



City of Albuquerque

February 24, 2000

Mark Goodwin, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR **BRAKE MASTER ADDITION, (F-18/D053)**, ENGINEER'S STAMP DATED June 16, 1999, CERTIFICATION DATED February 16, 2000, SUBMITTED FOR CERTIFICATION OF OCCUPANCY APPROVAL

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated February 16, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Brake Master Addition ZONE/ATLAS/DRNG, FILE# F-18 /D053
DRB#: EPC# WORK ORDER#:
LEGAL DESCRIPTION: Tract J, Goodwill Industries
CITY ADDRESS: 4900 San Mateo NE

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Mark Goodwin, PE
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Brake Master	CONTACT:	Gordon Hall
ADDRESS:	4900 San Mateo NE	PHONE:	880-1616
ARCHITECT:	Gordon Hall	CONTACT:	Gordon Hall
ADDRESS:	11105 San Bernadino, Albuquerque, NM 87122	PHONE:	450-4707
SURVEYOR:	Daggett Surveying & Engineering	CONTACT:	Kevin Daggett
ADDRESS:	2125 Corte De Chamisa, Albuq., NM 87120	PHONE:	352-6271
CONTACTOR:	HA Drew Owens Const. Co.	CONTACT:	DREW OWENS
ADDRESS:		PHONE:	

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL
☒ ENGINEER'S CERTIFICATION
☐ OTHER
☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☐ YES
☒ NO

☐ COPY PROVIDED

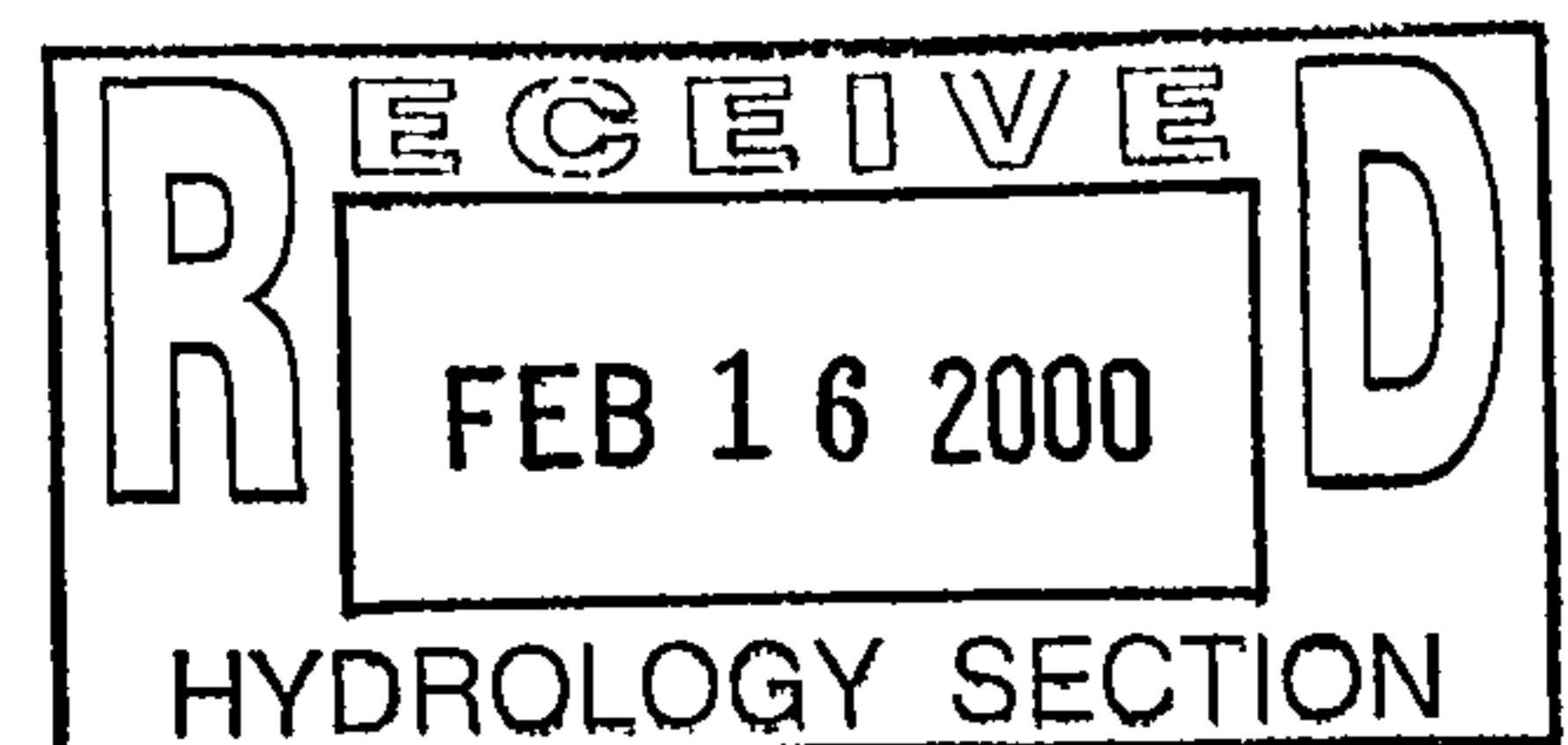
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER
☐ RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED: 2/16/00

