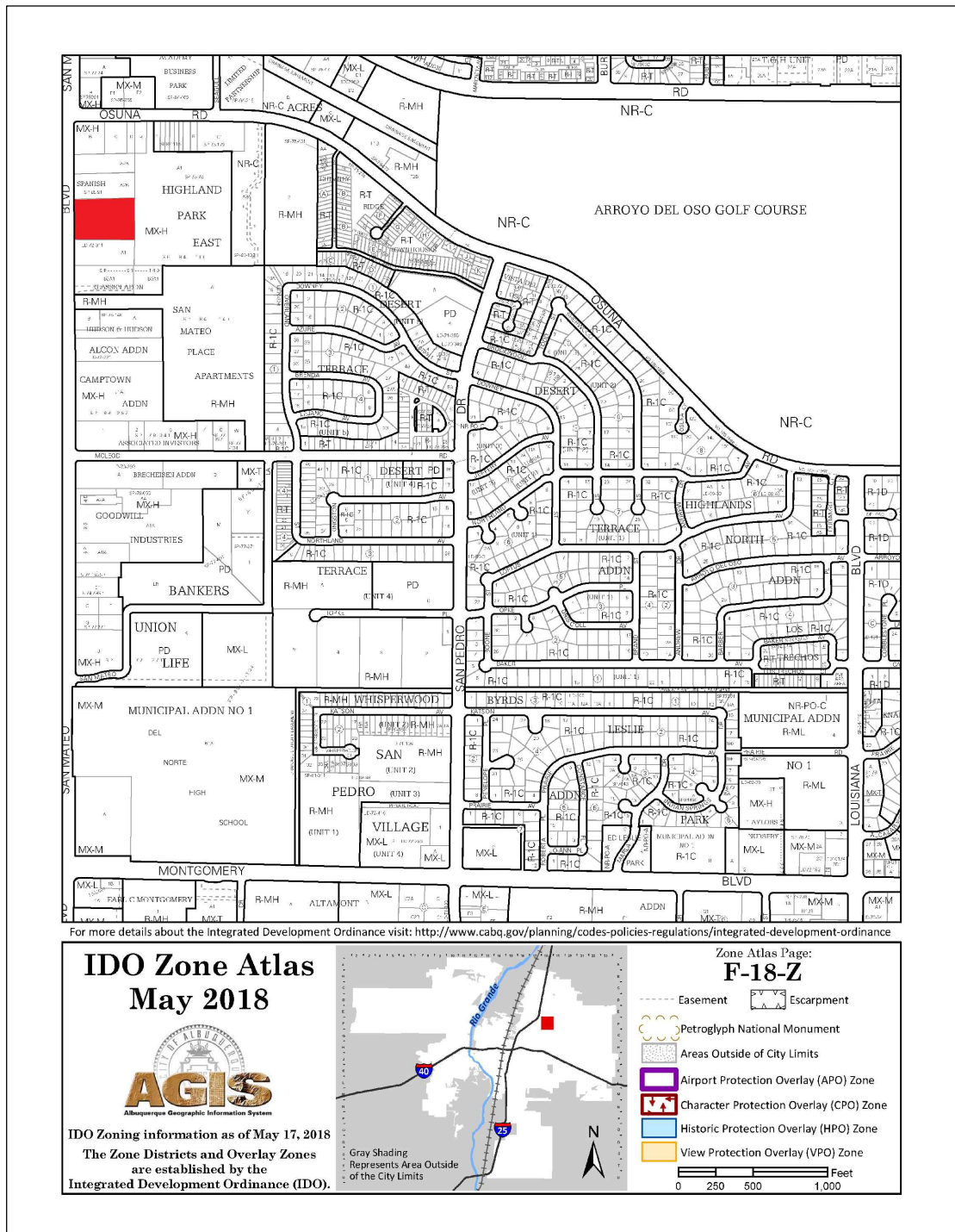


NR-LM ZONING

TOTAL SITE AREA: 108,005 SF  
BUILDING = 5,466 SF  
NET LOT AREA = 102,559 SF  
LANDSCAPING REQUIRED MT-MS-PT-UC= 102,559 X 0.10 = 10,255 SF  
LANDSCAPING PROVIDED = 14,268 SF

