

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 5, 2023

Scott C. Anderson, R.A
Scott C. Anderson & Associates Architects
7604 Rio Penasco NW
Albuquerque, NM 87120

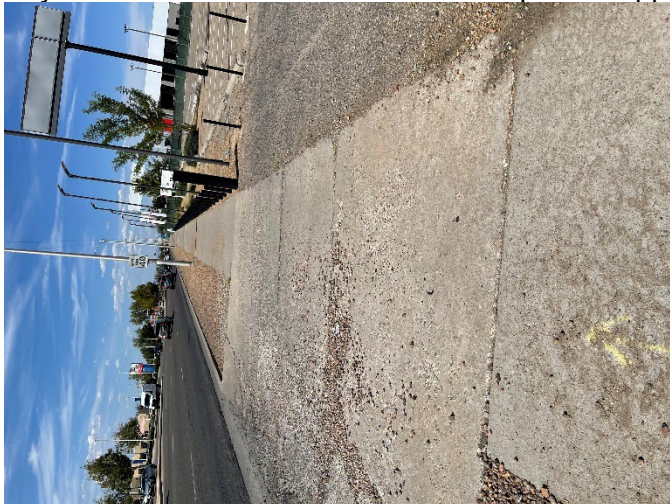
Re: Enterprise/ Car Wash
5700 San Mateo Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 05-31-22 (F18-D052)
Certification dated 08-14-23

Dear Mr. Anderson,

Based upon the information provided in your submittal received 08-30-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Keynote Y: Site accesses must be built per the approved site plan.



- Minimum 6 ft. wide ADA pathway must be provided from the public sidewalk to the building entrance.
- One of the ADA parking spaces must be a Van ADA parking.

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PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Please anchor down the bike rack.
- Please remove these existing ADA parking spaces.



- Per approved plan, please provide Motorcycle parking space.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

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If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Enterprise Building Permit # 72-31696 Hydrology File # _____
DRB# _____ EPC# _____
Legal Description: _____ City Address OR Parcel 5700 San Mateo NE

Applicant/Agent: Scott Anderson Contact: _____
Address: _____ Phone: _____
Email: scott@scaarchitects.com

Applicant/Owner: _____ Contact: _____
Address: _____ Phone: _____
Email: _____

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: ___
RE-SUBMITTAL: ___ YES ___ NO

DEPARTMENT: ___ TRANSPORTATION ___ HYDROLOGY/DRAINAGE

Check all that apply:

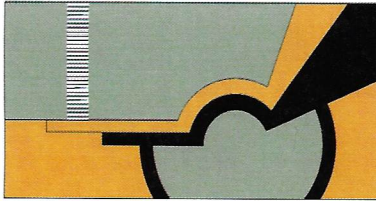
TYPE OF SUBMITTAL:

- ___ ENGINEER/ARCHITECT CERTIFICATION
- ___ PAD CERTIFICATION
- ___ CONCEPTUAL G&D PLAN
- ___ GRADING PLAN
- ___ DRAINAGE REPORT
- ___ DRAINAGE MASTER PLAN
- ___ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ___ ELEVATION CERTIFICATE
- ___ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ___ ADMINISTRATIVE
- ___ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ___ TRAFFIC IMPACT STUDY (TIS)
- ___ STREET LIGHT LAYOUT
- ___ OTHER (SPECIFY) _____
- ___ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ___ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ___ CONCEPTUAL TCL DRB APPROVAL
- ___ PRELIMINARY PLAT APPROVAL
- ___ SITE PLAN FOR SUB'D APPROVAL
- ___ SITE PLAN FOR BLDG PERMIT APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ SIA/RELEASE OF FINANCIAL GUARANTEE
- ___ FOUNDATION PERMIT APPROVAL
- ___ GRADING PERMIT APPROVAL
- ___ SO-19 APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ GRADING PAD CERTIFICATION
- ___ WORK ORDER APPROVAL
- ___ CLOMR/LOMR
- ___ FLOOD PLAN DEVELOPMENT PERMIT
- ___ OTHER (SPECIFY) _____

DATE SUBMITTED: _____



SCOTT C. ANDERSON
& associates architects

7604 rio penasco nw
albuquerque, nm 87120
andersonscottc@comcast.net
505.401.7575

August 14, 2023

Ms. Marwa Al-najjar, PE
Planning Department
Transportation Development
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505 924-3675
malnajjar@cabq.gov

Re: Traffic layout certification, 5700 San Mateo Blvd NE, BP 2022-31096


Dear Ms. Al-najjar:

I, Scott C. Anderson NMRA #4341, of the firm Scott C. Anderson & Associates Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 5/31/2022 and approved by the City of Albuquerque on 10/13/2022. The record information edited onto the original design document has been obtained by Scott Anderson. I further certify that I have personally visited the project site on 8/13/2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The deviations from the approved TCL are as follows:

Existing power poles could not be removed / relocated and need to remain. These power poles are located between the new car wash and the office building. The Owner added light poles for security purposes. These 4 light poles run north and south from the east side of the new car wash. The bicycle parking has not been placed. There is a phone pedestal protected by steel pipe bollards that could not be relocated from the far NE parking space.