BY: Mark Goodwin

Mark Goodwin, PE



6/10/29 NO


F18/D53

Breakmasters

4900 San Mateo

4/19/99

IMPORTANT MESSAGE

FOR _____

DATE _____ TIME _____ A.M.
P.M.

WHILE YOU WERE AWAY

M _____

OF _____

PHONE NO. _____

TELEPHONED		RET'D YOUR CALL	
PLEASE CALL		URGENT	
WILL CALL AGAIN		WANTS TO SEE YOU	

MESSAGE _____

SIGNED _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 20, 1999

Mr. Mark Goodwin
Mark Goodwin & Assoc., PA
P.O. Box 90606
Albuquerque, NM 87199

RE: BRAKE MASTERS @ 4900 SAN MATEO BLVD. -BLDG. ADD'N (F18/D053)
GRADING & DRAINAGE RESUBMITTAL FOR BUILDING PERMIT APPROVAL.
ENGINEER'S STAMP DATED 6-16-99

Dear Mr. Goodwin:

Based upon the information provided in your 7-22-99 resubmittal, the referenced project is approved for Building Permit. Please attach a copy of this approval letter to the project drawings prior to Hydrology Division sign off.

If I can be of further assistance, feel free to contact me at 768-2766.

Sincerely,

Scott Davis
PWD, Hydrology Div.

c: file



City of Albuquerque

August 12, 1999

Gordon A. Hall, Reg. Arch.,
11105 San Bernadino,
Albuquerque, New Mexico 87122

Re: Site Plan submittal for building permit approval for Brake Masters Addition, 4900 San Mateo Blvd. N.E., Goodwill Industries, Tract J, (Zone Map F-18-Z), Architect's Stamp dated 5/21/99.

Dear Mr. Hall,

The above referenced plan requires modification to the Site Plan prior to Building Permit release as detailed on the following attachment:

Please provide revised Site Plan reflecting following corrections.

