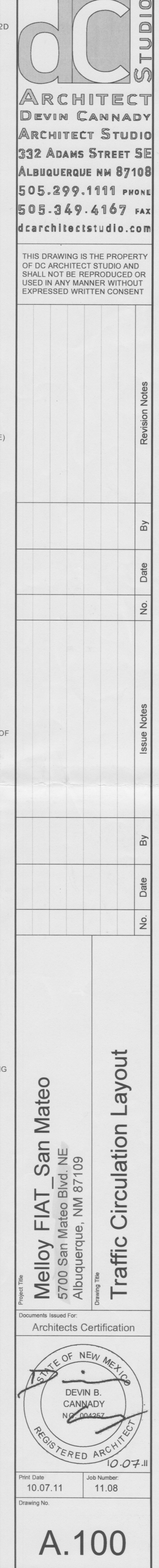


PROJECT DESCRIPTION:		
LEGAL DESCRIPTION:	TRACT A-2-C PLAT OF TRACTS A2A, A2B, A2C & A2D A REPLAT OF TRACTS A2A & A2B SPANISH LAND COMPANY SUBDIVISION.	
PHYSICAL ADDRESS:	5700 SAN MATEO BLVD. NE ALBUQUERQUE, NM 87109	
CURRENT ZONING:	C-3	
ZONE MAP:	F18	
NEIGHBORHOOD ASSOCIATION:	DEL NORTE	
ZONE ATLAS PAGE:	F18	
TYPE OF DEVELOPMENT	AUTOMOTIVE SHOWROOM	
SIZE OF DEVELOPMENT	EXISTING BUILDING	= 1,980 S.F.
	NEW FIAT DEALERSHIP	= 3,178 S.F.
	TOTAL SIZE OF DEVELOPMENT	= 5,158 S.F.
CITY ZONING CODE		
OFF-STREET PARKING REGULATIONS (14-16-3-1)		
PROPOSED RETAIL BLDG. NET LEASEABLE AREA		
EXISTING SALES BLDG.		
= 2,996 S.F.		
= 1,980 S.F.		
REQUIRED SPACES:		
(1 PER 200 S.F. NET LEASEABLE AREA)		
= 25 SPACES		
TOTAL PARKING PROVIDED:		
= 29 SPACES		
HANDICAPPED PARKING FACILITIES (14-16-3-1-F)		
REQUIRED H.C. SPACES		
PROVIDED H.C. SPACES		
= 2 SPACES		
= 3 SPACES		
(1 VAN ACCESSIBLE ISLE		
BICYCLE PARKING FACILITIES (14-16-3-1-B)		
REQUIRED SPACES: 1 SPACE / 20 PARKING SPACES		
= 2 SPACES		
MOTORCYCLE PARKING FACILITIES (14-16-3-1-C)		
REQUIRED SPACES		
= 2 SPACES		

01 SITE PLAN KEYED NOTES:

02 INSTALL NEW ASPHALT FOR NEW PARKING SPACES (EXTENTS AS HATCHED).
03 INSTALLATION TO BE LIMITED TO EXISTING CONDITIONS. MATERIAL
04 SPECIFICATIONS TO BE APPROPRIATE FOR LIGHT AUTOMOBILE TRAFFIC. EXTENTS AS
05 ASPHALT TO ALLOW 24" MIN. DRIVE AISLE.
06 ACCESSIBLE PARKING SPACE: COORDINATE HANDICAP AND DESIGN GUIDELINES. SEE
07 DETAIL ON CITY SITE DETAILS SHEET. SIGNAGE SIMILAR TYP. @ MOTORCYCLE PARKING.
08 ACCESSIBLE PARKING SPACE: STOP. PROVIDE PER CITY STANDARDS. SEE
09 DETAIL ON SITE DETAILS SHEET.
10 EXISTING CONCRETE WHEEL STOP. PROVIDE PER CITY STANDARDS. SEE
11 DETAIL ON SITE DETAILS SHEET.
12 BIKE RACK PER DETAIL ON CITY SITE DETAILS SHEET.
13 EXISTING ASPHALT TO REMAIN. COORDINATE APPROPRIATE SURFACE FOR
14 PROPOSED USE.
15 LANDSCAPE AREA, COORDINATE PLANTING AND IRRIGATION AS REQUIRED.
16 EXISTING DETAIL SPECIFICATIONS WITH LANDSCAPE SHEET.
17 AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING
18 PARKING SPACE. SEE DETAIL ON CITY SITE DETAILS SHEET.
19 ACCESSIBLE PARKING SPACE: STOP. PROVIDE PER CITY STANDARDS. SEE
20 COORDINATE SYMBOL PER CITY STANDARDS SEE DETAIL ON CITY SITE DETAILS
21 SHEET.
22 COORDINATE PEDESTRIAN SIDEWALK PER SITE DETAILS SHEET.
23 EXISTING PUBLIC SIDEWALK. VERIFY EXISTING CONDITION AND REPLACE /
24 REPAIR PORTIONS IN NEED OF ATTENTION. PROVIDE PROPOSED CONNECTION TO
25 PEDESTRIAL PATH AS SHOWN.
26 EXISTING SITE LIGHTING
27 COORDINATE STAIR PER SITE DETAILS SHEET. COORDINATE HANDRAIL PER PATIO
28 SECTION DETAIL ON CITY SITE DETAILS SHEET.
29 MOTORCYCLE PARKING SIGN, TYP. AT ALL MOTORCYCLE SPACES - REFER TO
30 DETAILS THIS PAGE.
31 ASPHALT ROLLED CURB, TYP. AT SOUTH END OF BUILDING.
32 RIVER ROCK DRAINING CHANNNEL.
33 SAW CUT AND REMOVE EXISTING ASPHALT TO ADD NEW LANDSCAPE AREA.
34 COORDINATE LANDSCAPE AREA PER LANDSCAPE SHEET. DASHED LINE
35 AREA TO BE KEPT CLEAR FOR ACCESSIBILITY. TYP. LARGED LINE FOR
36 REPRESENTATION PURPOSES ONLY.
37 EXISTING EXIT STAIRS FROM EXISTING BUILDING TO REMAIN. NO ALTERATIONS TO
38 EXISTING CONDITIONS.
39 ALTERATIONS TO ADJACENT PROPERTY MUST BE APPROVED IN WRITING BY
40 ADJACENT PROPERTY OWNER PRIOR TO COMMENCING WORK.
41 EXISTING SITE SIGN
42 ACCESSIBLE RAMP COORDINATE HANDRAILS BOTH SIDES MEETING ANSI
43 STANDARDS.
44 AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING BUILDING
45 ENTRY / EXIT.



