

## HIGH MESA Consulting Group

J. Graeme Means, P.E., LEED AP BD+C  
Principal

6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109  
[www.highmesacg.com](http://www.highmesacg.com)

Phone: 505.345.4250  
Fax: 505.345.4254  
[gmeans@highmesacg.com](mailto:gmeans@highmesacg.com)

*We invite you to learn about our subsurface utility department*

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**From:** Abiel X. Carrillo [<mailto:acarrillo@cabq.gov>]  
**Sent:** Thursday, June 30, 2016 11:35 AM  
**To:** Graeme Means <[GMeans@highmesacg.com](mailto:GMeans@highmesacg.com)>  
**Cc:** Cherne, Curtis <[CCherne@cabq.gov](mailto:CCherne@cabq.gov)>  
**Subject:** RE: Mark Twain ES Paving Rehab



To: 'Abiel X. Carrillo' <[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)>

Subject: Mark Twain ES Paving Rehab

Abiel,

As just discussed, APS was able to obtain limited funding for pavement rehabilitation at Mark Twain MS, on the south side of Constitution just west of Louisiana. They plan to remove and replace the failing and worn pavement to the same existing grades with some small adjustments to take out the areas that are puddling. The approximate area is 1180 SY. The proposed scope and limits are as shown below. Due to limited funding, they will not be able to afford curbs or sidewalks.

Given the preceding scope, please confirm that we would not need to submit a formal grading and drainage plan or address first flush requirements, and that a post-construction certification will not be required.

Thank you,

Graeme





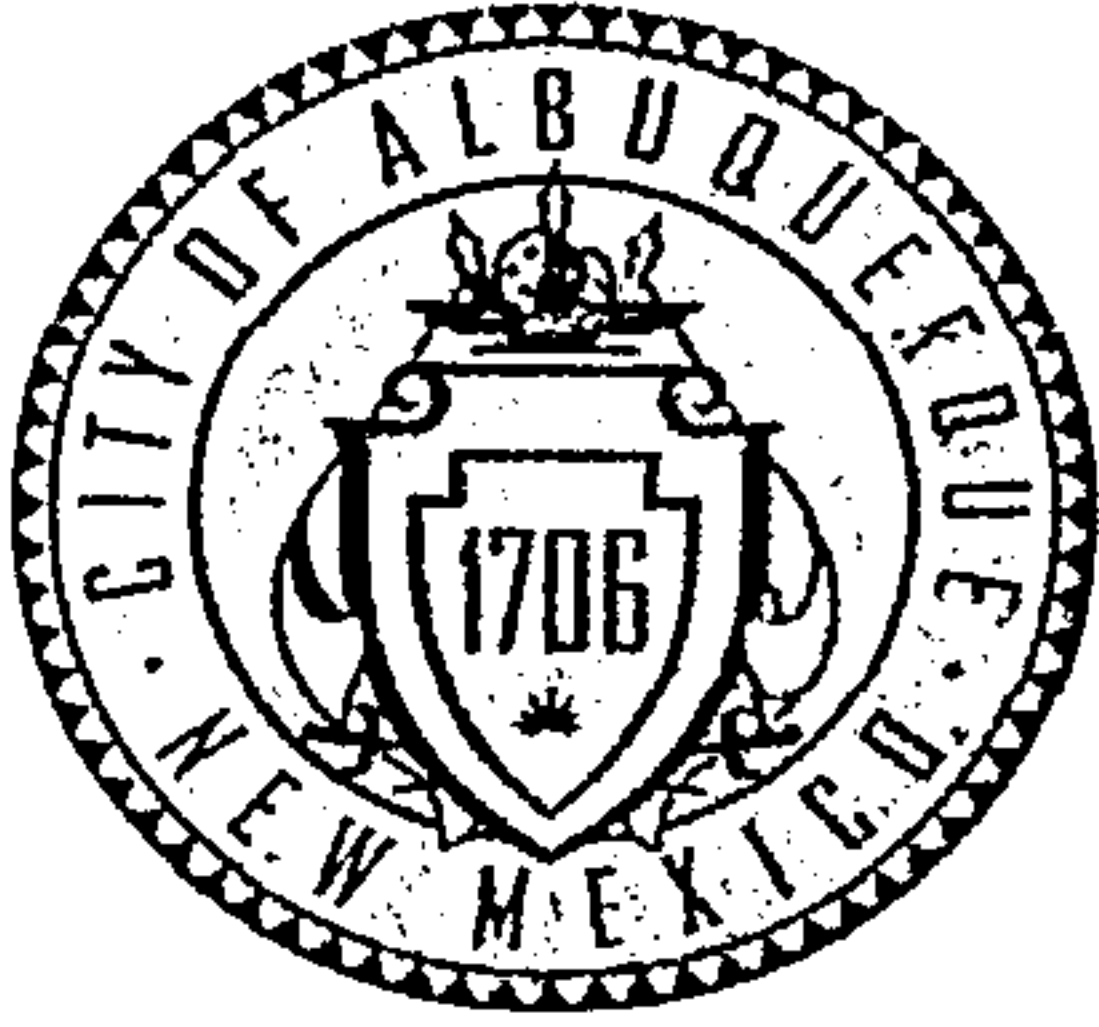
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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Del Norte HS Stabilization Building Permit #: \_\_\_\_\_ City Drainage #: F18D054

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

Approved for info only  
per Ariel Castillo  
6/30/2016



## Abiel X. Carrillo

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**From:** Abiel X. Carrillo  
**Sent:** Thursday, June 30, 2016 4:00 PM  
**To:** 'Graeme Means'; Cherne, Curtis  
**Subject:** RE: Del Norte HS Stabilization

I am ok with the tackifier and smoothening the existing site, if the site will continue to be self-contained.