Sincerely,

Mike Zamora,

Commercial Plan Checker

- T.C.L./Site Plan must be stamped and stamp must be dated.
- For this Plan, and all others following, include street address of site.
- The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place bold note on Site Plan.
- All Site Plans must be Engineer's scale, 1"=20' preferred, redraw. Please omit all Drainage info from Site Plan.
- Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
- Only one Site Plan is needed per Permit submittal. Multiple copies of Site Plans will need to match exactly.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes drivepad, curb & gutter, site sidewalks, all drive aisles, parking stalls (including H.C. [or refer to detail]), all curbing, etc. __Need to see clear differentiation between new construction and existing on Site Plan.
- Site Plan does not accurately show drivepad. Preliminary field inspection showed 25' width. The curb cut must be widened to 30 feet. __Label - "Construct new drivepad per City of Albuquerque Std. Detail Dwg. No. 2425."
- Show, label, and dimension existing street sidewalk in individual locations.
- Dimension stalls - label "typical" or call out in individual locations, if not typical.
- Show all new and ex. overhead doors and label on Site Plan or include building elevation sheet.
- If overhead doors are in new building, access by large wheelbase (minimum UPS size) vehicle is not possible by backing up to door, as shown, because parking stalls will not allow it. Loading zone will need to be striped and labelled at front of doors as shown or equal. Note on Site Plan: "All loading vehicles must use rear of site for all movements. Backing from or into San Mateo Blvd. is strictly prohibited"
- Diagonally hatch out two stalls at rear as shown.
- Painted end islands required with 15' radius as shown. -[cr] Shift parking stalls and HC. parking. __Minimum width of end islands-10'. __Call out to restripe remaining existing lot per City Standard.
- Plat, signed and recorded at county clerk's office, must be submitted. __Copy of master plan for this site development must be attached to each plan set. Show and label cross access easements (3 locations) required by master plan. All drives at these easements must be cleared and kept clear. Dimensions needed. Must be developed per master plan.
- Show and label all property lines and right-of-way lines.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up. __Construct added sidewalk at existing power pole (and any other obstacles) per C.O.A. Standard detail drawing No. 2431.
- All Civil Sheets (Drainage Plan, Site Plan and Landscape Plan) must be together at front of permit plan set.
- Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.
- Need to see valuation of project on Application -[cr,].
- For future reference, show full width of all streets on Site Plan, unless shown and dimensioned on Grading and Drainage Plan, to include median and opening, if it exists (including any left turn lanes into this site),
- The City of Albuquerque recommends building protection which consists of concrete-filled bollards at each location between existing, and new, overhead doors installed near wall, approximately as shown. Owner must be made aware of recommendation--choice to not comply requires signature. → _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 10, 1999

Mark Goodwin, P.E.
Mark Goodwin & Associates, PA
P. O. Box 90606
Albuquerque, New Mexico 87199

***RE: Conceptual Grading and Drainage Plan for Brake Master Addition (F18/D53)
Submitted for Site Development Plan for Building Permit Approval, Engineer's Stamp
Dated 4/19/99.***

Dear Mr. Goodwin:

The April 28, 1999 submittal for the above referenced site is incomplete and cannot be reviewed. Please provide all required information and calculations regarding drainage for this site.

The Traffic Circulation Layout (TCL) must be approved concurrently with the drainage plan. Please resubmit the TCL with the drainage resubmittal.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Brake Master Addition ZONE/ATLAS/DRNG, FILE#: F-18 053
DRB#: EPC# WORK ORDER#:
LEGAL DESCRIPTION: Tract J, Goodwill Industries
CITY ADDRESS: 4900 San Mateo NE

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Mark Goodwin, PE
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Brake Master	CONTACT:	Gordon Hall
ADDRESS:	4900 San Mateo NE	PHONE:	880-1616
ARCHITECT:	Gordon Hall	CONTACT:	Gordon Hall
ADDRESS:	11105 San Bernadino, Albuquerque, NM 87122	PHONE:	450-4707
SURVEYOR:	Daggett Surveying & Engineering	CONTACT:	Kevin Daggett
ADDRESS:	2125 Corte De Chamisa, Albuquerque, NM 87120	PHONE:	352-6271
CONTACTOR:	N/A	CONTACT:	
ADDRESS:		PHONE:	

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL
☐ ENGINEER'S CERTIFICATION
☐ OTHER
☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