PROJECT DESCRIPTION:		
LEGAL DESCRIPTION:	TRACT A-2-C PLAT OF TRACTS A2A, A2B, A2C & A2D A REPLAT OF TRACTS A2A & A2B SPANISH LAND COMPANY SUBDIVISION.	
MISSING RA. STAMP	5700 SAN MATEO BLVD. NE ALBUQUERQUE, NM 87109	
CURRENT ZONING:	C-3	
ZONE MAP:	F18	
NEIGHBORHOOD ASSOCIATION:	DEL NORTE	
ZONE ATLAS PAGE:	F18	
TYPE OF DEVELOPMENT	AUTOMOTIVE SHOWROOM	
SIZE OF DEVELOPMENT	EXISTING BUILDING	= 1,980 S.F.
	NEW FIAT DEALERSHIP	= 3,178 S.F.
	TOTAL SIZE OF DEVELOPMENT	= 5,158 S.F.

STATE OF NEW MEXICO
DEVIN B.
CANNADY
NO. 4940
REGISTERED ARCHITECT

10.11.

SITE PLAN GENERAL NOTES:

THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.

ALL SITE GEOMETRY SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR FOR UTILIZING THE CORNER STAKES, CURB SURVEY, AND STAKE. PARKING LOT DIMENSIONS ARE GIVEN FROM FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.

ALL CONCRETE MARKING SHALL BE MADE WITH WHITE ALKALYD STRIPING (UNLESS NOTED OTHERWISE) AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.

ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS SPECIFIED OTHERWISE.

COORDINATE ALL WATER METERS, MAN HOLES, CLEAN-OUTS, ETC. WITH CIVIL SITE UTILITY PLAN.

COORDINATE GAS METER LOCATION WITH MECHANICAL PLANS.