You don't need a grading plan.

## Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology  
Planning Department  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

---

**From:** Graeme Means [mailto:[GMeans@highmesacg.com](mailto:GMeans@highmesacg.com)]  
**Sent:** Thursday, June 30, 2016 12:05 PM  
**To:** Abiel X. Carrillo; Cherne, Curtis  
**Subject:** Del Norte HS Stabilization

Abiel and Curtis,

We have one more APS outside the box project we'd like your help with. Curtis has some recent (and historic) familiarity with the ongoing phased reconstruction of Del Norte High School. Attached herewith is the most recent certification for the cafeteria project that included demolition and utility removal of a large area that will be a soccer field once funding is in place. The interim condition is a self-contained area in the middle of the site that is currently surrounded by silt fence and there is a long north – south gravel infiltration trench/storm drain at the west (downhill end) that is lined with wattles on both sides. There are also wattles on the inlets in the access road on the north side. Curtis has been out there in the last month or two and gave it a clean bill of health.

The plan is to apply a tackifier to the area to keep dust down until they can get the funding in place for installing artificial turf. The Contractor would like to install the tackifier next week. In advance, they would like to smooth the area out to eliminate localized low spots and enhance the tackifier installation. Can we implement this under the current ESC plan and open SWPPP as maintenance, or would this require a grading plan and permit? There would be minimal cut and fill (no more than a foot).

Please advise.

Thanks,

Graeme





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**Subject:** RE: Mark Twain ES Paving Rehab



# CITY OF ALBUQUERQUE



November 23, 2010

J. Graeme Means, P.E.  
**High Mesa Consulting Group**  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: New Tech High School, 5325 Montgomery Blvd. NE,  
Permanent Certificate of Occupancy - Approved  
Engineer's Stamp dated: 06-29-10 (F-18/D054)  
Certification dated 11-18-10**

Dear Mr. Means,

Based upon the information provided in the Certification received 11-19-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

Timothy E. Sims  
Plan Checker—Hydrology Section  
Development and Building Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: NEW TECH HIGH SCHOOL ZONE MAP: F-18/D054  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: REMAINDER OF TRACT B-1A, MUNICIPAL ADDITION NO 1  
 CITY ADDRESS: 5325 MONTGOMERY NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676  
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools (School Site) CONTACT: Richard Miller  
 ADDRESS: 915 Oak Street SE PHONE: 848-8835  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker / Perich / Sabatini CONTACT: Sanjay Kadu  
 ADDRESS: 7601 Jefferson NE PHONE: 761-9700  
 CITY, STATE: ABQ, NM ZIP CODE: 87109

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184  
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: AIC CONTACT: Architect  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ **ENGINEER'S CERT (HYDROLOGY)**  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

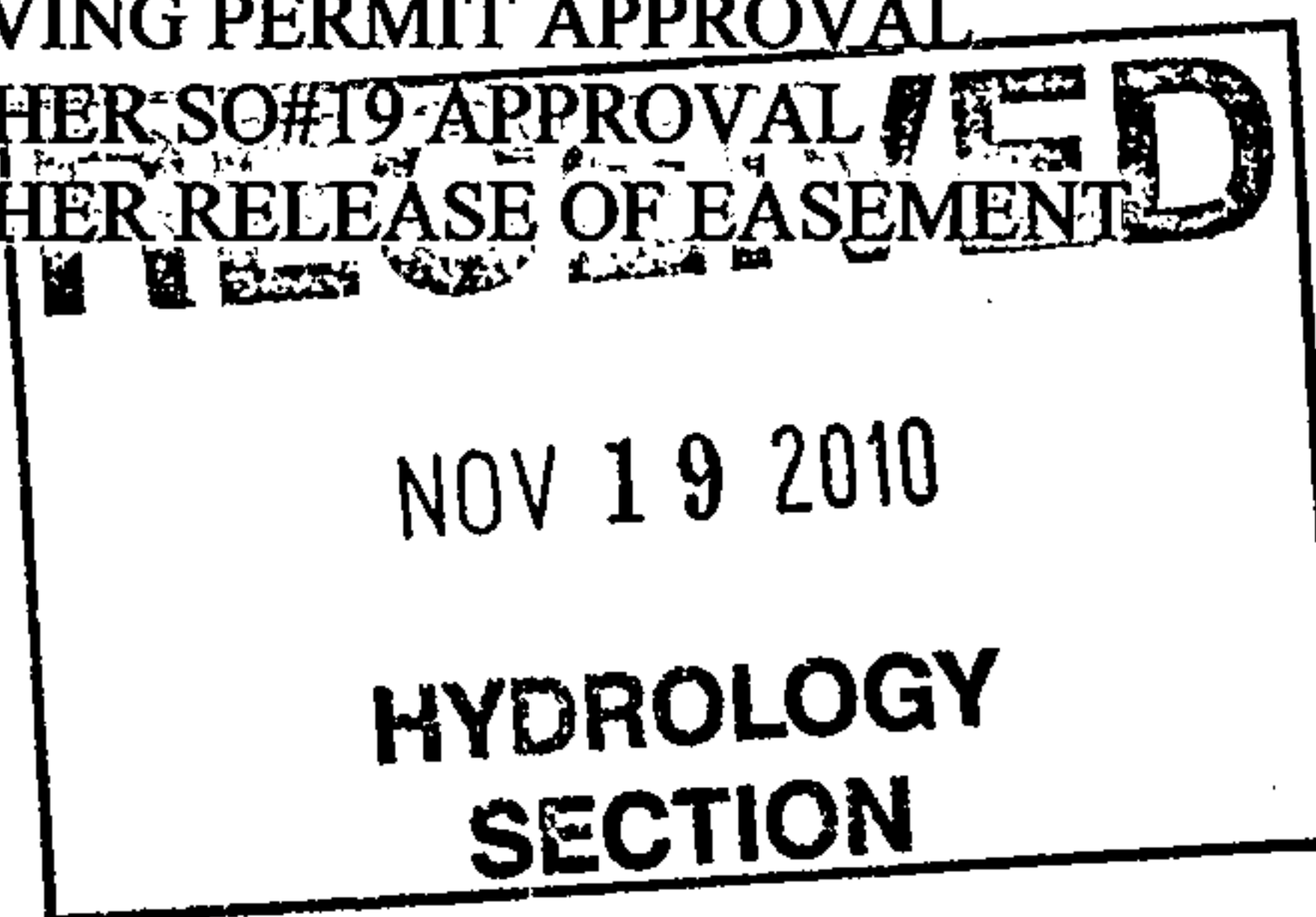
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ **CERTIFICATE OF OCCUPANCY**  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ OTHER SO#19 APPROVAL  
☐ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/19/2010 BY: J. Graeme Means