## GENERAL NOTES:

- ALL ADA HANDICAP PARKING SIGNS SHALL FOLLOW MUTCD AND ADA GUIDELINES  
ALL PAVEMENT MARKING TEXT SHALL BE AT LEAST 12" TALL AND 2" WIDE  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.  
ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.  
ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.  
BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.  
ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, REF COA STANDARD DETAIL 2415B AND / OR COA STANDARD DETAIL 2430.  
ALL NEW WINDOWS SHALL BE RECESSED 2"  
EXISTING BUILDINGS TO REMAIN WITH NEW COLOR SCHEME



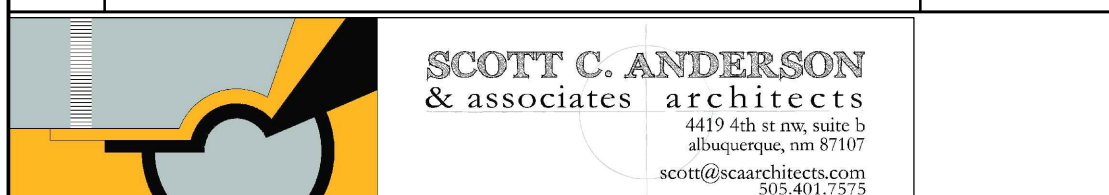
PARKING:  
OFFICE: 3,230 SF X 0.0035 = 11.3 SPACES  
CAR WASH: 2,216 SF X 0.02 = 4.8 SPACES  
TOTAL SPACES REQUIRED = 16 SPACES, 59 PROVIDED  
HC SPACES REQUIRED = 1 VAN ACCESSIBLE REQUIRED, 2 PROVIDED  
MOTORCYCLE PARKING REQUIRED 1-25 = 1 SPACE REQUIRED, 1 SPACE PROVIDED  
BIKE PARKING = 3 SPACES REQUIRED, 3 SPACES PROVIDED