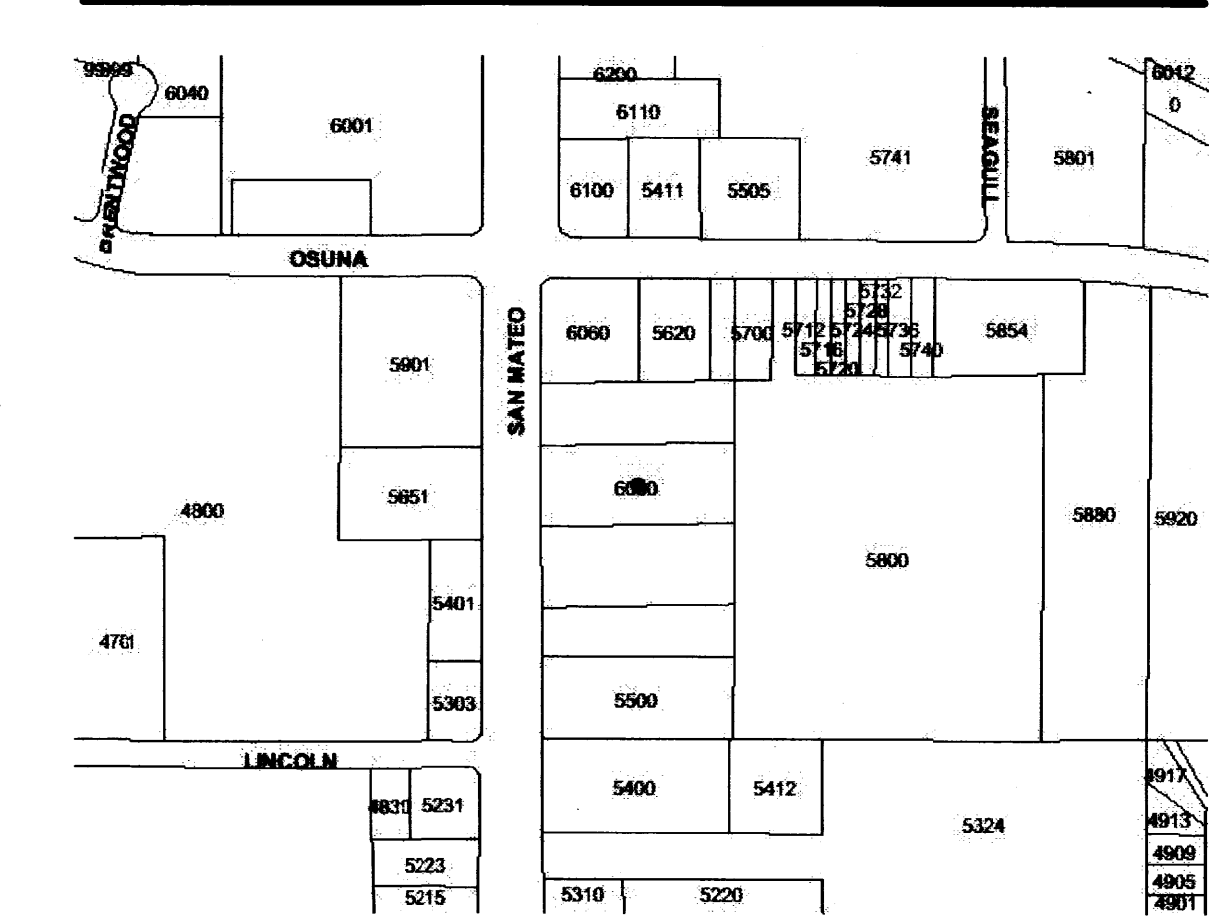
COORDINATE ELECTRICAL METER AND TRANSFORMER LOCATIONS WITH ELECTRICAL PLANS.

SITE PLAN KEYED NOTES:

- [01] INSTALL NEW ASPHALT FOR NEW PARKING SPACES (EXTENTS AS HATCHED) -
- [02] INSTALLATION TO BE SEAMLESS TO EXISTING CONDITIONS. MATERIAL SPECIFICATIONS TO BE APPROPRIATE FOR LIGHT AUTOMOBILE TRAFFIC. EXTENTS OF
- [03] ACCESSIBLE PARKING SIGN TYP. AT HANDICAP PARKING SPACES.
- [04] PROVIDE SIGNAGE PER CITY ORDINANCES AND DESIGN GUIDELINES. SEE
- [05] DETAIL ON SITE DETAILS SHEET.
- [06] PROVIDE SIGNAGE SIMILAR TYP. @ MOTORCYCLE PARKING
- [07] PRE-CAST CONCRETE WHEEL STOP. PROVIDE PER CITY STANDARDS. SEE
- [08] DETAIL ON SITE DETAILS SHEET.
- [09] BIKER RACK PER DETAIL ON SITE DETAILS SHEET.
- [10] EXISTING ASPHALT TO REMAIN. COORDINATE APPROPRIATE SURFACE FOR
- [11] PROPOSED USE.
- [12] LANDSCAPE AREA. COORDINATE PLANTING AND IRRIGATION AS REQUIRED.
- [13] COORDINATE DETAILS & SPECIFICATIONS WITH LANDSCAPE SPECIALIST.
- [14] AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING
- [15] PARKING SPACE. SEE DETAIL ON SITE DETAILS SHEET.
- [16] ACCESSIBLE PARKING SYMBOL. TYP. @ ACCESSIBLE PARKING SPACES.
- [17] COORDINATE SYMBOL PER CITY STANDARDS SEE DETAIL ON SITE DETAILS
- [18] SHEET.
- [19] CONCRETE PEDESTRIAN SIDEWALK PER SITE DETAILS SHEET.
- [20] EXISTING PUBLIC SIDEWALK. VERIFY EXISTING CONDITION AND REPLACE /
- [21] REPAIR PORTIONS IN NEED OF ATTENTION. PROVIDE PROPOSED CONNECTION
- [22] TO PEDESTRIAN PATH AS SHOWN.
- [23] EXISTING SITE LIGHTING.
- [24] CONCRETE STAIR PER SITE DETAILS SHEET. COORDINATE HANDRAIL PER PATIO
- [25] SECTION DETAIL ON SITE DETAILS SHEET.
- [26] MOTORCYCLE PARKING SIGN, TYP. AT ALL MOTORCYCLE SPACES - REFER TO
- [27] DETAILS THIS CURB.
- [28] ASPHALT ROLLED CURB. TYP. AT SOUTH END OF BUILDING.
- [29] RIVER ROCK DRAGING. TYP. AT SOUTH END OF BUILDING.
- [30] SAW CUT AND REMOVE EXISTING ASPHALT TO ADD NEW LANDSCAPE AREA.
- [31] COORDINATE LANDSCAPE AREA PER LANDSCAPE LEGEND.
- [32] AREA TO BE KEPT CLEAR FOR ACCESSIBILITY. TYP. DASHED LINE FOR
- [33] REPRESENTATION PURPOSES ONLY.
- [34] EXISTING EXIT STAIRS FROM EXISTING BUILDING TO REMAIN. NO ALTERATIONS
- [35] TO EXISTING CONDITIONS PROPOSED.
- [36] ALTERATIONS TO ADJACENT PROPERTY MUST BE APPROVED IN WRITING BY
- [37] ADJACENT PROPERTY OWNER PRIOR TO COMMENCING WORK.
- [38] EXISTING SITE SIGN.
- [39] ACCESSIBLE RAMP. COORDINATE HANDRAILS BOTH SIDES MEETING ANS
- [40] STANDARDS.
- [41] AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING BUILDING
- [42] ENTRY / EXIT.

