

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 18, 2022

Scott Anderson, RA
Scott C. Anderson & Associates Architects
4419 4th St. NW, Suite b
Albuquerque, NM 87107

Re: Enterprise/ Car Wash
5700 San Mateo Blvd. NE
Traffic Circulation Layout
Architect's Stamp 03-22-22 (F18-D052)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 3-30-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Driveways entrances off San Mateo Blvd. need to be updated to current ADA std. or Curb Return is recommended on Principal Arterial. San Mateo classified as Principal Arterial.
2. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

3. Key note K: provide details for the existing ADA ramp (dimensions, running slope, and a cross slope).
4. Per IDO Required Stacking space, you need to show minimum 3 vehicles stacking spaces in the car wash lanes.
5. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
6. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

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7. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
9. The 14' width lane between the car wash and the pedestrian pathway must be One Way.
10. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from each ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
12. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
13. Key note W: please verify the purpose of this area, and provide proper signages to prevent cars turning into places where they shouldn't by accident
14. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
15. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
16. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
17. Provide a copy of Fire Marshal Approval.
18. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
19. Please provide a sight distance exhibit
20. Show the Intersection Sight Distance triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
21. Please specify the City Standard Drawing Number when applicable.
22. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
23. Provide shared parking agreement.
24. Please provide a letter of response for all comments given.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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- 25. Traffic Studies:** See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Enterprise Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot A2C Spanish Land Co

City Address: 5700 San Mateo Blvd NE

Applicant: Mark Arambula Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Scott Anderson Contact: _____

Address: 4419 4th St NW Ste B, Albuquerque NM 87107

Phone#: 505 401-7575 Fax#: _____ E-mail: scott@scarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/26/2022 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Scott Anderson DATE OF REQUEST: 3/26/22 ZONE ATLAS PAGE(S): F-18

CURRENT:

ZONING NR-C

PARCEL SIZE (AC/SQ. FT.) 2.48 Ac

LEGAL DESCRIPTION:

LOT OR TRACT # A2C BLOCK # _____

SUBDIVISION NAME Spanish Land Co.

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☐ AMENDMENT ☐

BUILDING PERMIT ☒ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☒

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE 

DATE 3/26/2022

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☐ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☐ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER _____

DATE _____

Required **TIS must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

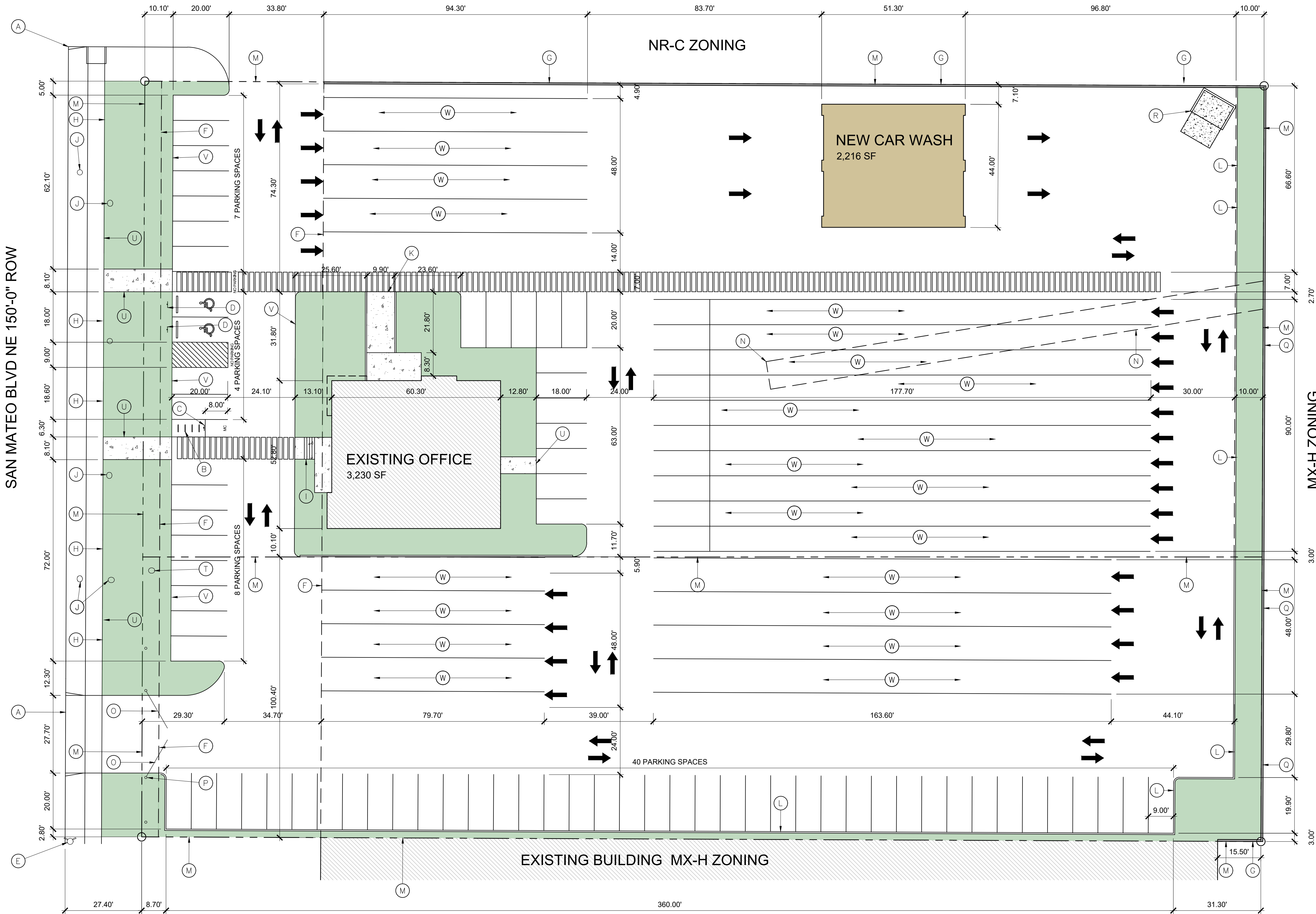
Revised January 20, 2011

KEYED NOTES

- A. EXISTING DRIVE CUT
B. BIKE RACK, REF DETAIL THIS SHEET
C. MOTORCYCLE PARKING REF DETAIL SHEET A-501
D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL ON A-501
E. EXISTING FIRE HYDRANT
F. SHARED ACCESS EASEMENT
G. NEW 6" CMU WALL
H. EXISTING 4" STEEL BOLLARDS @ 4'-0" +/- OC AT INSIDE EDGE OF SIDEWALK TO REMAIN
I. EXISTING CONC. STAIRS AND RAIL.
J. EXISTING LIGHT POLE TO REMAIN
K. EXISTING HC RAMP WITH HANDRAILS TO REMAIN
L. HEADER CURB, REF DETAIL SHEET A-501
M. PROPERTY LINE
N. UTILITY EASEMENT
O. AUTOMOTIVE SECURITY GATE
P. KNOX BOX
Q. EXISTING CMU WALL ON ADJOINING PROPERTY
R. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
S. LANDSCAPE BED, REF L-100
T. EXISTING SITE SIGN TO REMAIN
U. EXISTING 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E WITH TURN DOWN EDGE. REF DETAIL D5 ON SHEET A-001
V. EDGE OF ASPHALT
W. VEHICLE QUEUE