UPC: 101806102644920122  
LEGAL: LOT A2C SPANISH LAND COMPANY  
AREA: 2.48 AC

UPC: 101806102643520121  
LEGAL: LOT A2D SPANISH LAND COMPANY  
AREA: 0.9183 ACRES

ZONING: NR-C  
ZONE ATLAS PAGE: F18

No	Revision	Item	Date



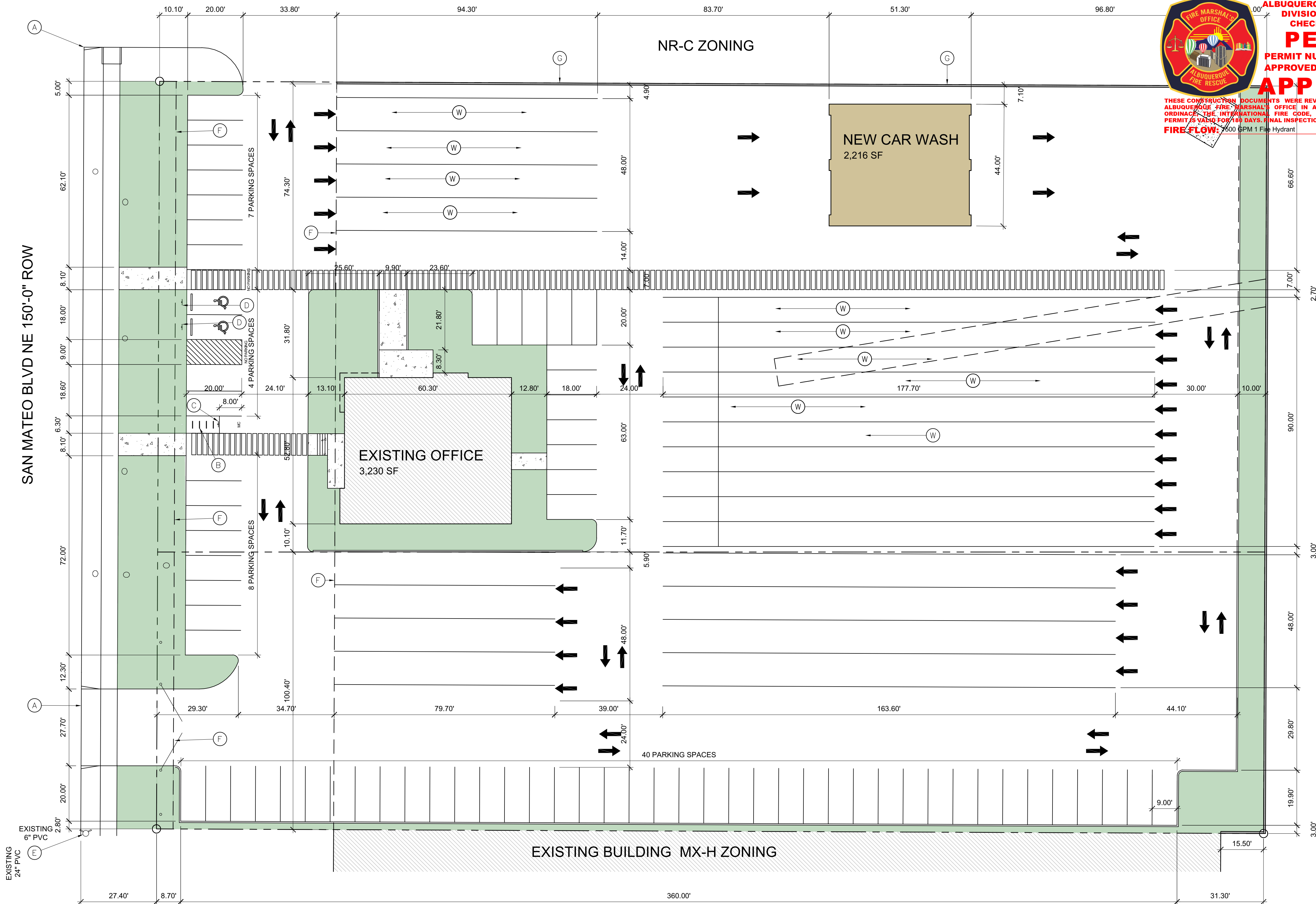
CAR WASH  
5700 SAN MATEO BLVD NE  
ALBUQUERQUE, NM 87109

DRAWING TITLE		
TCL		
SEAL SCOTT C. ANDERSON No. 4341 5/31/2022 REGISTERED ARCHITECT	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	DATE
5/31/2022		TCL OF



KEYED NOTES

- A. EXISTING DRIVE CUT  
B. BIKE RACK, REF DETAIL THIS SHEET  
C. MOTORCYCLE PARKING REF DETAIL SHEET A-501  
D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL ON A-501  
E. EXISTING FIRE HYDRANT  
F. SHARED ACCESS EASEMENT  
G. NEW 6" CMU WALL  
H. EXISTING 4" STEEL BOLLARDS @ 4'-0" +/- OC AT INSIDE EDGE OF SIDEWALK TO REMAIN  
I. EXISTING CONC. STAIRS AND RAIL  
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L. HEADER CURB, REF DETAIL SHEET A-501  
M. PROPERTY LINE  
N. UTILITY EASEMENT  
O. AUTOMOTIVE SECURITY GATE  
P. KNOX BOX  
Q. EXISTING CMU WALL ON ADJOINING PROPERTY  
R. REFUSE ENCLOSURE, REF DETAIL THIS SHEET  
S. LANDSCAPE BED, REF L-100  
T. EXISTING SITE SIGN TO REMAIN  
U. EXISTING 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E WITH TURN DOWN EDGE, REF DETAIL D5 ON SHEET A-001  
V. EDGE OF ASPHALT  
W. VEHICLE QUEUE