RECEIVED
OCT 7 2011
HYDROLOGY
SECTION

VICINITY MAP



dc STUDIO
ARCHITECT
DEVIN CANNADY
ARCHITECT STUDIO
332 ADAMS STREET SE
ALBUQUERQUE NM 87108
505.299.1111 PHONE
505.349.4167 FAX
dcarchitectstudio.com

THIS DRAWING IS THE PROPERTY
OF DC ARCHITECT STUDIO AND
SHALL NOT BE REPRODUCED OR
USED IN ANY MANNER WITHOUT
EXPRESSED WRITTEN CONSENT

Revision Notes

By

No

5

1

3

Project Title
Melloy FIAT_San Mateo
5700 San Mateo Blvd. NE
Albuquerque, NM 87109

Traffic Circulation Layout

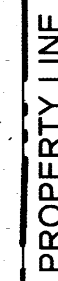
Documents Issued For:
Architects Certification

STATE OF NEW MEXICO
DEVIN B. CANNADY
NO. 004257
REGISTERED ARCHITECT

Print Date 10.07.11	Job Number: 11.08
------------------------	----------------------

A.100

D3 Traffic Circulation Layout
Scale: 1" = 20 ft



SIZE OF DEVELOPMENT	EXISTING BUILDING	= 1,980 S.F.
	NEW FIAT DEALERSHIP	= 3,178 S.F.
	TOTAL SIZE OF DEVELOPMENT	= 5,158 S.F.
CITY ZONING CODE		
OFF-STREET PARKING REGULATIONS (14-16-3-1)		
PROPOSED RETAIL BLDG. NET LEASEABLE AREA		= 2,996 S.F.
EXISTING SALES BLDG.		= 1,960 S.F.
REQUIRED SPACES:		
(1 PER 200 S.F. NET LEASEABLE AREA)		= 25 SPACES
TOTAL PARKING PROVIDED:		
		= 29 SPACES
HANDICAPPED PARKING FACILITIES (14-16-3-1-F)		
REQUIRED H.C. SPACES		= 2 SPACES
PROVIDED H.C. SPACES		= 3 SPACES
		(1 VAN ACCESSIBLE ISLE)
BICYCLE PARKING FACILITIES (14-16-3-1-B)		
REQUIRED SPACES: 1 SPACE/20 PARKING SPACES		= 2 SPACES
MOTORCYCLE PARKING FACILITIES (14-16-3-1-C)		
REQUIRED SPACES		= 2 SPACES


NOTE: SITE PLAN GENERAL NOTES:

- [1] - THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.
- [2] - ALL SITE GEOMETRY SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR OR UTILIZING ARCHITECTS SITE BASE AND GPS SURVEY STATION. FOR ANY LOT DIMENSIONS, OR FROM FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.
- [3] - ALL PAVEMENT MARKINGS SHALL BE MADE WITH WHITE ALKYD STRIPING FOR WHICH NOTED OTHERWISE, AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.
- [4] - ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS OTHERWISE NOTED OTHERWISE.
- [5] - COORDINATE ALL WATER METERS, MAN HOLES, CLEAN-OUTS, ETC. WITH CIVIL SITE UTILITY PLAN.
- [6] - COORDINATE GAS METER LOCATION WITH MECHANICAL PLANS.
- [7] - COORDINATE ELECTRIC METER AND TRANSFORMER LOCATIONS WITH ELECTRICAL PLANS.