MX-H ZONING

SAN MATEO BLVD NE 150'-0" ROW



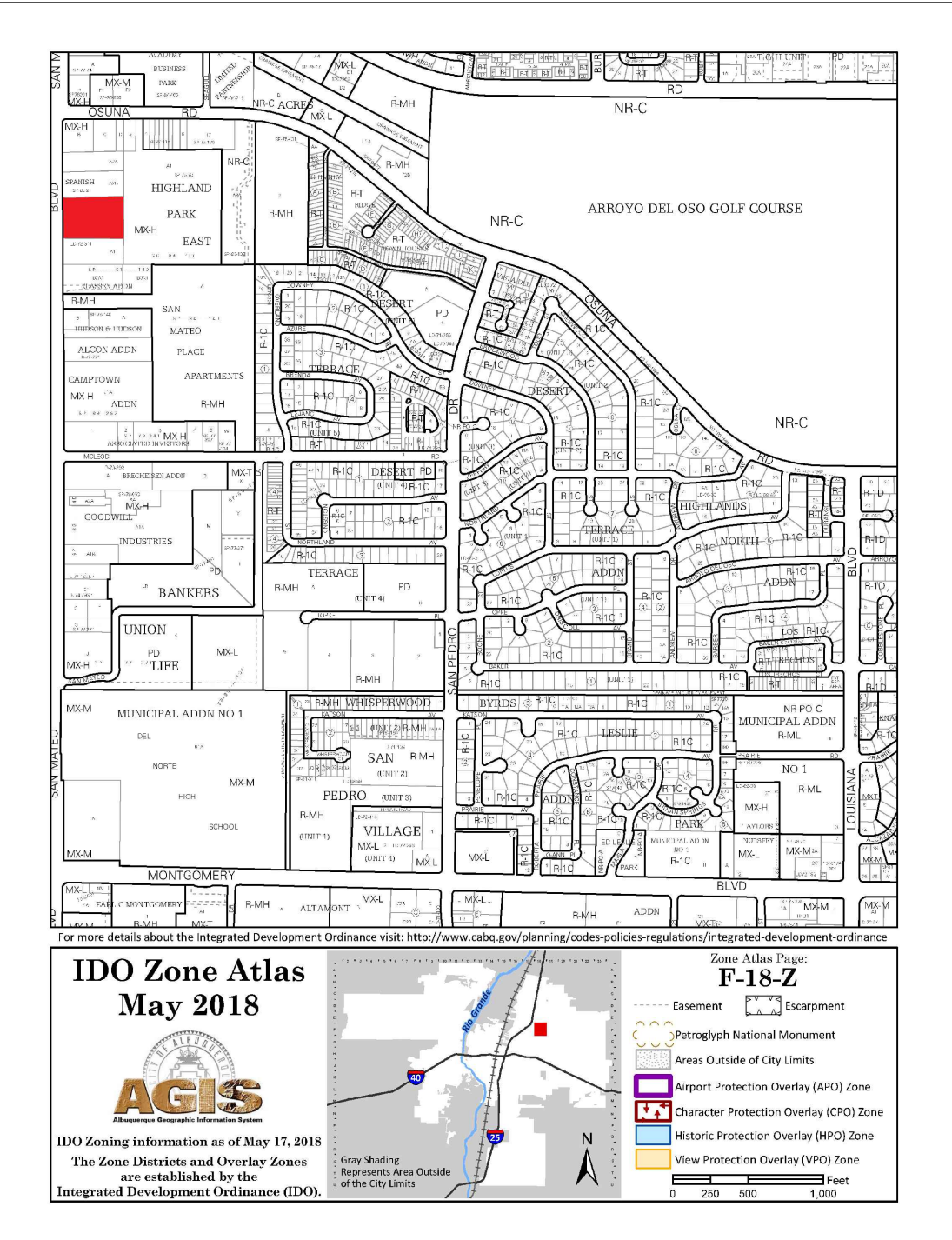
SITE - TCL PLAN

SCALE: 1" = 20'-0"



GENERAL NOTES:

- ALL ADA HANDICAP PARKING SIGNS SHALL FOLLOW MUTCD AND ADA GUIDELINES
ALL PAVEMENT MARKING TEXT SHALL BE AT LEAST 12" TALL AND 2" WIDE
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.
ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.
ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REF COA STANDARD DETAIL 2415B AND / OR COA STANDARD DETAIL 2430.
ALL NEW WINDOWS SHALL BE RECESSED 2"
EXISTING BUILDINGS TO REMAIN WITH NEW COLOR SCHEME



PARKING:
OFFICE: 3,230 SF X 0.0035 = 11.3 SPACES
CAR WASH: 2,216 SF X 0.02 = 4.8 SPACES
TOTAL SPACES REQUIRED = 16 SPACES, 59 PROVIDED
HC SPACES REQUIRED = 1 VAN ACCESSIBLE REQUIRED, 2 PROVIDED
MOTORCYCLE PARKING REQUIRED 1-25 = 1 SPACE REQUIRED, 1 SPACE PROVIDED
BIKE PARKING = 3 SPACES REQUIRED, 3 SPACES PROVIDED

UPC: 101806102644920122
LEGAL: LOT A2C SPANISH LAND COMPANY
AREA: 2.48 AC

UPC: 101806102643520121
LEGAL: LOT A2D SPANISH LAND COMPANY
AREA: 0.9183 ACRES

ZONING: NR-C
ZONE ATLAS PAGE: F18

No	Revision	Item	Date

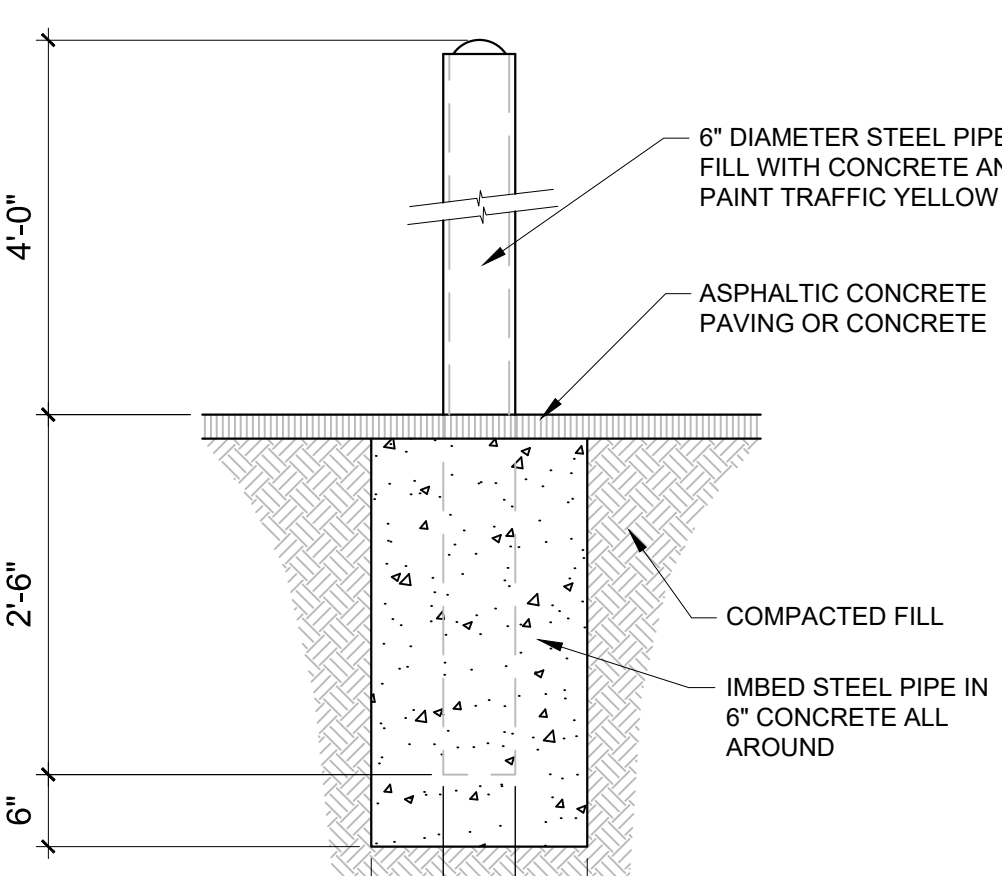
SCOTT C. ANDERSON
& associates architects

4419 4th st ne, suite 5
albuquerque, nm 87110
scott@scarchitects.com
505.481.7373

CAR WASH
5700 SAN MATEO B LVD NE
ALBUQUERQUE, NM 87109

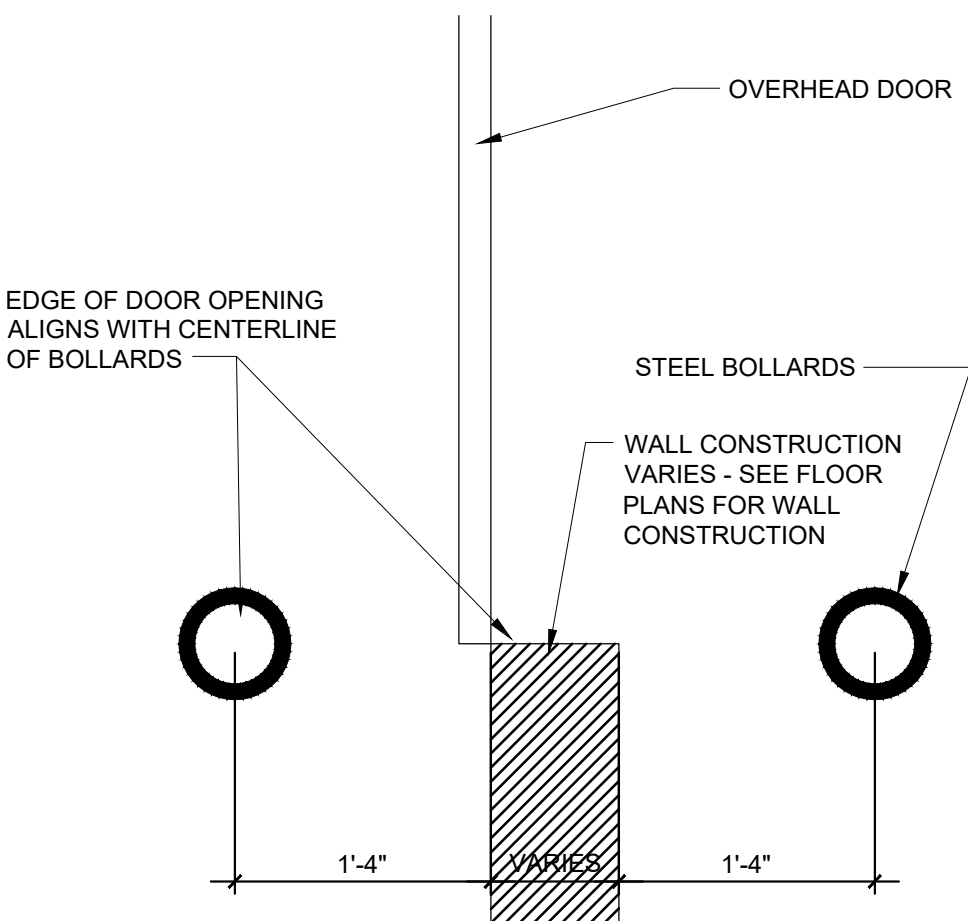
DRAWING TITLE		
SITE PLAN - TCL		
	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-100
	DATE 03/22/2022	

NR-LM ZONING
TOTAL SITE AREA: 108,005 SF
BUILDING = 5,466 SF
NET LOT AREA = 102,559 SF
LANDSCAPING REQUIRED MT-MS-PT-UC= 102,559 X 0.10 = 10,255 SF
LANDSCAPING PROVIDED = 14,268 SF