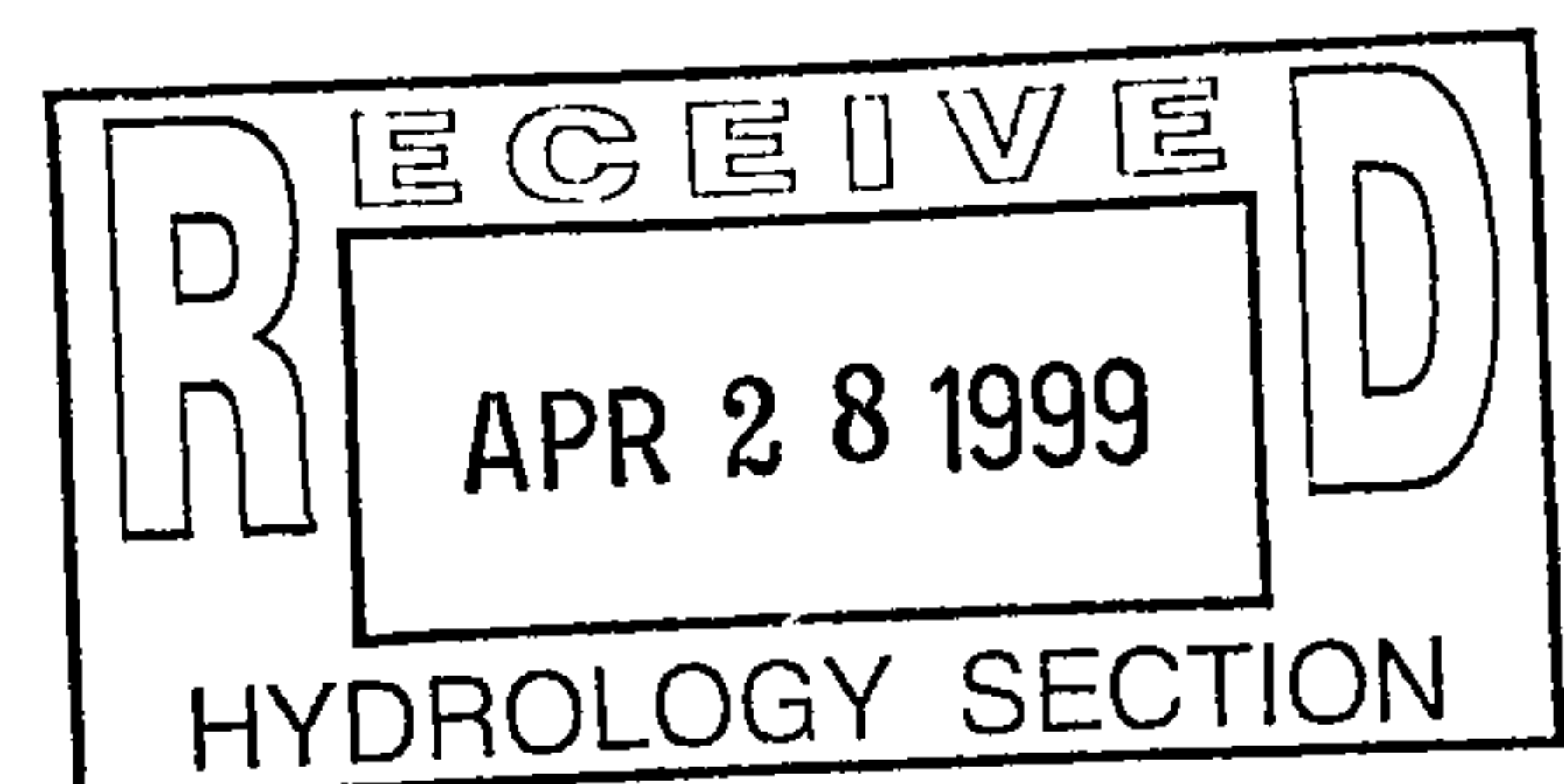
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
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☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER
☐ RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED:

4/28/99

BY:

Mark Goodwin
Mark Goodwin, PE



DRAINAGE INFORMATION SHEET

DRG
NO
REV

PROJECT TITLE: BRAKE MASTERS ZONE ATLAS/DRNG. FILE #: F-18-2053
LEGAL DESCRIPTION: TRACT "J", ELENA GALLEGOS GRANT
CITY ADDRESS: 4900 SAN MATEO BLVD. N.E.
ENGINEERING FIRM: W. REED EDGEL, P.E. CONTACT: MR. EDGEL
ADDRESS: 601 VASSAR N.E. PHONE: 255-2675
OWNER: BRAKE MASTERS CONTACT: MR. SHALOM LATIN
ADDRESS: 1935 E. BROADWAY PHONE: 602-623-9000
TUCSON, AZ. 85719
ARCHITECT: GASKIN & ASSOC. CONTACT: MR. GASKIN
ADDRESS: 144 WASHINGTON S.E. PHONE: 266-9831
SURVEYOR: TORRES SURVEYING CO CONTACT: JIM TORRES
ADDRESS: 1570 BRIDGE S.W. PHONE: _____
CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DEC 24

DATE SUBMITTED: DECEMBER 20, 1991
BY: W. REED EDGEL, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 30, 1991

W. Reed Edgel
Rodriguez & Associates
12800 San Juan Road, NE
Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR BRAKE MASTERS @ 4900 SAN MATEO, NE
(F-18/D53) ENGINEER'S STAMP DATED DECEMBER 20, 1991

Dear Mr. Edgel:

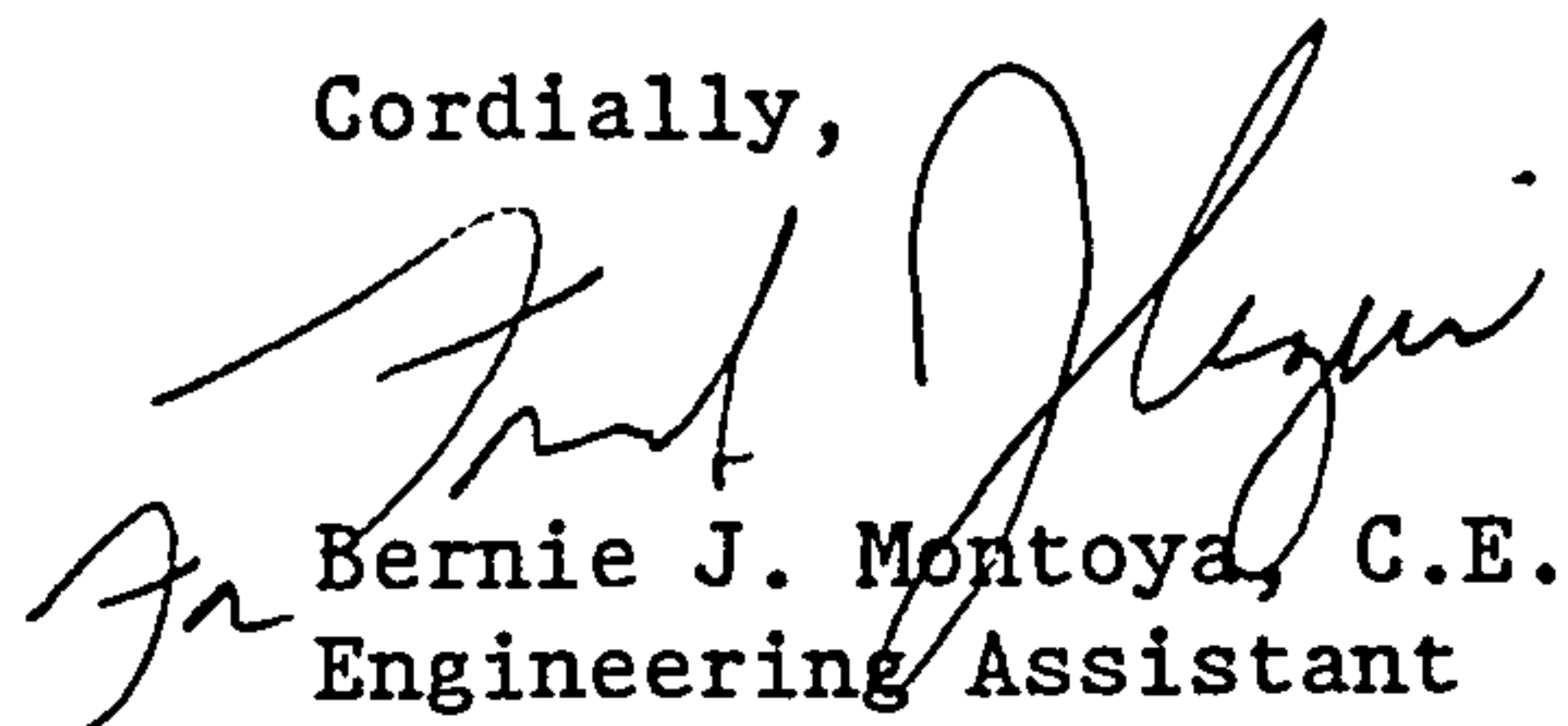
Based on the information provided on your submittal of December 20, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, please be advised that a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