NOTE: SITE PLAN KEYED NOTES:

- [01] - INSTALL NEW ASPHALT FOR NEW PARKING SPACES (EXTENTS AS HATCHED) - INSTALLATION TO BE SEAMLESS TO EXISTING CONDITIONS. MATERIAL TO BE SELECTION TO INCORPORATE FOR LIGHT AUTOMOBILE TRAFFIC. EXTENTS OF ASPHALT TO ALLOW 24" MIN DRIVE CURVE.
- [02] - ACCESSIBLE PARKING SIGN, TYPE 1, AT HANDICAP PARKING SPACES. PROVIDE SIGNAGE PER CITY ORDINANCES AND DESIGN GUIDELINES. SEE DETAIL ON SITE DETAILS SHEET. SIGNAGE SIMILAR TYPE @ MOTORCYCLE PARKING.
- [03] - CONCRETE SIDEWALK SIGN, PROVIDE PER CITY STANDARDS. SEE DETAIL ON SITE DETAILS SHEET.
- [04] - BIKE RACK PER DETAIL ON SITE DETAILS SHEET.
- [05] - COORDINATE ASPHALT TO REMAIN. COORDINATE APPROPRIATE SURFACE FOR PROPOSED USE.
- [06] - LANDSCAPE AREA, COORDINATE PLANTING AND IRRIGATION AS REQUIRED. COORDINATE DETAIL TO LANDSCAPE ARCHITECT'S LAYOUT SHEET.
- [07] - AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING PARKING SPACE. SEE DETAIL ON SITE DETAILS SHEET.
- [08] - ACCESSIBLE PARKING SYMBOL PER CITY STANDARDS. PARKING SPACES. COORDINATE SYMBOL PER CITY STANDARDS SEE DETAIL ON SITE DETAILS SHEET.
- [09] - CONCRETE PEDESTRIAN SIDEWALK PER SITE DETAILS SHEET.
- [10] - EXISTING PUBLIC SIDEWALK. VERIFY EXISTING CONDITION AND REPLACE / REPAIR PORTIONS IN NEED OF ATTENTION. PROVIDE PROPOSED CONNECTION TO EXISTING SIDEWALK. SEE DETAIL ON SITE DETAILS SHEET.
- [11] - EXISTING SITE LIGHTING.
- [12] - CONCRETE STAIR PER SITE DETAILS SHEET, COORDINATE HANDRAIL PER PATIO SIGNAGE DETAIL ON SITE DETAILS SHEET.
- [13] - MOTORCYCLE PARKING SIGN, TYPE 1, AT ALL MOTORCYCLE SPACES - REFER TO DETAILS THIS PAGE.
- [14] - ASPHALT ROLLED CURB, TYPE 1, AT SOUTH END OF BUILDING.
- [15] - RIVER CROCK DRAINAGE CHANNEL.
- [16] - SAW CUT AND REMOVE EXISTING ASPHALT TO ADD NEW LANDSCAPE AREA. COORDINATE LANDSCAPE AREA PER LANDSCAPE LEGEND.
- [17] - AREA TO BE KEPT CLEAR FOR ACCESSIBILITY, TYPE 1, DASHED LINE FOR REPRESENTATION PURPOSES ONLY.
- [18] - EXISTING EXIT STAIRS FROM BUILDING TO REMAIN. NO ALTERATIONS TO EXISTING CONDITIONS PROPOSED.
- [19] - ALTERATIONS TO ADJACENT PROPERTY MUST BE APPROVED IN WRITING BY ADJACENT PROPERTY OWNER PRIOR TO COMMENCING WORK.
- [20] - EXISTING SITE SIGN.
- [21] - ACCESSIBLE RAMP, COORDINATE HANDRAILS ON BOTH SIDES MEETING ANSI STANDARDS. *Handrails shall be provided on both continuous & platform* *of ramps & landings*