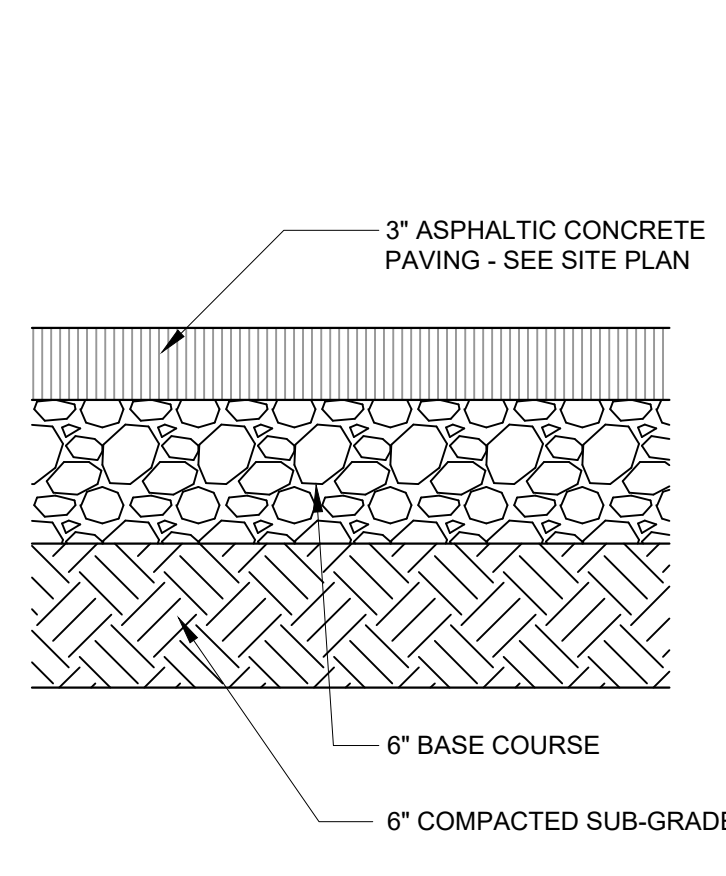
D1 PIPE BOLLARD

SCALE: 3/4" = 1'-0"



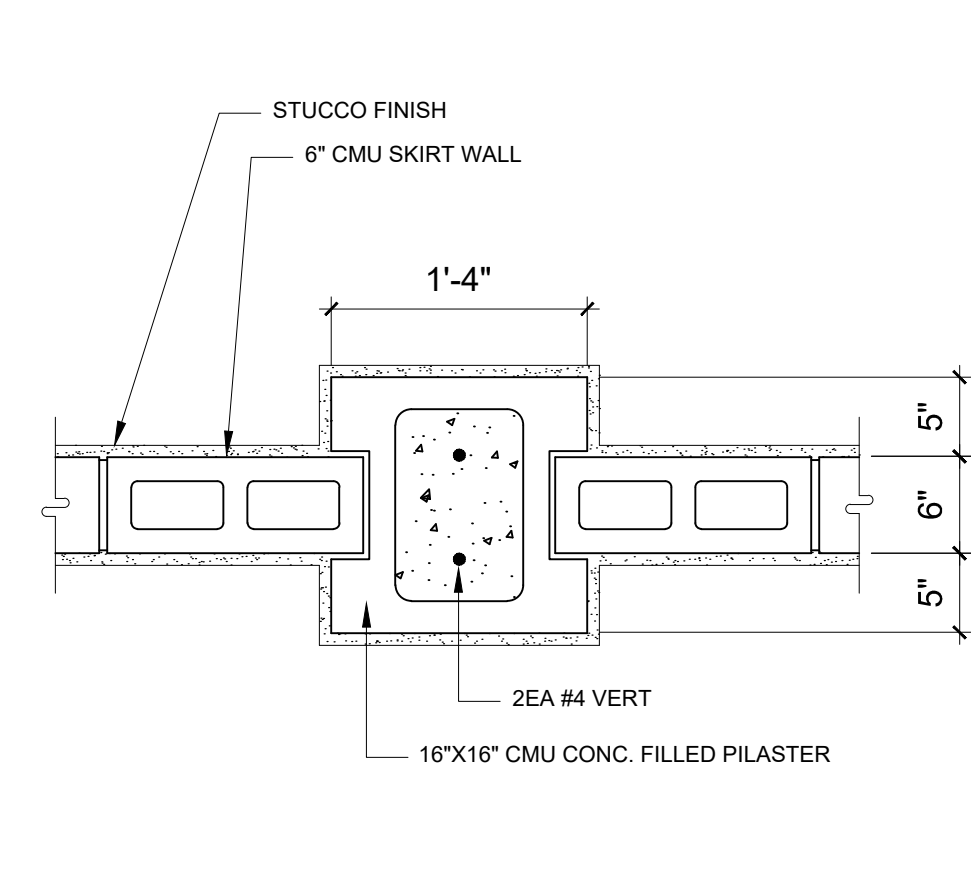
D2 BOLLARD PLAN

SCALE: 1 1/2" = 1'-0"



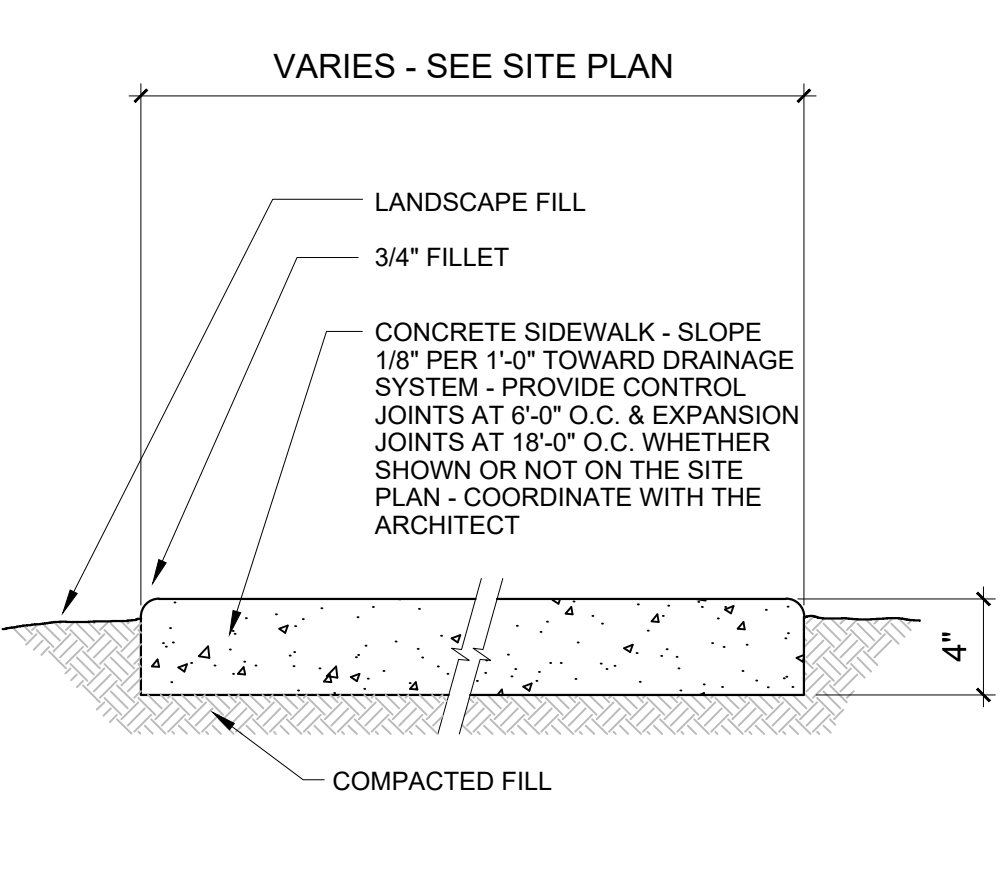
D3 PAVEMENT SECTION

SCALE: NTS



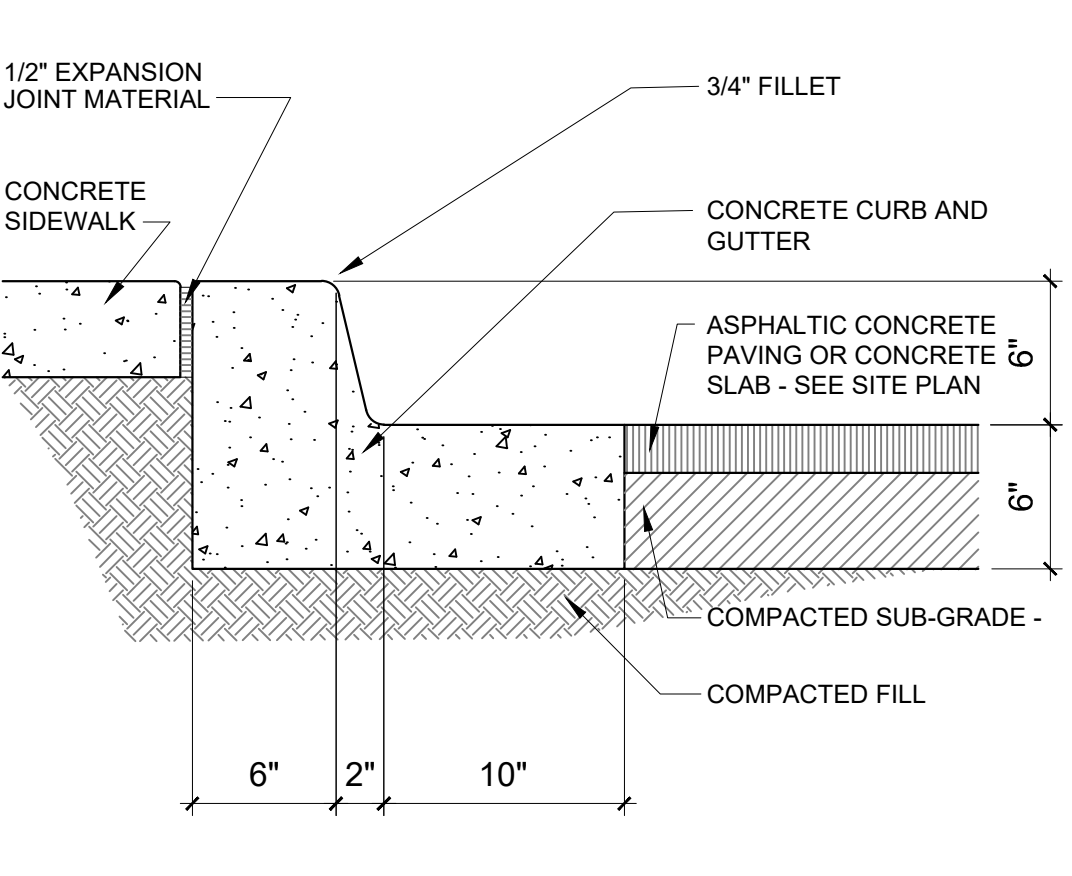
D4 FENCE PILASTER

SCALE: 1" = 1'-0"