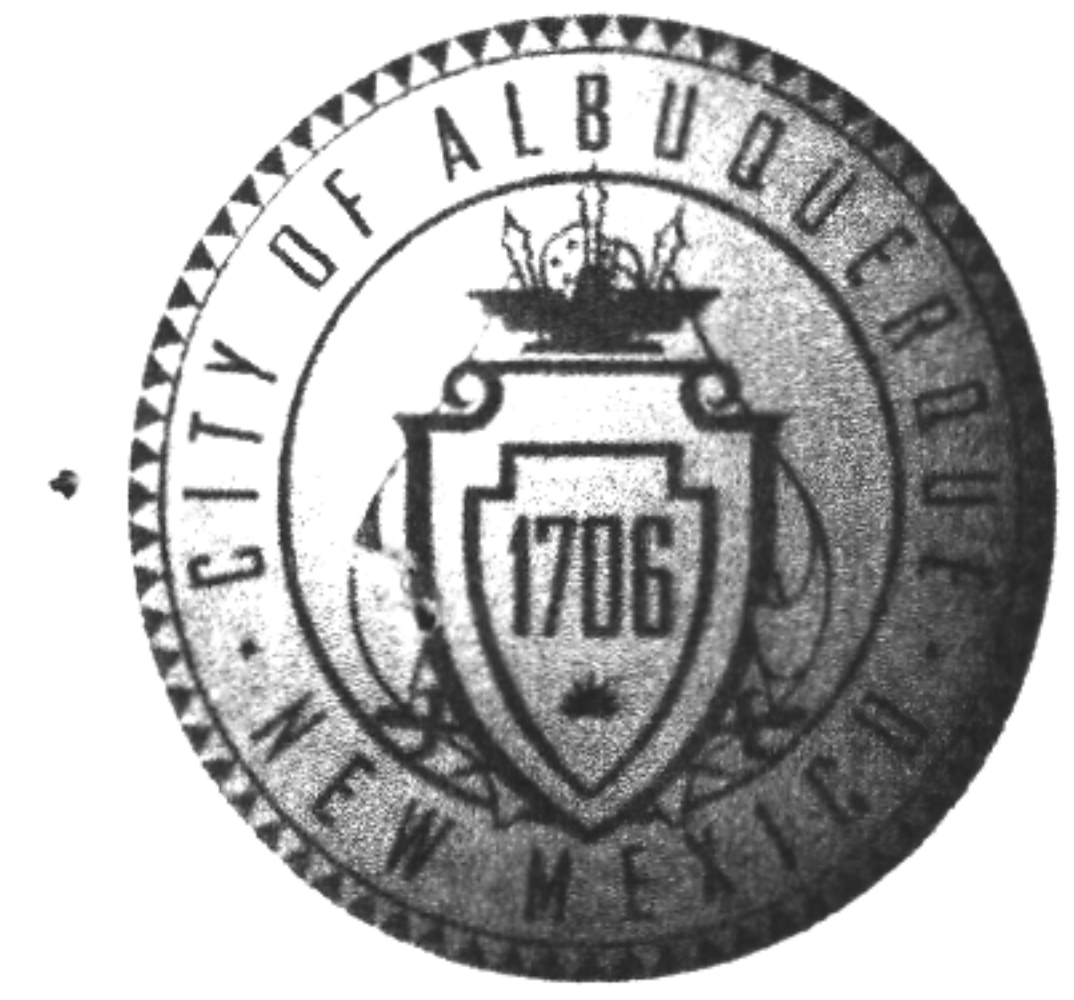
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 25, 2010

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010-B Midway Park Place NE  
Albuquerque, NM 87109

Re: Certification Submittal for a Permanent Building Certificate of Occupancy  
(C.O.) for New Tech High School, [F-18 / D054]  
5325 Montgomery NE  
Engineer's Stamp Dated 08/25/10

Dear Mr. Means:

Based upon the information provided in your submittal received 08-25-10,  
Transportation Development has approved your request for a Permanent Certificate of  
Occupancy.