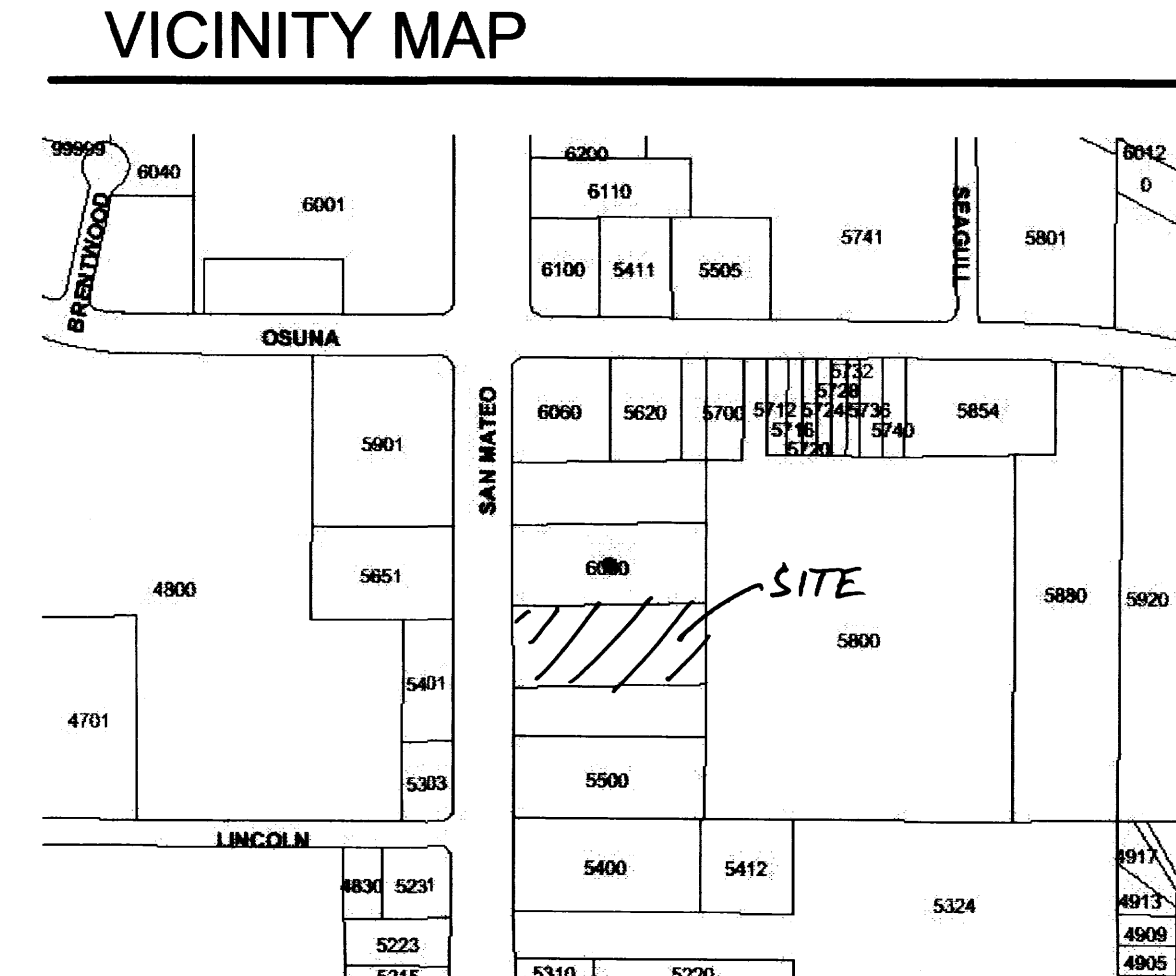
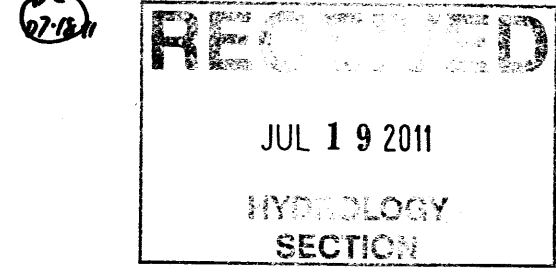
**TRAFFIC CIRCULATION LAYOUT
APPROVED**


Signed _____

07-19-11
Date

**Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.**

**ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.**



dc STUDIO
ARCHITECT
DEVIN CANNADY
ARCHITECT STUDIO
332 ADAMS STREET SE
ALBUQUERQUE NM 87108
505.299.1111 PHONE
505.349.4167 FAX
dcarchitectstudio.com

THIS DRAWING IS THE PROPERTY
OF DC ARCHITECT STUDIO AND
SHALL NOT BE REPRODUCED OR
USED IN ANY MANNER WITHOUT
EXPRESSED WRITTEN CONSENT

Revision Notes

By _____

[illegible]

Notes

By _____

		No.
--	--	-----

out

Project Title
Melloy FIAT_San Mateo
6000 San Mateo Blvd. NE
Albuquerque, NM 87109

Drawing Title
Traffic Circulation Layout

Documents Issued For:
Client Review

STATE OF NEW MEXICO

DEVIN B. CANNADY

NO. 004257

REGISTERED ARCHITECT

07-18-11

Print Date 07.11.11	Job Number: 11.08
Drawing No.	

A.100

I, JOHN ARTHUR BLESSEN, NMPE 13481, OF THE FIRM J ARTHUR BLESSEN ENGINEERING, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/30/11. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