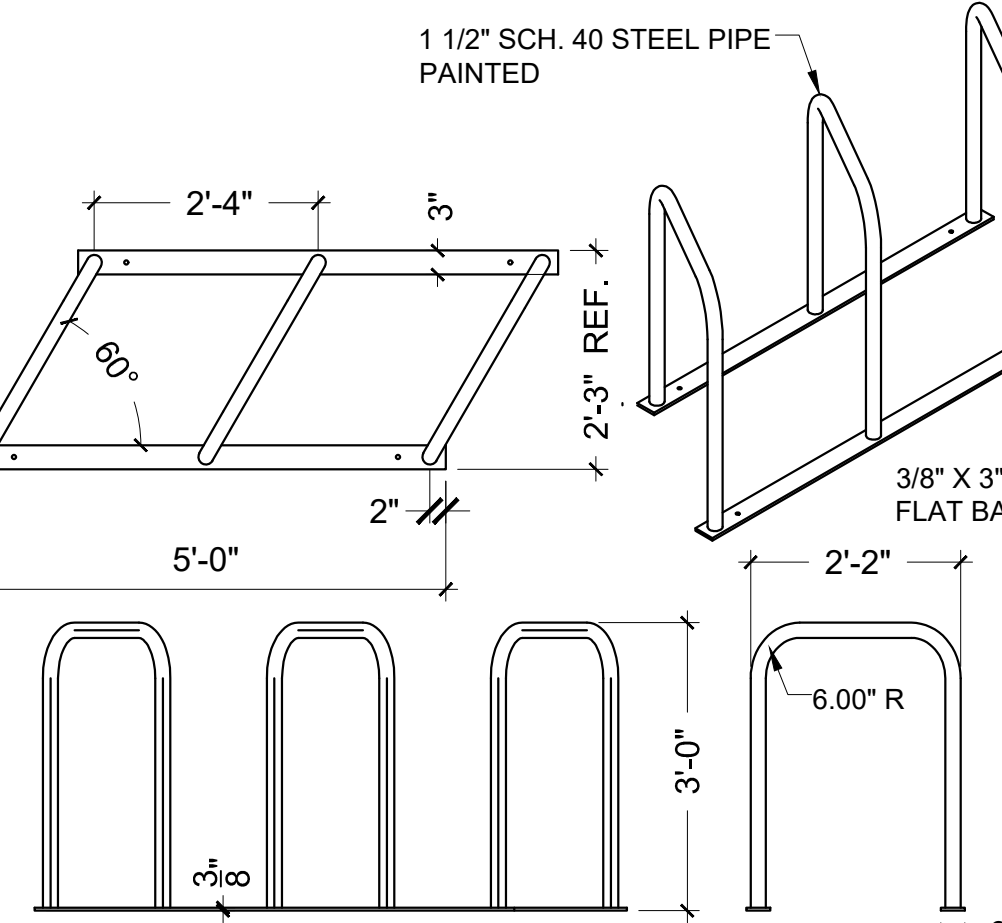
D5 TYPICAL SIDEWALK

SCALE: 1 1/2" = 1'-0"



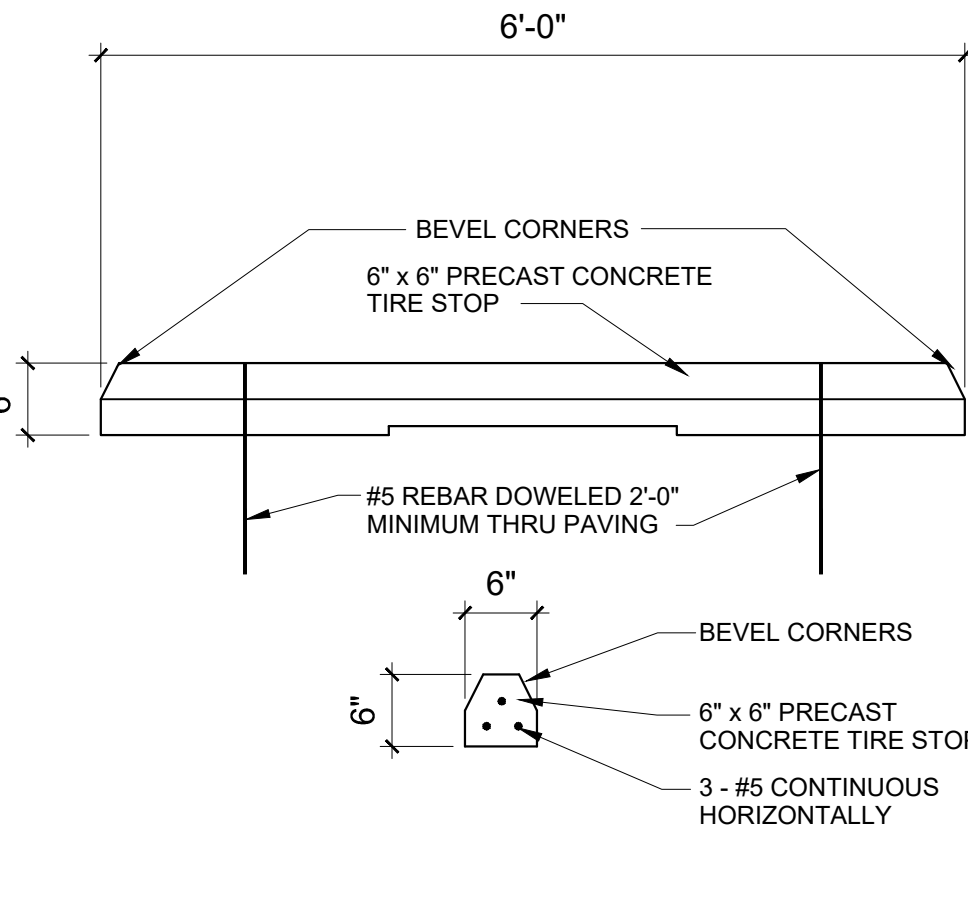
D6 CURB & GUTTER

SCALE: 1 1/2" = 1'-0"



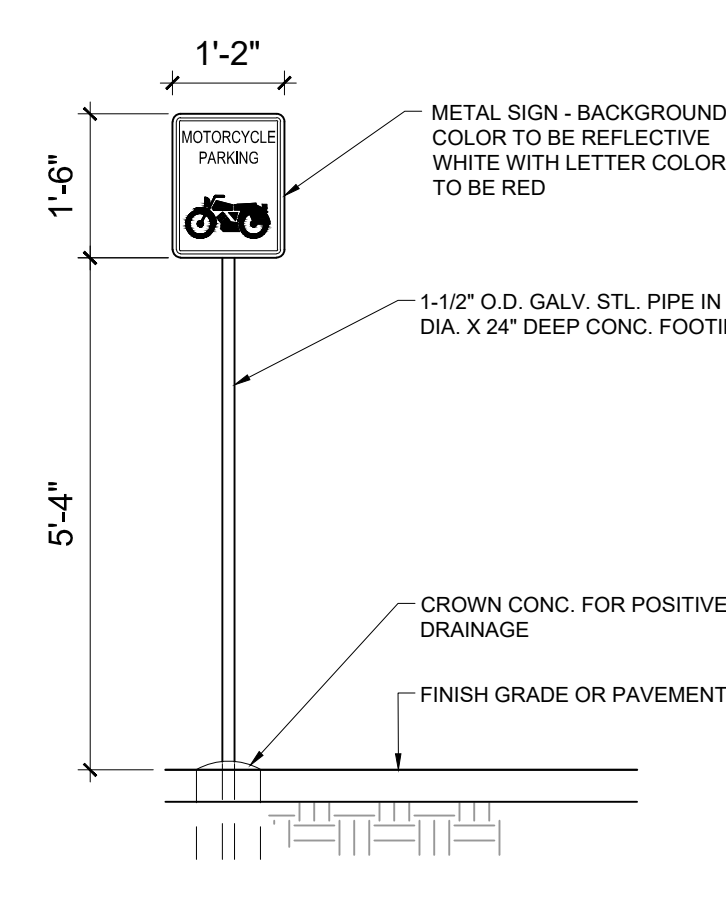
C1 BIKE RACK

SCALE: 1/2" = 1'-0"