This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: NEW TECH HIGH SCHOOL ZONE MAP: F-18/D054  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: REMAINDER OF TRACT B-1A, MUNICIPAL ADDITION NO 1  
 CITY ADDRESS: 5325 MONTGOMERY NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676  
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools (School Site) CONTACT: Richard Miller  
 ADDRESS: 915 Oak Street SE PHONE: 848-8835  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker / Perich / Sabatini CONTACT: Sanjay Kadu  
 ADDRESS: 7601 Jefferson NE PHONE: 761-9700  
 CITY, STATE: ABQ, NM ZIP CODE: 87109

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184  
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: AIC CONTACT: Architect  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

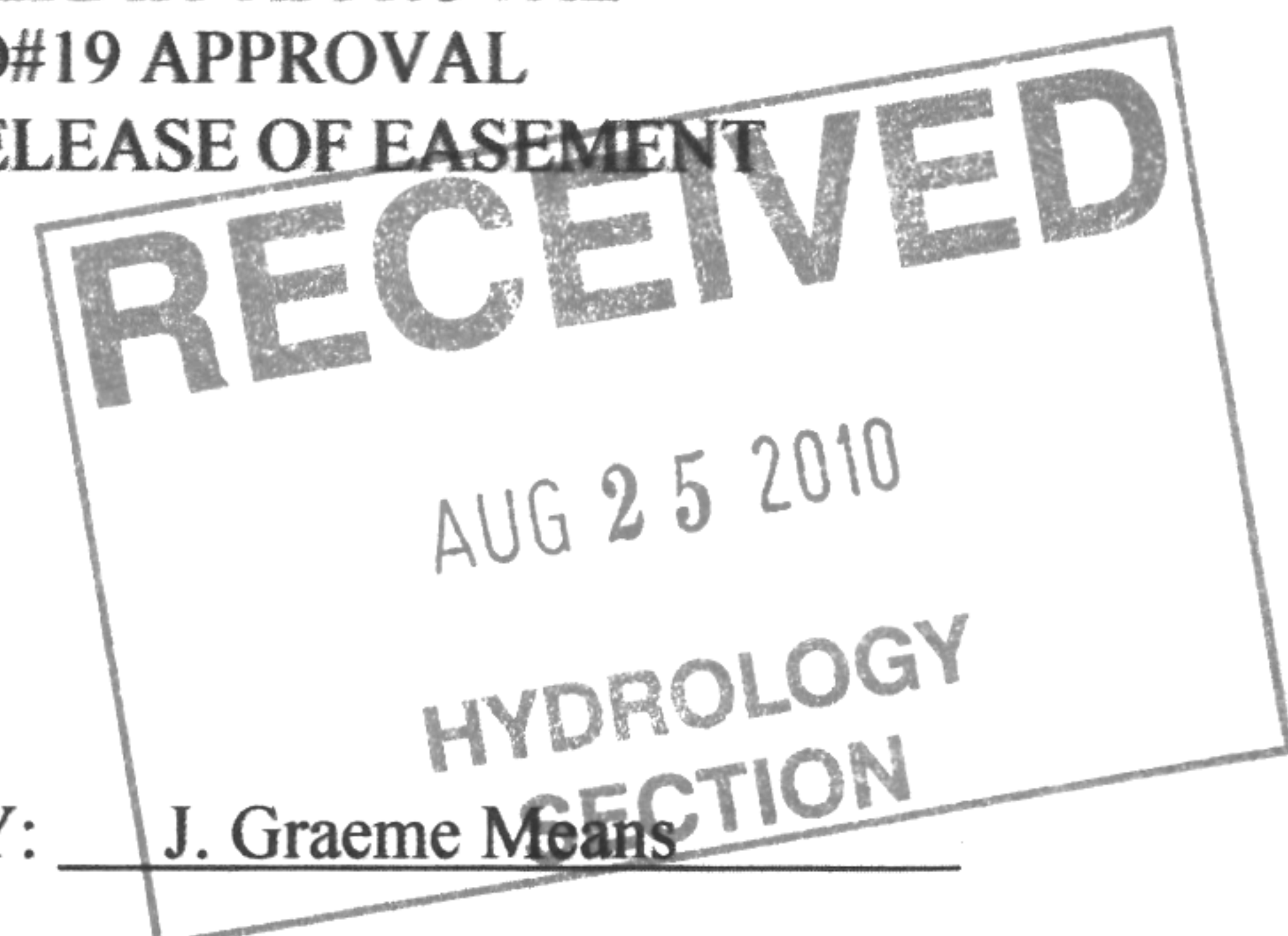
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
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☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY *perm*  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ OTHER SO#19 APPROVAL  
☐ OTHER RELEASE OF EASEMENT

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 08/25/2010 BY: J. Graeme Means



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# HIGH MESA Consulting Group