J. Arthur Blessen, PE
NM PE# 13481
9/30/11
date

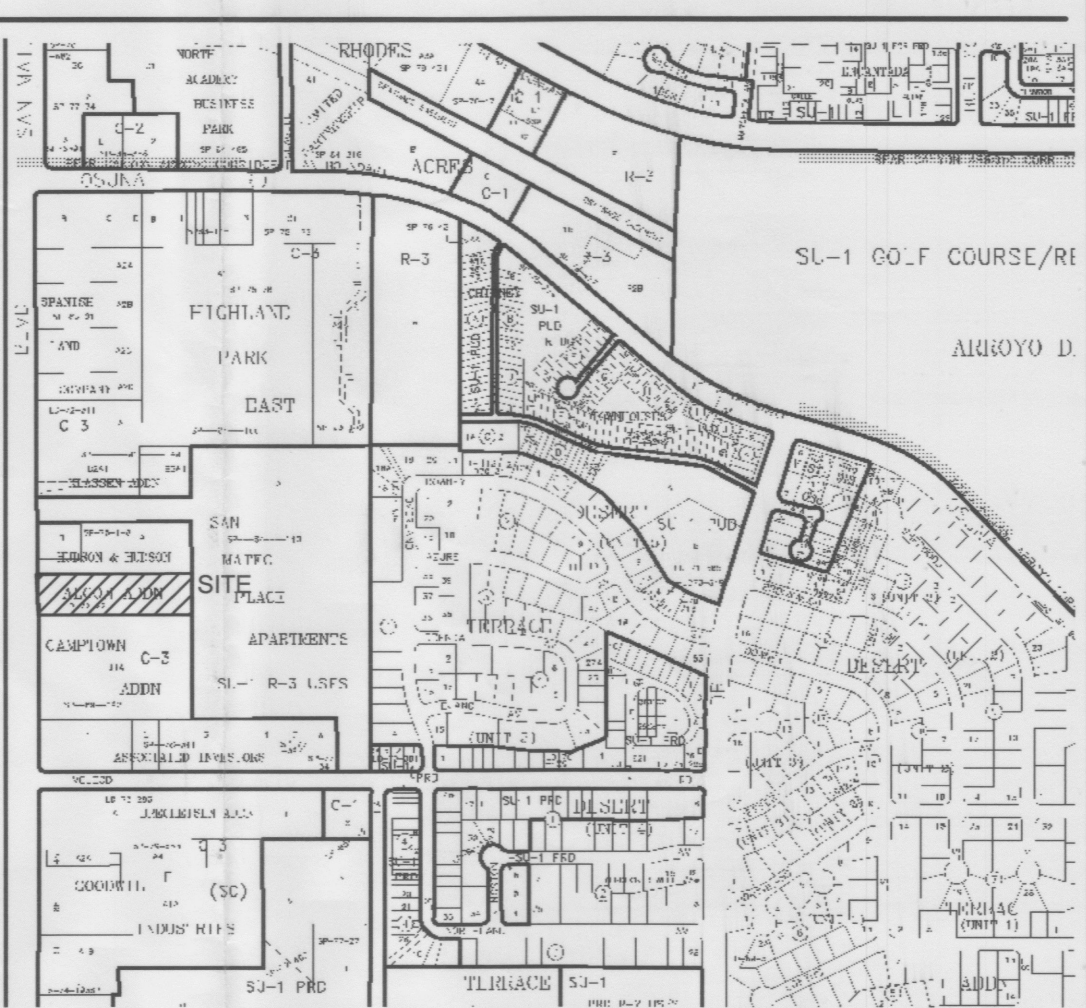


LEGEND:

36.8 TC 36.3 TA	EXISTING SPOT ELEVATION	FL	FLOW LINE
51.00	NEW SPOT ELEVATION	GND	GROUND
5023	EXISTING CONTOUR	INV	INVERT
51	NEW CONTOUR	TA	TOP OF ASPHALT
SWALE		TC	TOP OF CURB
51.0 ✓	VERIFIED ELEVATION	TG	TOP OF GRATE
54.0	AS BUILT ELEVATION	TS	TOP OF CONCRETE SLAB
	BASIN BOUNDARY	TW	TOP OF WALL
	PROPERTY LINE	TBM	TEMPORARY BENCH MARK
		GRAVEL	
		NEW CONCRETE	
		NEW ASPHALT PAVING	
		COMPACTED BASE COURSE	

VICINITY MAP

F-18



PROJECT ADDRESS
6000 SAN MATEO BLVD. N.E., ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION
TRACT A-2-C OF SPANISH LAND COMPANY SUBDIVISION

PROJECT BENCHMARK
PROJECT BENCHMARK IS A STANDARD CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4 INCH ALUMINUM DISC EPOXYED ON TOP OF CONCRETE STORM DRAIN INLET STAMPED "ACS BM 12-F18" LOCATED AT THE INTERSECTION OF SAN MATEO BLVD. AND MCLEOD ROAD N.E. AND 5.1 MILES OF DOWNTOWN ALBUQUERQUE. ELEVATION = 5215.97 FEET (NAVD 1988 VERTICAL DATUM).

SURVEY INFORMATION
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO MAY 2011.

GENERAL NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE LOCAL STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ANY REQUIRED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
- REFER TO SITE DEMOLITION PLAN FOR EXTENT OF DEMOLITION WORK.
- FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-2003.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

KEYNOTES

- EXISTING DRIVE ENTRANCE
- EXISTING CURB AND GUTTER
- EXISTING CONCRETE SIDEWALK
- CONSTRUCT CONCRETE CURB
- CONSTRUCT COBBLE SWALE
- CONSTRUCT CONCRETE WALK
- TOP OF NEW CONCRETE TO MATCH TOP OF EXISTING CONCRETE WALK
- CONSTRUCT CONCRETE CURB RAMP
- NEW ASPHALT PAVING
- MATCH TOP OF EXISTING ASPHALT ELEVATION
- CONCRETE SPLASH BLOCK
- CONSTRUCT CONCRETE STAIR