xc: Darlene Saavedra
Alan Martinez

BJM/bsj
(WP+3121)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: F-18 DATE: 11/26/91
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: PROPOSED "BRAKE MASTERS" SITE
STREET ADDRESS: 4900 San Mateo N.E.
LEGAL DESCRIPTION: Tract J S-74-193

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____
_____ SITE DEVELOPMENT PLAN ☒ BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER _____

ATTENDANCE: ^{WHO} Bernie J. Montoya ^{REPRESENTING} City of Albuquerque
George Rodriguez Rodriguez & Associates

FINDINGS:

1. Drainage Plan per D.P.M. guidelines required for review prior to Building Permit release.
2. If proposed Building is to be placed over existing asphalt enough spot elevations must be supplied to clarify how the proposed grading will match the existing terrain
3. All developed run-off must be routed towards a curb cut and not across a public sidewalk.
4. _____

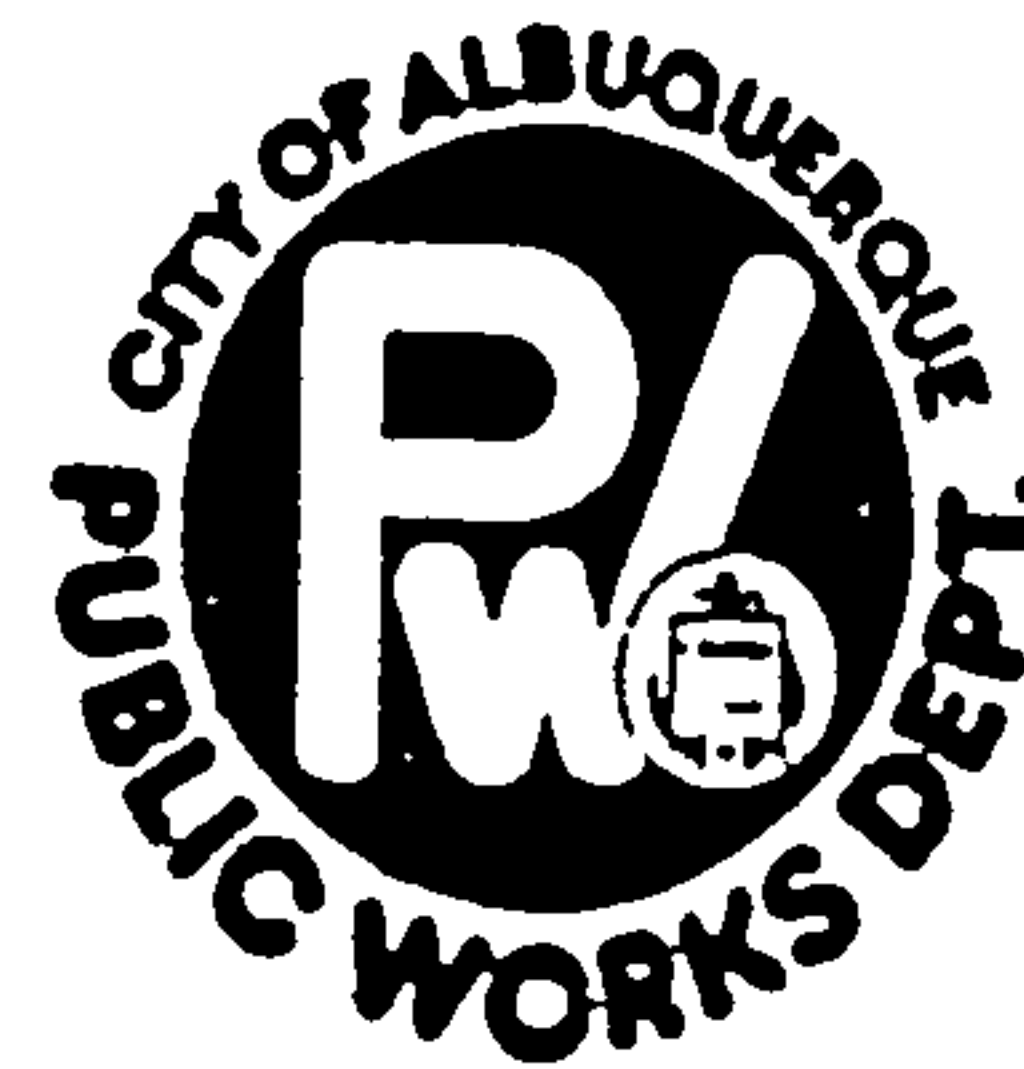
The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Bernie J. Montoya
TITLE: Engineering Assistant
DATE: 11/26/91

SIGNED: George J. Rodriguez
TITLE: _____
DATE: NOV. 26, 1991

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT



ENGINEERING GROUP

INTER-OFFICE CORRESPONDENCE