## ENGINEER'S CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

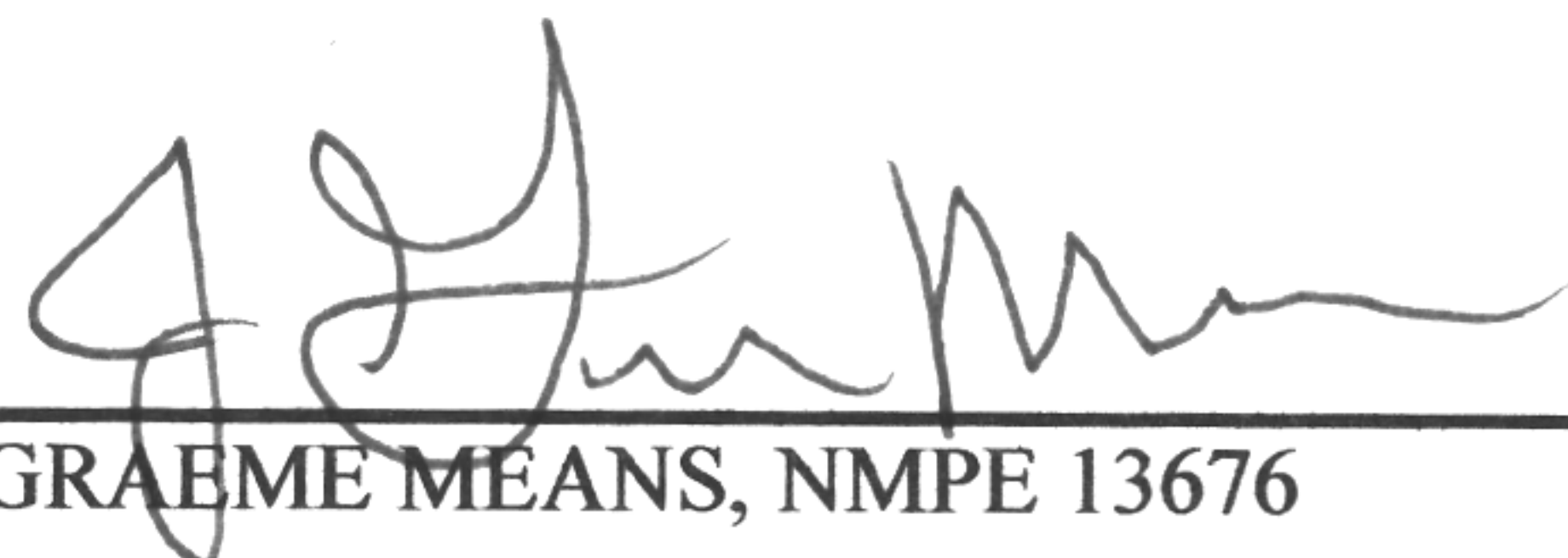
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THE TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TCL DATED 06/29/2009. THE RECORD SURVEY INFORMATION EDITED ONTO A COPY OF THE APPROVED DOCUMENT WAS COLLECTED 08/24/2010 BY CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 08/21/2010 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

ASIDE FROM A FEW MINOR DIMENSIONAL DEVIATIONS, THERE WERE TWO NOTABLE CHANGES AS COMPARED TO THE APPROVED PLAN. THESE CHANGES DO NOT IMPACT TRAFFIC CIRCULATION OR PRECLUDE THIS CERTIFICATION, BUT ARE NOTED HEREIN:

- 1) THE CURB AND GUTTER ON THE SOUTH SIDE OF THE EAST PARKING LOT WAS CONSTRUCTED AS A STANDARD GUTTER, NOT A DEPRESSED GUTTER. THIS DEVIATION IS BEING ADDRESSED AS PART OF THE DRAINAGE CERTIFICATION PROCESS.
- 2) THE CONCRETE SLAB AND PAVED AREA WEST OF THE EXISTING SHOP BUILDING WAS NOT REMOVED AND REPLACED. THIS WAS SPECIFIED FOR GRADING REASONS, IS BEING ADDRESSED WITH THE DRAINAGE CERTIFICATION PROCESS, AND DOES NOT ALTER TRAFFIC CIRCULATION ASPECTS OF THE PROJECT.

THESE DEVIATIONS ARE NOTED ON THE RECORD DRAWING.