SITE - TCL PLAN

SCALE: 1" = 20'-0"



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION

PERMIT  
APPROVED DATE: 03/28/22  
FIRE FLOW: 1,500 GPM 1 Fire Hydrant

1. PUBLIC WATER MAIN IDENTIFIED ON THE PLAN  
2. NO PARKING 15FT FROM THE HYDRANT  
3. ACCESS PROVIDED TO 150FT ALL PORTIONS OF FLOOR 1  
4. BUILDING HT LESS THAN 30FT, 1 MEANS OF ACCESS PROVIDED  
5. TOTAL BUILDING AREA LESS THAN 62,000 SF, 1 MEANS OF ACCESS PROVIDED.  
6. THIS IS NOT A RESIDENTIAL PROJECT  
7. THIS IS NOT A RESIDENTIAL PROJECT  
8. N/A, 1 MEANS OF ACCESS REQUIRED  
9. BUILDING LESS THAN 30 FT IN HT, ROAD WIDTH PROVIDED  
10. ACCESS ROAD 28 FT  
11. N/A  
12. ACCESS ROAD MARKED 2 SIDES  
13. TURNING RADIUS GREATER THAN 28 FT  
14. DEAD END IS LESS THAN 150 FT  
15. ACCESS ROAD IS ASPHALT CAPABLE OF SUPPORTING 75,000LBS  
16. REFERENCE DETAIL SHEET AND CIVIL SHEET FOR ASPHALT PAVING DATA  
17. ACCESS ROAD GRADE < 10%  
18. ALL GATES SHALL HAVE KNOX BOX  
19. REFER TO G SHEETS FOR FIRE RATINGS, TYPE V B CONSTRUCTION  
20. SPRINKLER NOT SYSTEM PROVIDED, SHOP DRAWINGS SHALL BE SUBMITTED FOR FIRE MARSHAL'S REVIEW.  
21. FDC NOT REQUIRED  
22. FDC NOT REQUIRED  
23. PIV NOT REQUIRED  
24. STANDPIPE NOT REQUIRED  
25. PREMISE ID SHALL BE 12" BRONZE LETTERS MOUNTED TO WEST FACADE  
26. SINGLE BUILDING WITH SINGLE ADDRESS  
27. KNOX BOX PROVIDED AT MAIN ENTRANCE TO THE BUILDING

UPC: 101806102644920122  
LEGAL: LOT A2C SPANISH LAND COMPANY  
AREA: 2.48 AC

UPC: 101806102643520121  
LEGAL: LOT A2D SPANISH LAND COMPANY  
AREA: 0.9183 ACRES

ZONING: NR-C  
ZONE ATLAS PAGE: F18

No	Revision	Item	Date

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DRAWING TITLE  
FIRE 1

SEAL STATE OF NEW MEXICO SCOTT C. ANDERSON No. 4341 03/28/2022 REGISTERED ARCHITECT	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	DATE 03/28/2022

FIRE 1

FIRE CALCULATIONS

BUILDING HEIGHT = 22'-0", 1 STORY  
TYPE V B-NS (NON-SPRINKLERED) CONSTRUCTION  
HYDRANTS REQUIRED PER IFC TABLE C105.1 = 1 HYDRANT @ 250FT MAX  
PAVING SHALL SUPPORT 75,000 LBS.

FIRE FLOW CALCULATION IFC 2015 APPENDIX B TABLE B105.1:  
IFC B105.1 CONSTRUCTION TYPE V-B-NS 3,230 SF (LARGEST BUILDING) = FLOW @ 1,500 GPM FOR 2 HR