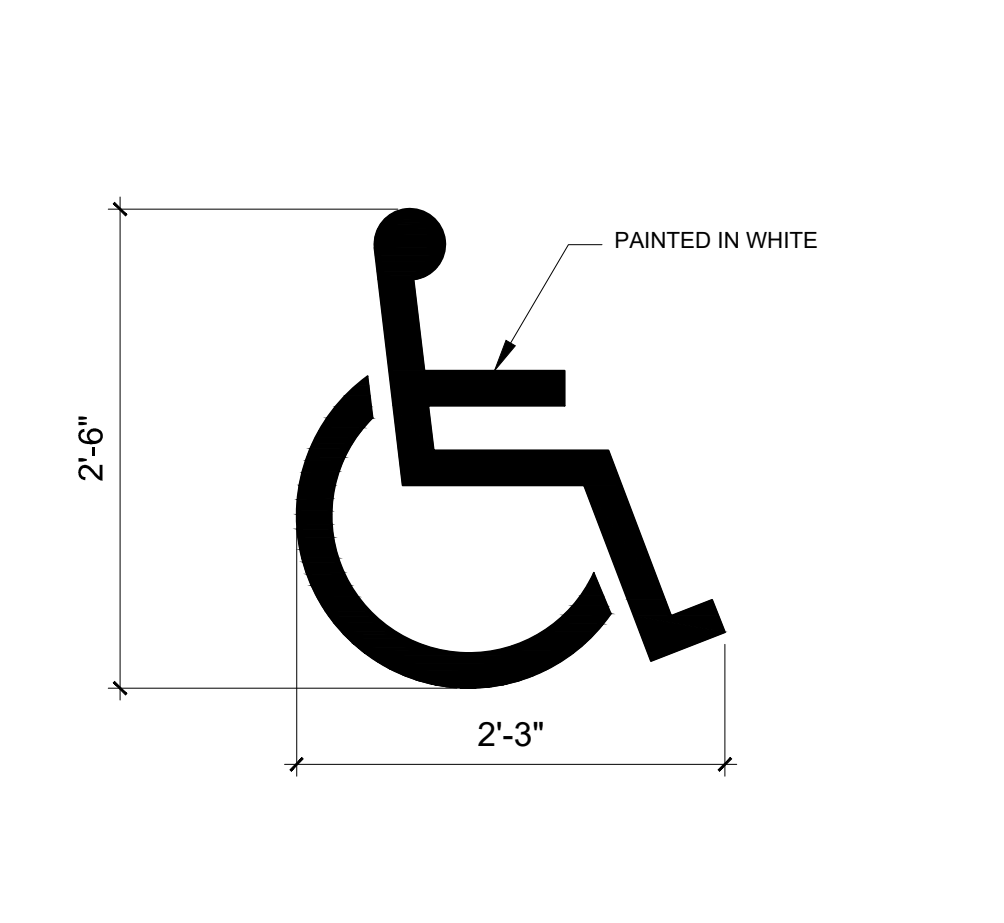
C2 PARKING BUMPER

SCALE: 3/4" = 1'-0"