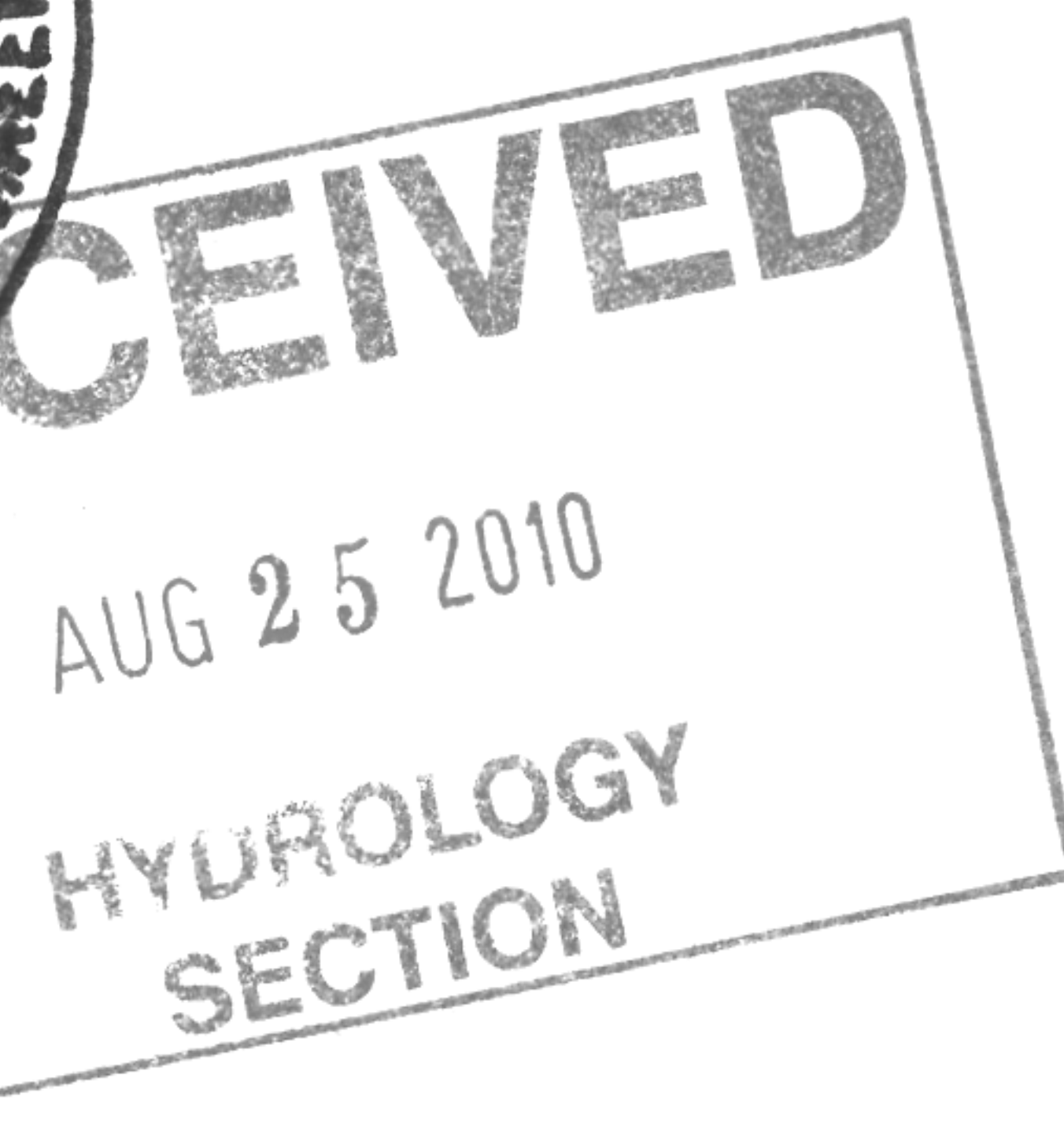
THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
J. GRAEME MEANS, NMPE 13676