January 6, 1992

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
BRAKE MASTERS - 4900 SAN MATEO BLVD., NE (F-18/D53)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
PHONE 764-1699

CORRECTION NOTICE

THIS BUILDING AND PREMISES HAS BEEN INSPECTED AND THE WORK LISTED BELOW IS IN VIOLATION OF THE APPROVED DRAINAGE PLAN.

- | | |
|--|--|
| <input checked="" type="checkbox"/> S.O. - 19 APPROVAL | <input type="checkbox"/> STATE HWY. DEPT. APPROVAL |
| <input type="checkbox"/> INCORRECT ROOF DRAINS | <input type="checkbox"/> A.M.A.F.C.A. APPROVAL |
| <input type="checkbox"/> INCORRECT GRADING | <input checked="" type="checkbox"/> PROJECT INCOMPLETE |
| <input type="checkbox"/> CROSS LOT DRAINAGE | <input type="checkbox"/> O.K. FOR TEMP. C.O. [30 DAY] |
| <input type="checkbox"/> AGREEMENTS PENDING | <input type="checkbox"/> OTHER |

CORRECTIONS MUST BE MADE AND APPROVED BEFORE WORK CONTINUES IN THE CATEGORY CHECKED ABOVE.

LOCATION: 4900 SAN MATEO BLVD. NE

COMMENTS: SITE NOT COMPLETE - S.O. 19 APPROVAL VERIFICATION

- CURB NOT IN, PER PLAN, TO DIRECT RUN OFF PER PLAN - LANDSCAPING NOT COMPLETE SEDIMENT WILL WASH TO SAN MATEO, ASPHALT WORK CURB NOT IN PLACE. PER PLAN

DATE 5-13 1992 INSPECTOR Alan Martinez