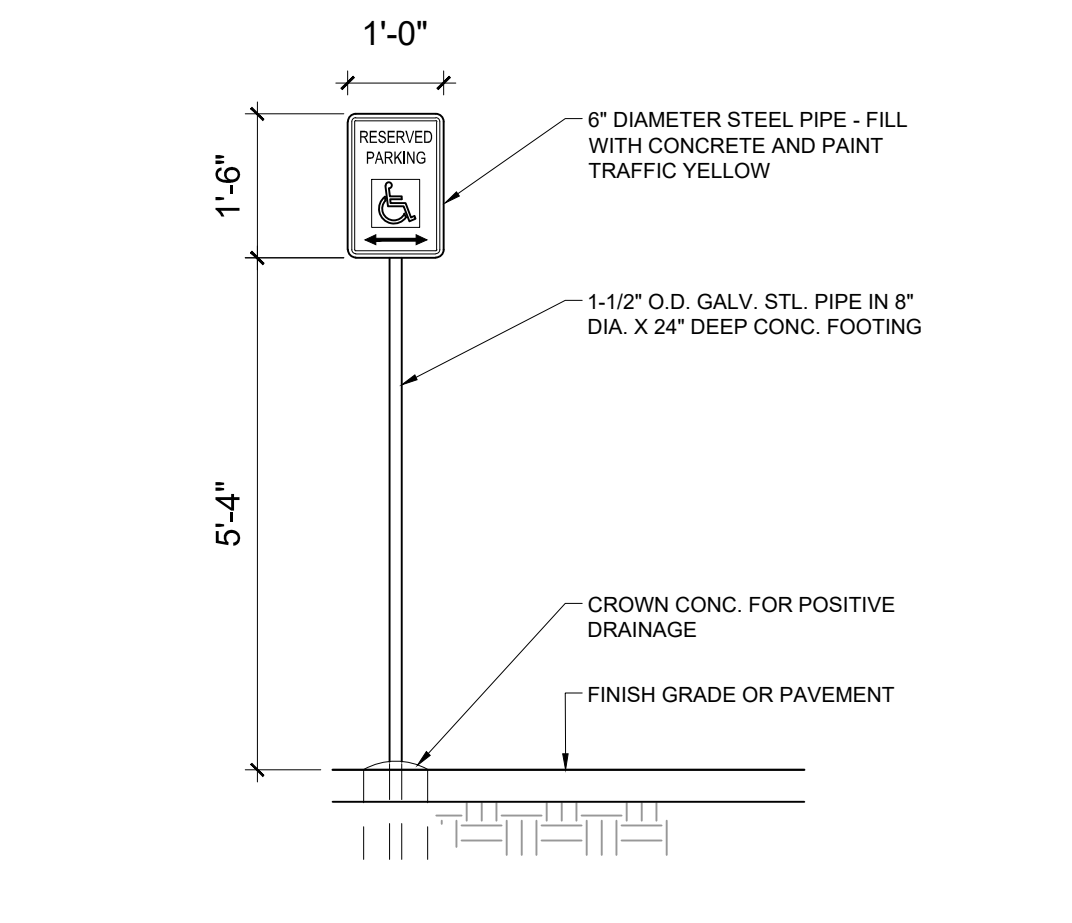
C3 MOTORCYCLE PARKING

SCALE: NTS



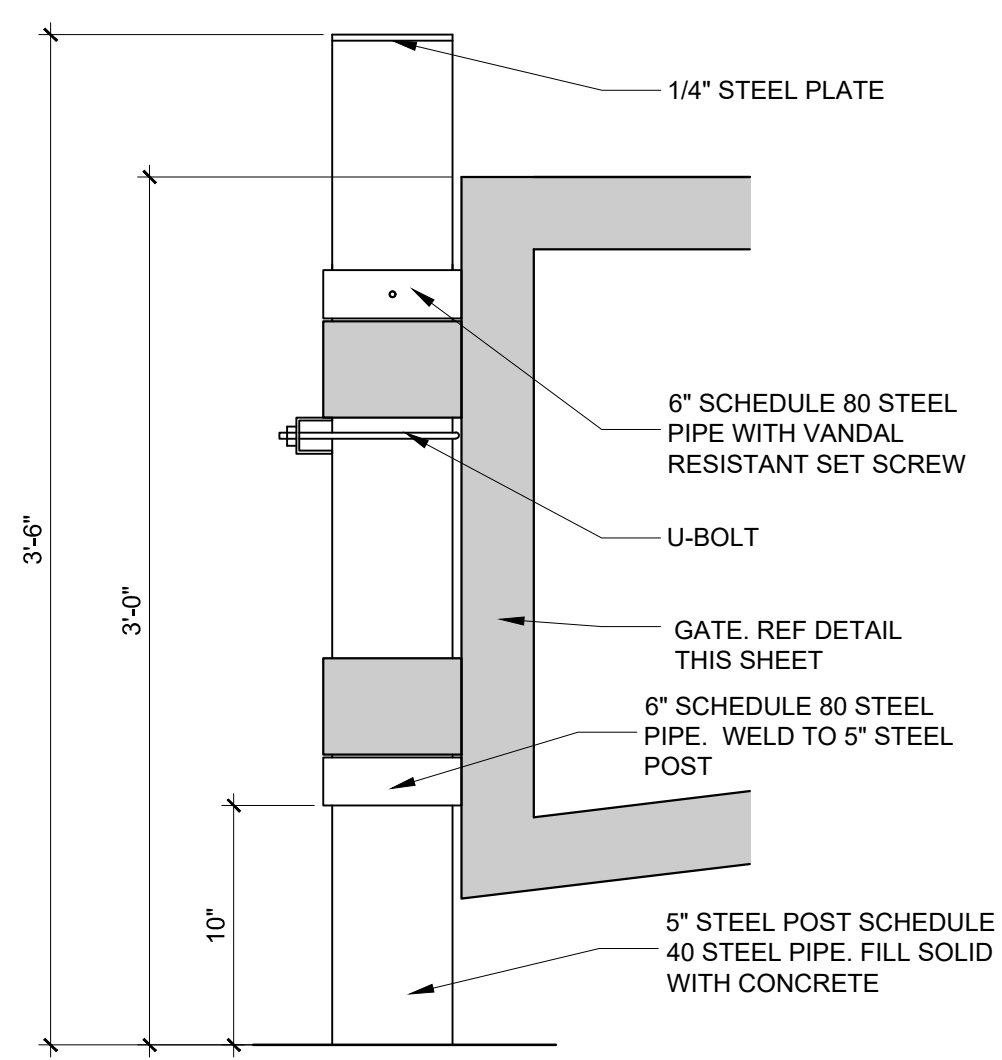
C5 HC PAVEMENT MARKING

SCALE: NTS



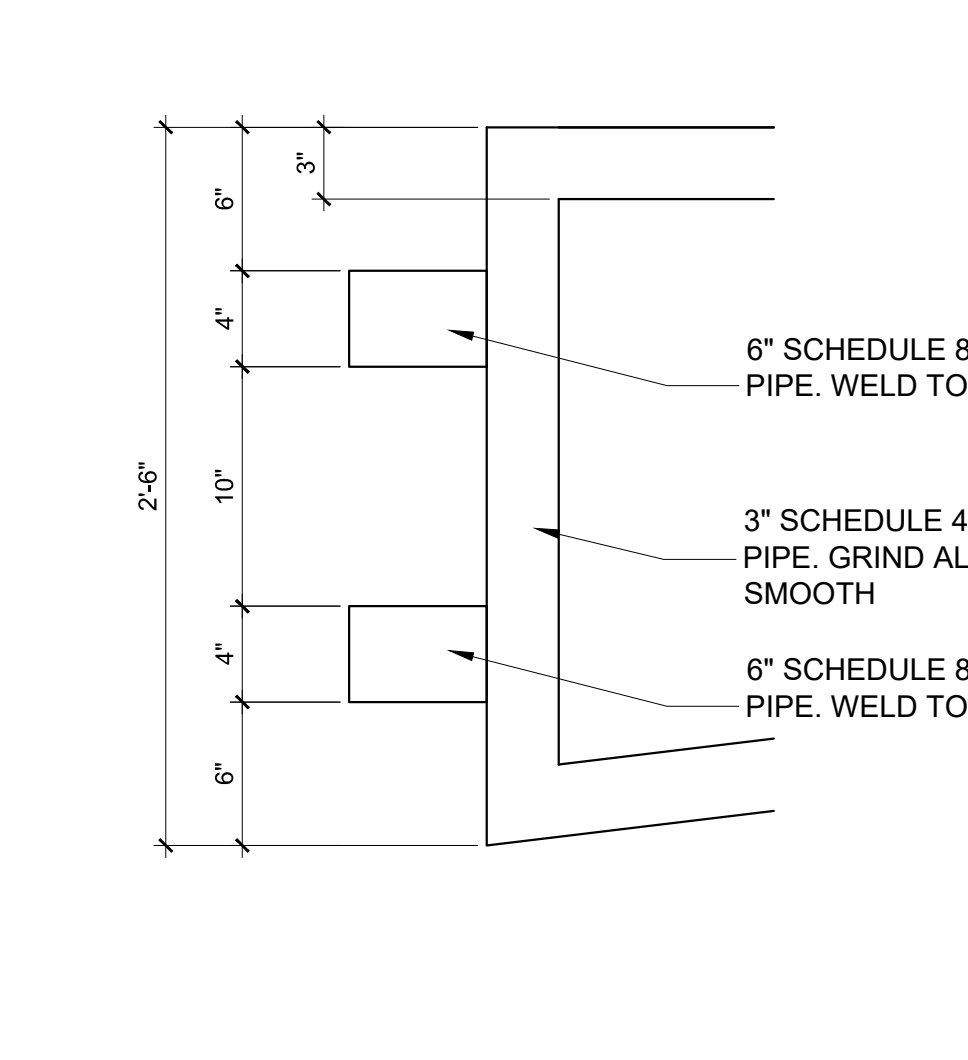
C6 HC PARKING SIGN

SCALE: 1/2" = 1'-0"