08/25/10

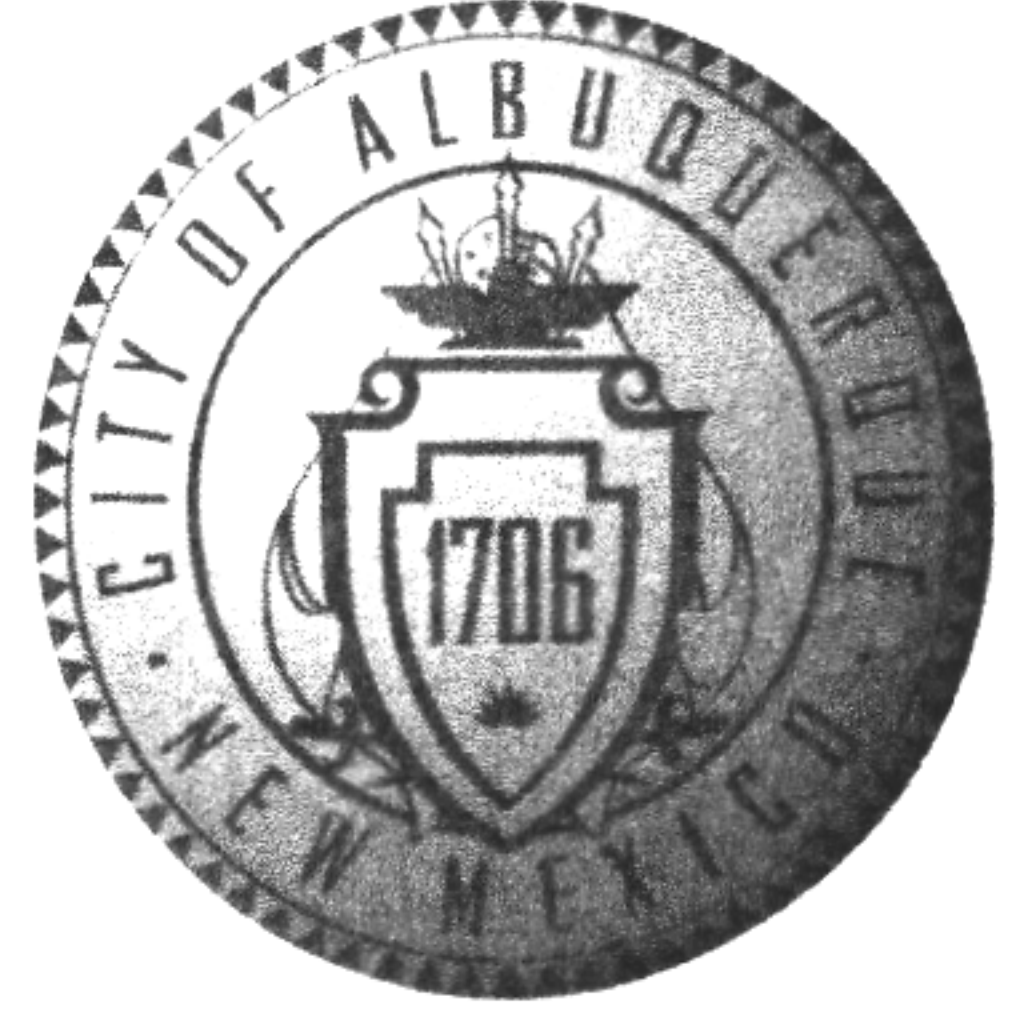
DATE



Principals: Jeffrey G. Mortensen, P.E. • Charles G. Cala, Jr., P.S. • Juan M. Cala  
Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Richard C. White



# CITY OF ALBUQUERQUE



November 20, 2009

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: New Tech High School, 5325 Montgomery Blvd NE, Grading Plan  
Engineer's Stamp date 10-28-09 (SO 19) and 11-17-09 (F18/D054)**

Dear Mr. Means,

Based upon the information provided in your submittals received 11-17-09 and 11-20-09, the above referenced plans are approved for Building Permit and SO 19 Permit.

To obtain a Permanent CO, Engineer Certification of the Grading Plan(s) per the DPM is required and the work in the City drainage easement must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: file  
Duane Schmitz, Street/Storm Drain Maintenance



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: NEW TECH HIGH SCHOOL ZONE MAP: F-18/D054  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: REMAINDER OF TRACT B-1A, MUNICIPAL ADDITION NO 1  
 CITY ADDRESS: 5325 MONTGOMERY NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676  
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools (School Site) CONTACT: Richard Miller  
 ADDRESS: 915 Oak Street SE PHONE: 848-8835  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker / Perich / Sabatini CONTACT: Sanjay Kadu  
 ADDRESS: 7601 Jefferson NE PHONE: 761-9700  
 CITY, STATE: ABQ, NM ZIP CODE: 87109

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184  
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Not yet Selected CONTACT: Owner  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
 \_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
**X** \_\_\_\_\_ **DRAINAGE PLAN RESUBMITTAL**  
 \_\_\_\_\_ CONCEPTUAL G & D PLAN  
**X** \_\_\_\_\_ **GRADING PLAN**  
 \_\_\_\_\_ EROSION CONTROL PLAN  
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 \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
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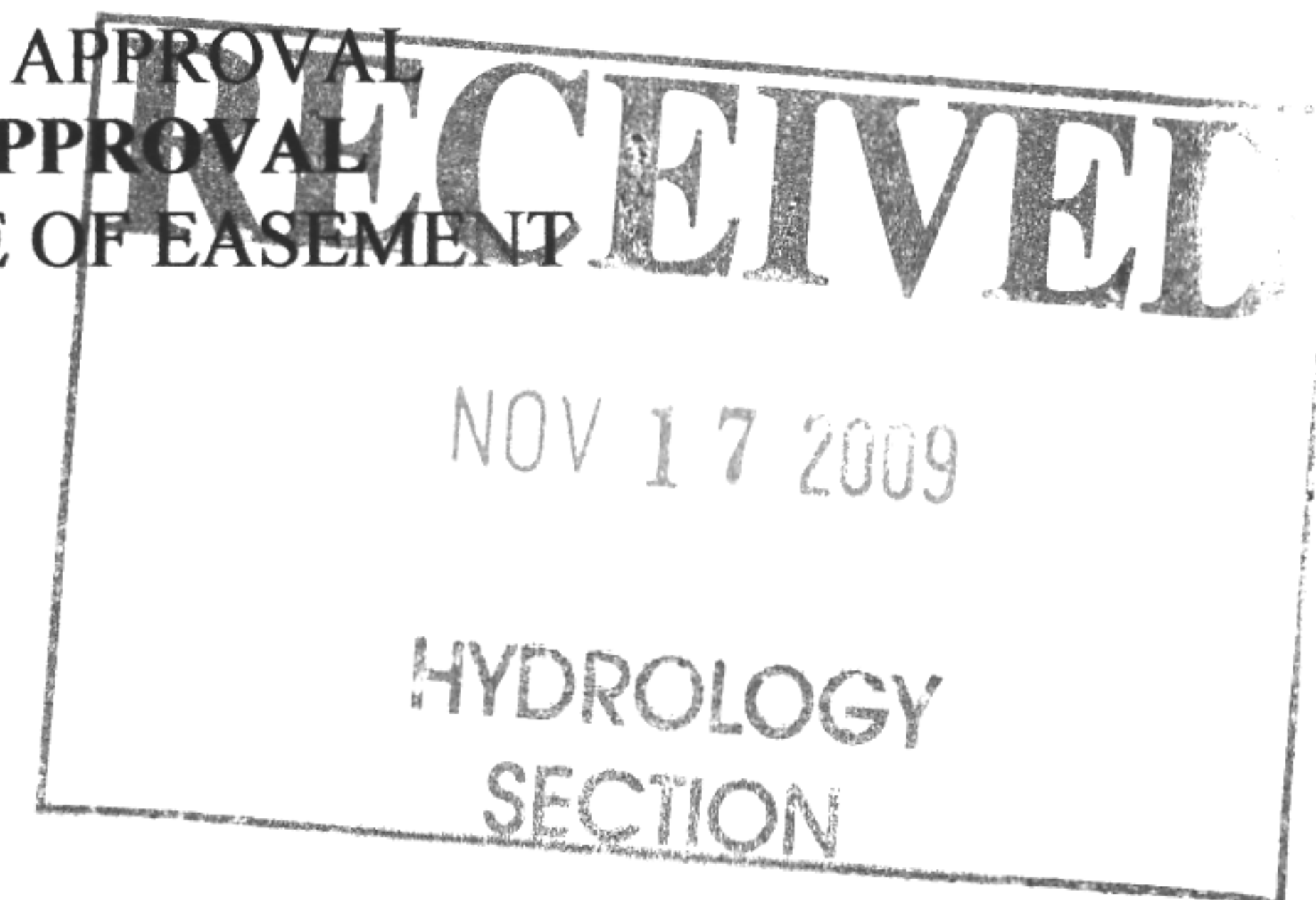
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 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
**X** \_\_\_\_\_ **BUILDING PERMIT APPROVAL**  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
**X** \_\_\_\_\_ **OTHER SO#19 APPROVAL**  
 \_\_\_\_\_ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 \_\_\_\_\_ YES  
**X** \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: November 17, 2009 BY: J. Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