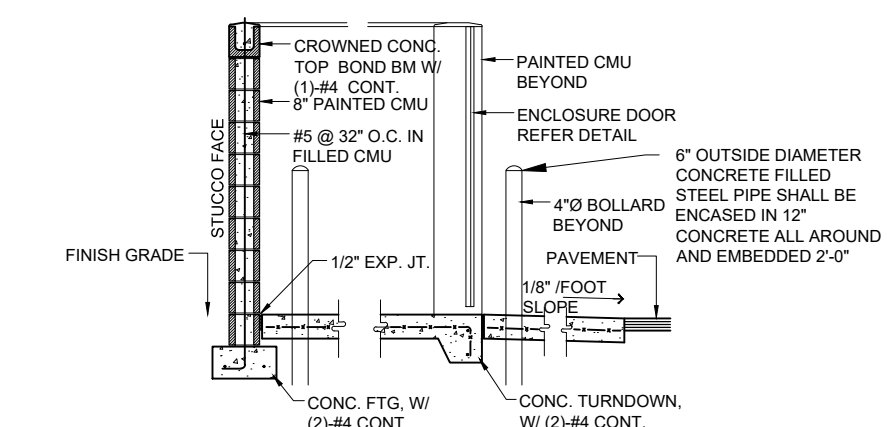
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Signature Architect

8/14/2023
Date

- A. EXISTING DRIVE CUT
- B. BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING REF DETAIL SHEET A-501
- D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL THIS SHEET
- E. EXISTING FIRE HYDRANT
- F. SHARED ACCESS EASEMENT
- G. NEW HEADER CURB
- H. EXISTING 4" STEEL BOLLARDS @ 4'-0" +/- OC AT INSIDE EDGE OF SIDEWALK TO REMAIN
- I. EXISTING CONC. STAIRS AND RAIL.
- J. EXISTING LIGHT POLE TO REMAIN
- K. EXISTING HC RAMP WITH HANDRAILS TO REMAIN
- L. HEAR CURB, REF DETAIL SHEET A-501
- M. PROPERTY LINE
- N. UTILITY EASEMENT
- O. AUTOMOTIVE SECURITY GATE
- P. KNOX BOX
- Q. EXISTING CMU WALL ON ADJOINING PROPERTY
- R. REFUSION ENCLOSURE, REF DETAIL THIS SHEET
- S. LANDSCAPE BED, REF L-100
- T. EXISTING SITE SIGN TO REMAIN
- U. EXISTING 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E WITH TURN DOWN EDGE.
- V. EDGE OF ASPHALT
- W. VEHICLE QUEUE
- X. SIGHT TRIANGLE
- Y. HC RAMP COA STANDARD DETAIL 2425B
- Z. ONE WAY DO NOT ENTER SIGN
- AA. PEDESTRIAN PATHWAY, REF SITE DIMENSIONS



SCALE: 1/8" = 1'-0"



SCALE: 1/2" = 1'-0"



SCALE: NTS



SCALE: 1/2" = 1'-0"

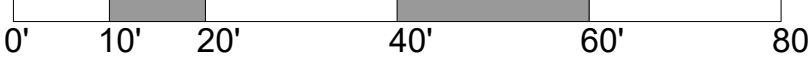


SCALE: NTS



SCALE: NTS

EXISTING BUILDINGS TO REMAIN WITH NEW COLOR SCHEME



NOTE:
SOLID WASTE WILL BE PROVIDED WITH GATE CONTROLLER

THE MAX SLOPE FOR THE ADA RAMP LANDING AREA IS 2% IN ALL DIRECTIONS

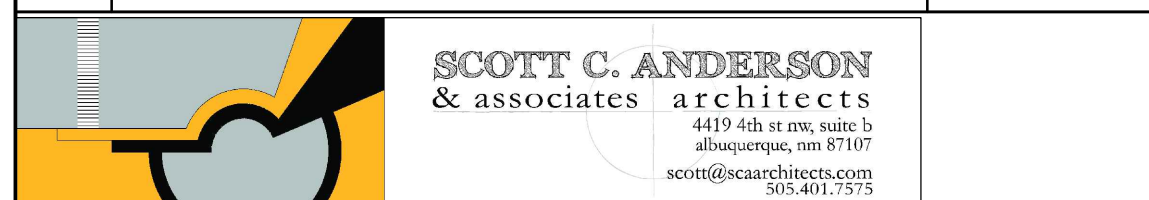
PARKING:
OFFICE: 3,230 SF X 0.0035 = 11.3 SPACES
CAR WASH: 2,216 SF X 0.02 = 4.8 SPACES
TOTAL SPACES REQUIRED = 16 SPACES, 59 PROVIDED
HC SPACES REQUIRED = 1 VAN ACCESSIBLE REQUIRED, 2 PROVIDED
MOTORCYCLE PARKING REQUIRED 1-25 = 1 SPACE REQUIRED, 1 SPACE PROVIDED
BIKE PARKING = 3 SPACES REQUIRED, 3 SPACES PROVIDED

UPC: 101806102644920122
LEGAL: LOT A2C SPANISH LAND COMPANY
AREA: 2.48 AC

UPC: 101806102643520121
LEGAL: LOT A2D SPANISH LAND COMPANY
AREA: 0.9183 ACRES

ZONING: NR-C
ZONE ATLAS PAGE: F18

No	Revision Item	Date



CAR WASH
5700 SAN MATEO BLVD NE
ALBUQUERQUE, NM 87109

DRAWING TITLE

TCL-RECORD DRAWING