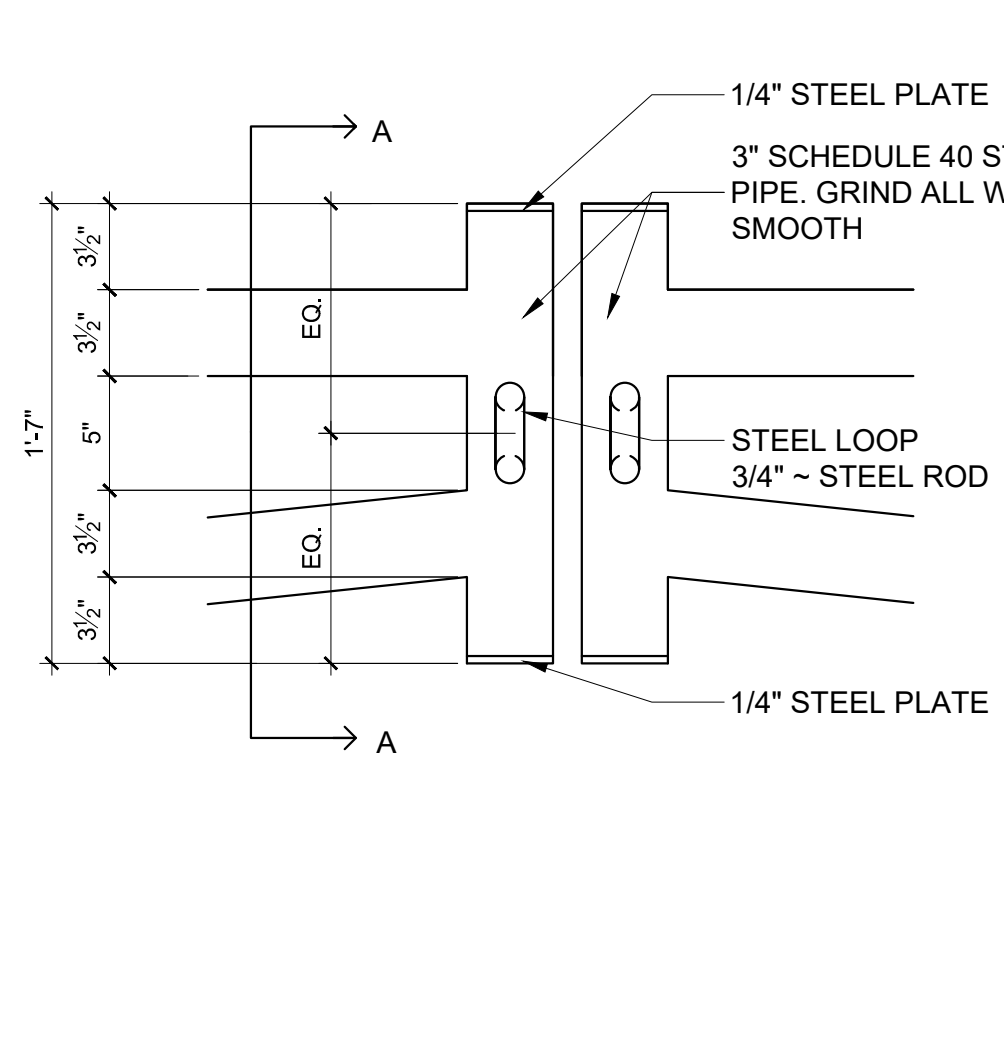
B1 POST AT GATE

SCALE: NTS



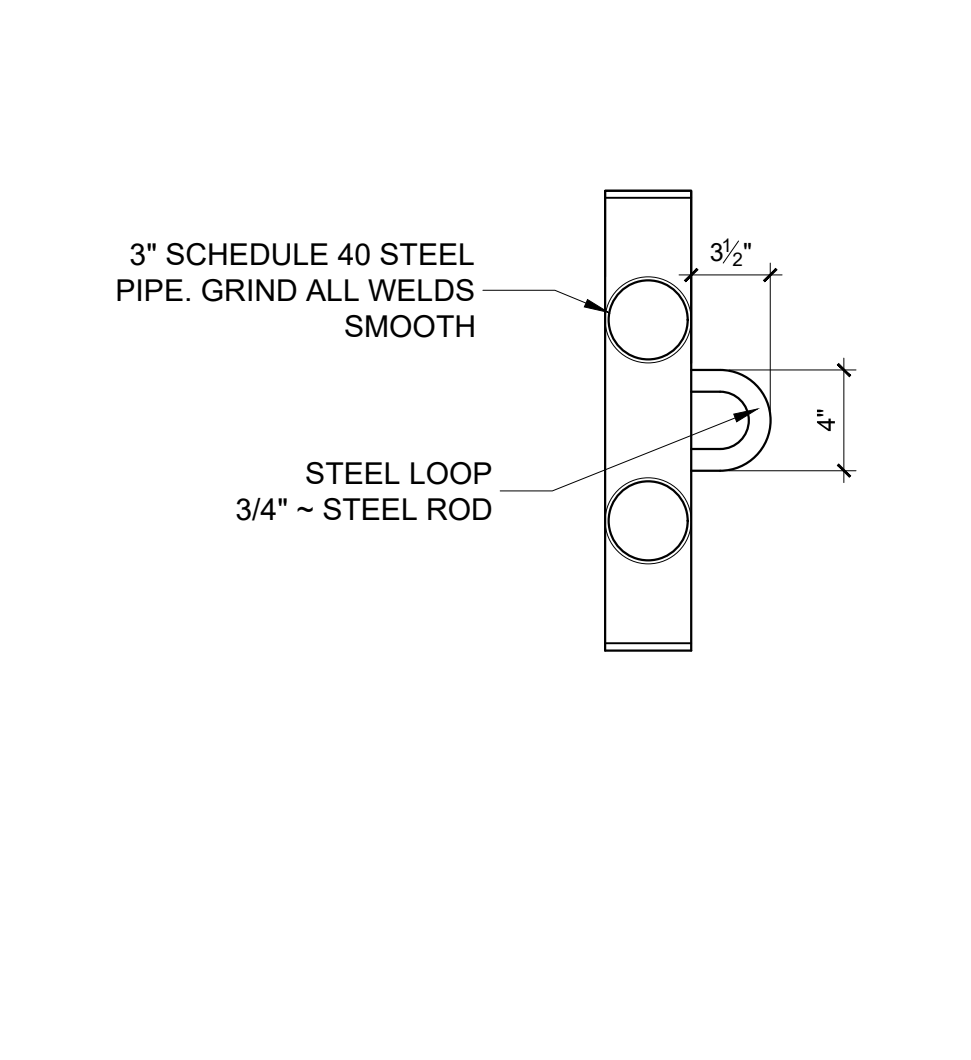
B2 GATE HINGE

SCALE: NTS



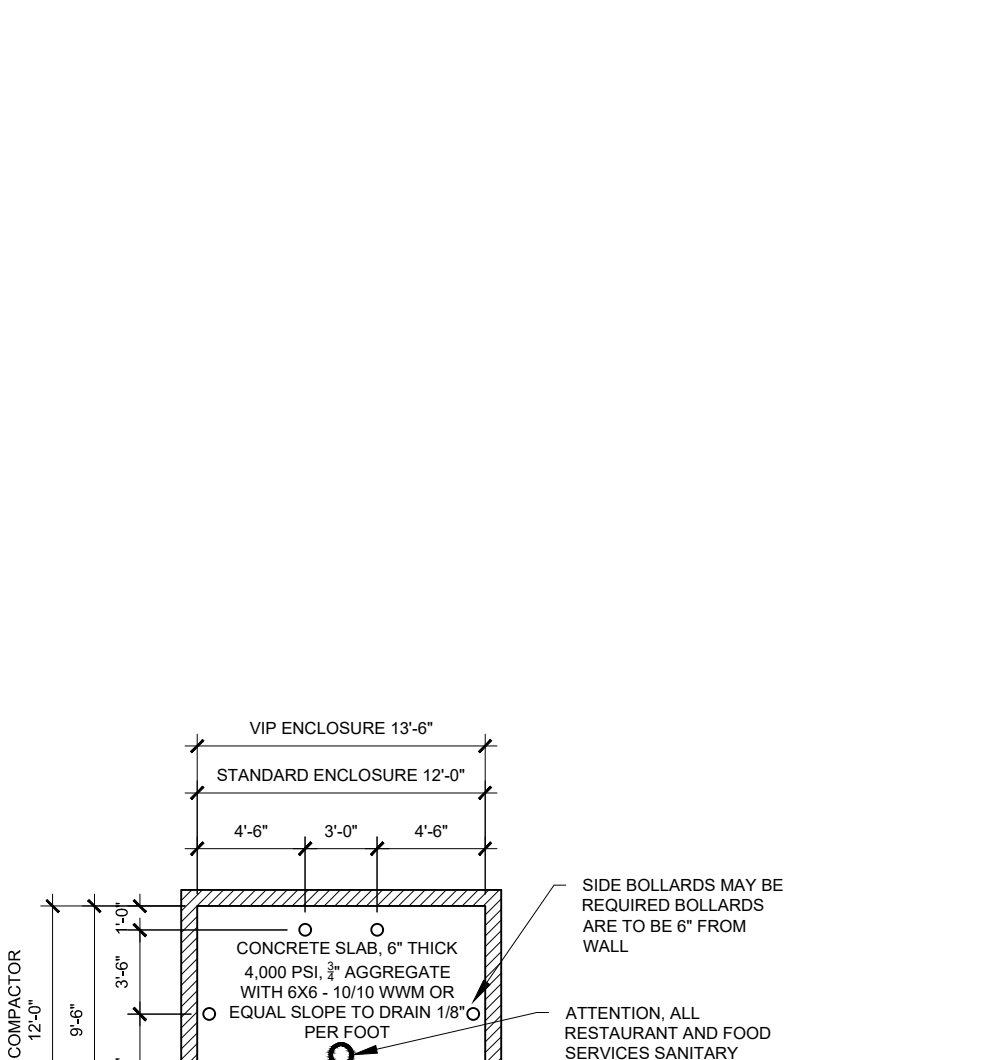
B3 GATE CLOSURE

SCALE: NTS



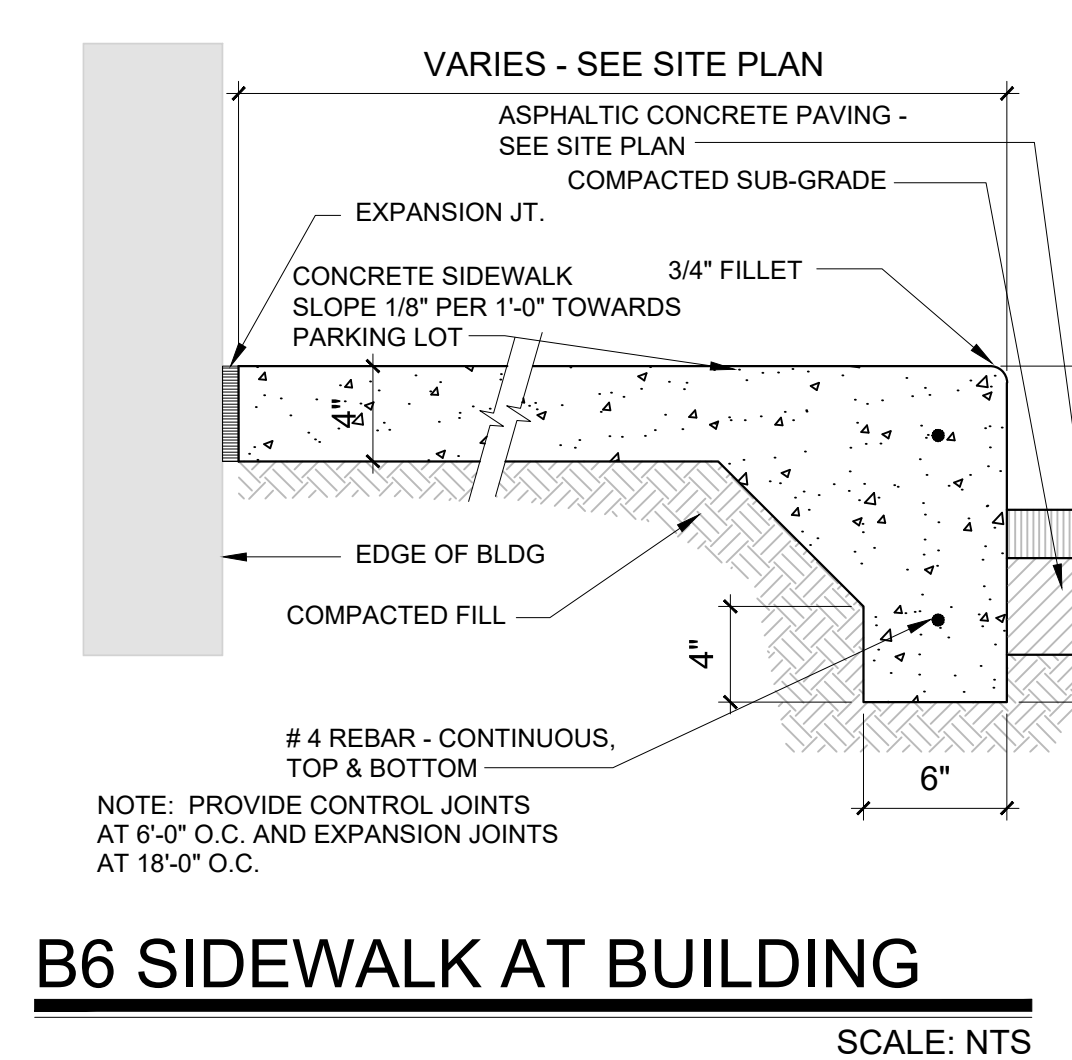
B4 GATE RAIL SEC A

SCALE: NTS



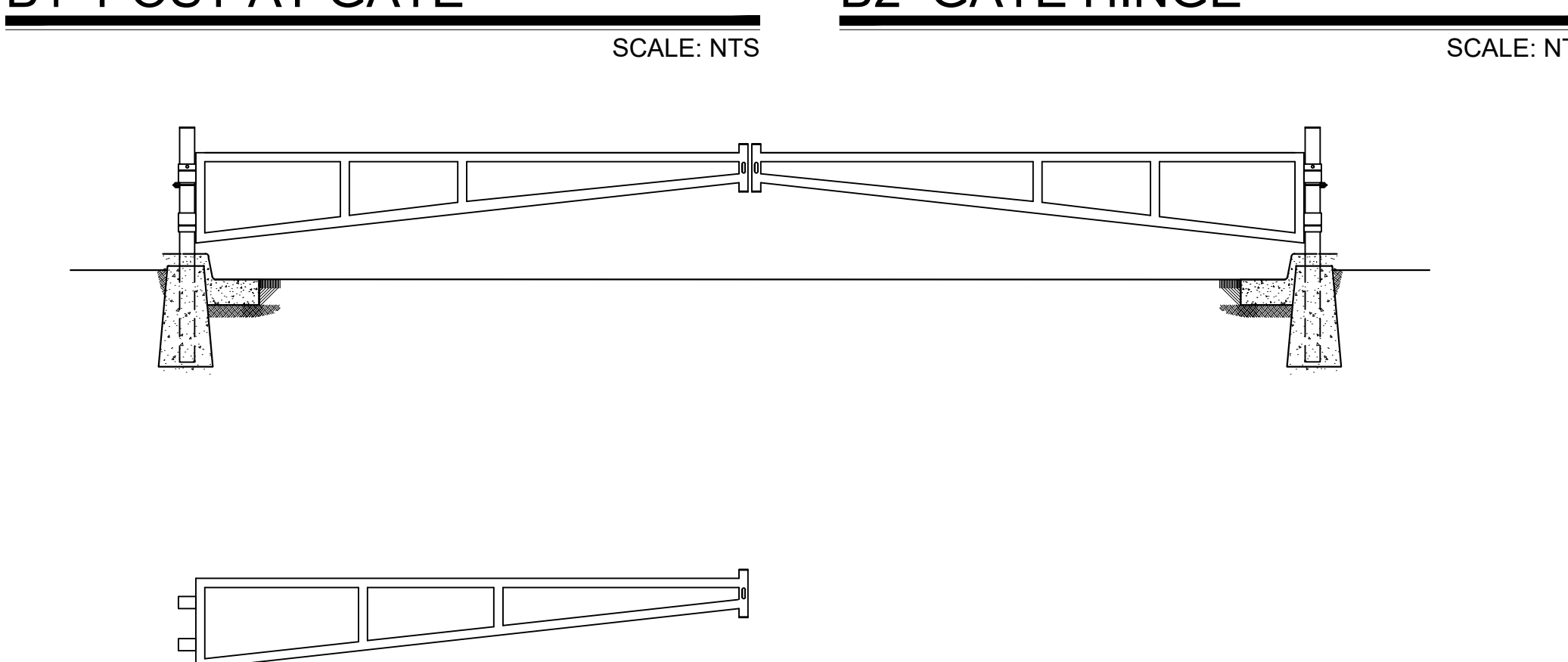
B5 REFUSE ENCLOSURE

SCALE: 1" = 1'-0"