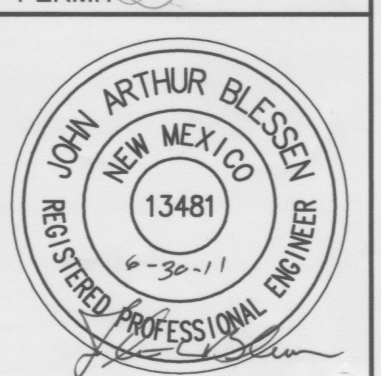
A1 SITE GRADING PLAN
1"=20'-0"

dc ARCHITECT
DEVIN CANNADY
ARCHITECT STUDIO
332 ADAMS STREET SE
ALBUQUERQUE NM 87108
505.299.1111 PHONE
505.349.4167 FAX
dcarchitectstudio.com

THIS DRAWING IS THE PROPERTY OF DC ARCHITECT STUDIO AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT

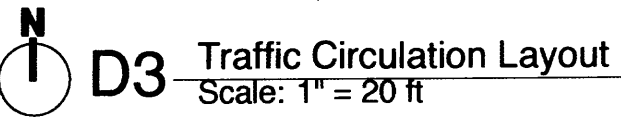
RECEIVED
SEP 3 2011
HYDROLOGY SECTION

Melody FIAT_San Mateo
6000 San Mateo Blvd. NE
Albuquerque, NM 87109
SITE GRADING PLAN

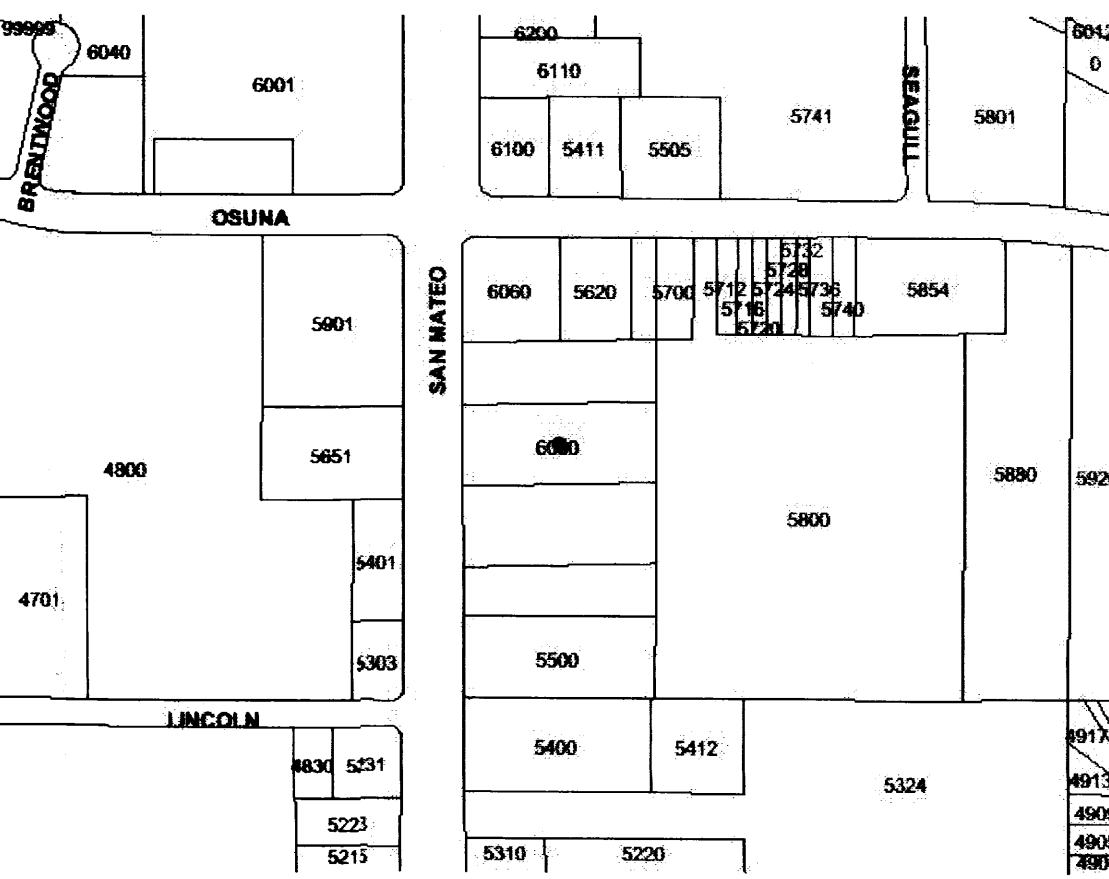


Issue Date
6-30-11
Job Number
11.08
Drawing No.

C-101



RECEIVED
JUL 11 2011
HYDROLOGY
SECTION



Documents Issued For:	
Client Review	
Print Date	Job Number:
07.11.11	11.08
Drawing No.	
A.100	