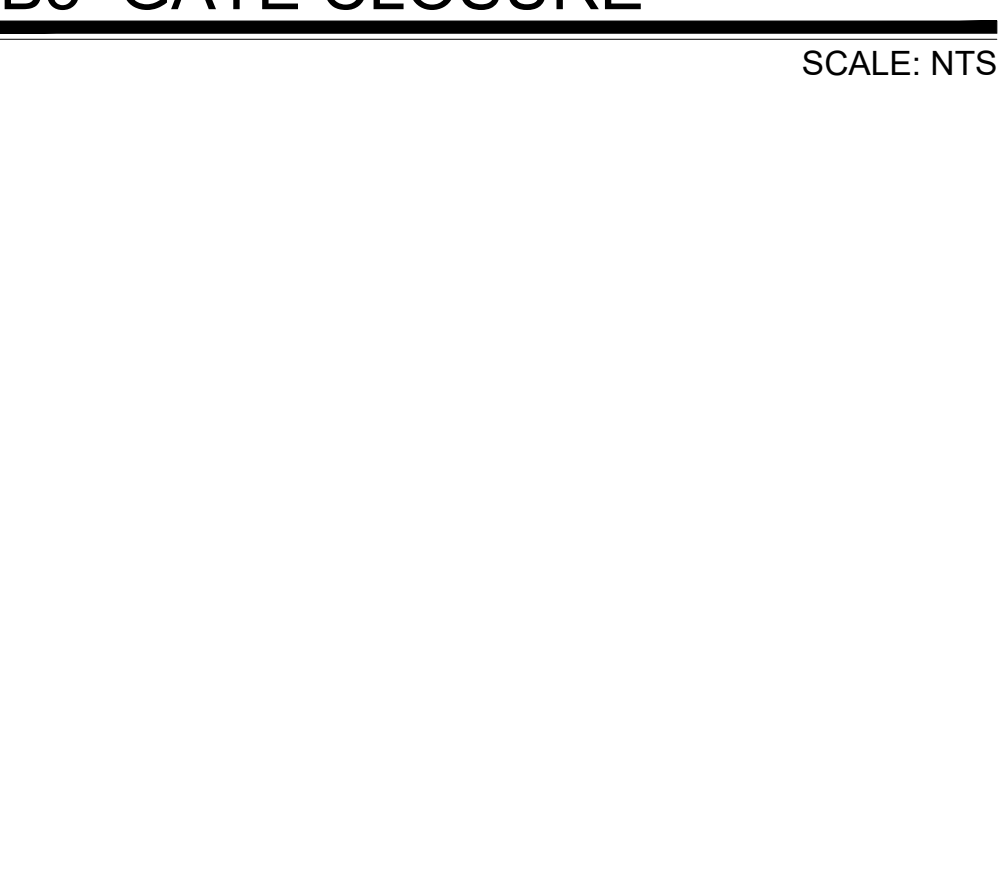
B6 SIDEWALK AT BUILDING

SCALE: NTS



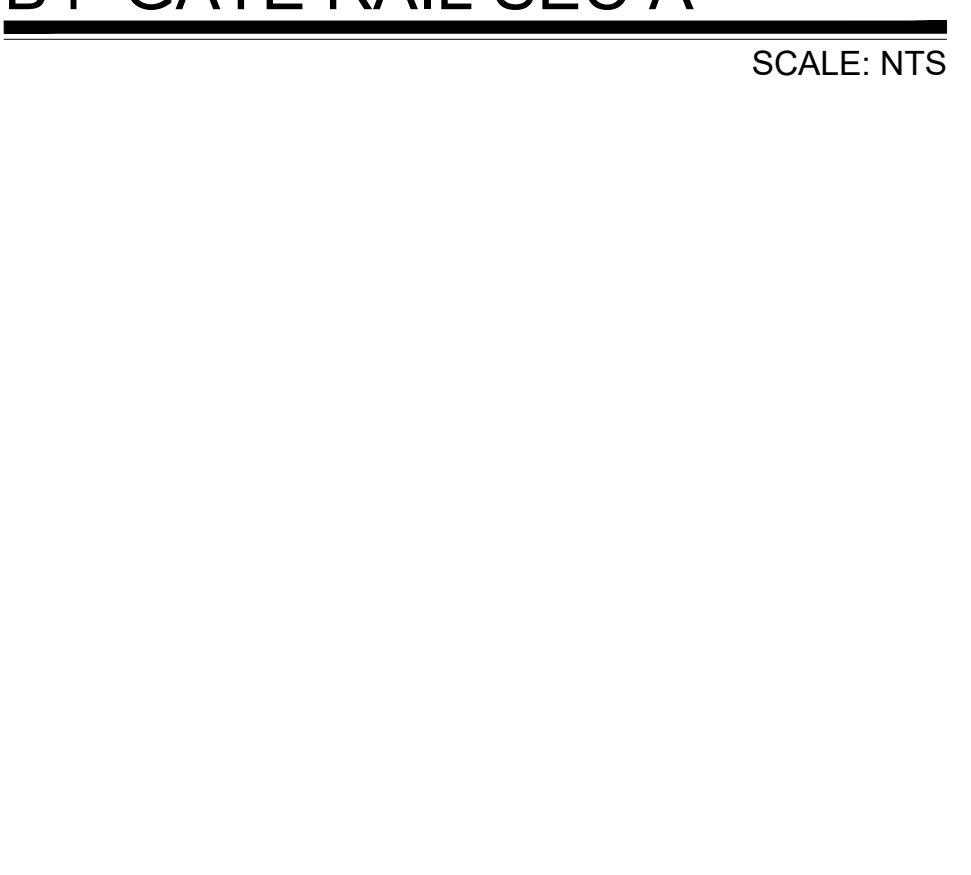
A1 TRAFFIC GATE

SCALE: NTS



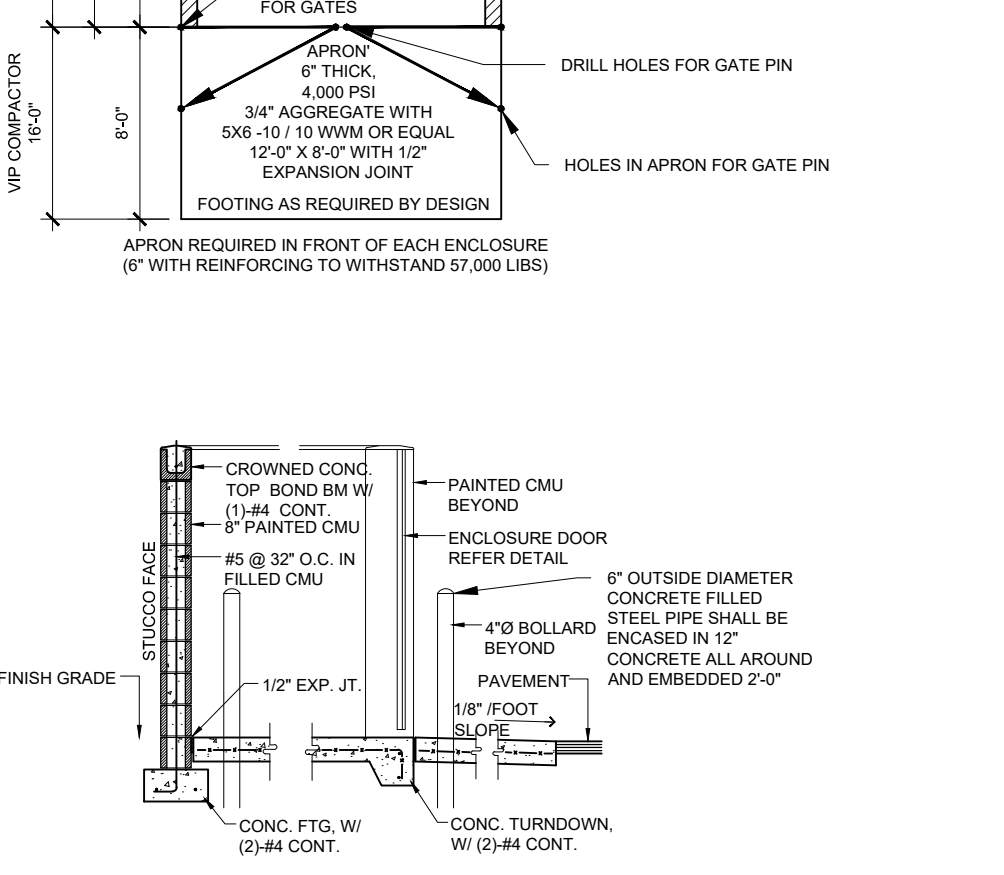
A3 NOT USED

SCALE: NTS



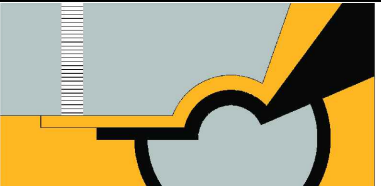

A4 NOT USED

SCALE: NTS



A5 REFUSE ENCLOSURE

SCALE: 1" = 1'-0"

No	Revision	Item	Date
 <div>SCOTT C. ANDERSON & associates architects 4419 4th st nro, suite b albuquerque, nm 87107 scotc@scotcarchitects.com 505.493.7575</div>			
CAR WASH 5700 SAN MATEO B LVD NE ALBUQUERQUE, NM 87109			
DRAWING TITLE			
DETAILS			
	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-501	
DATE 03/22/2022		OF	