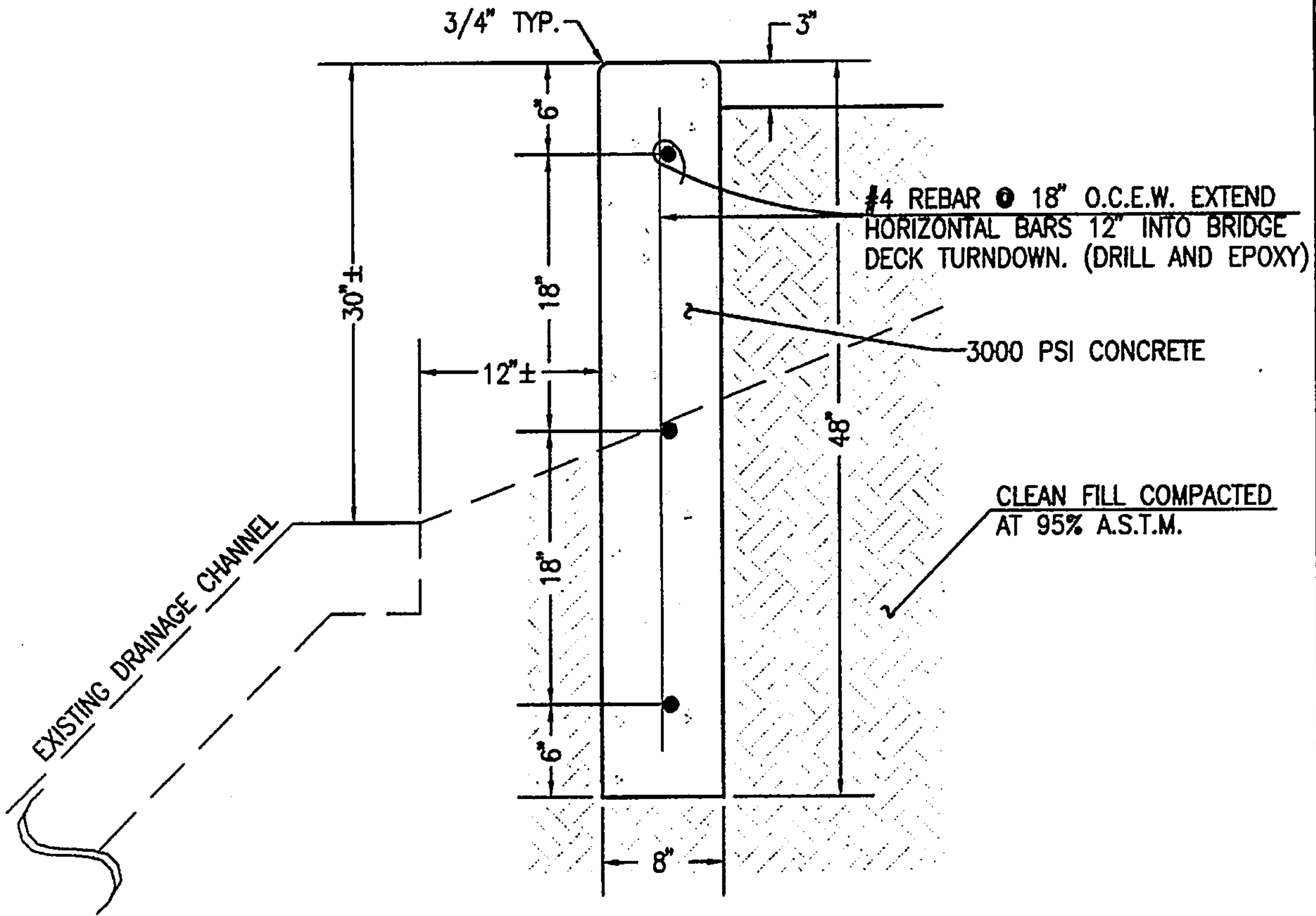
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.











A5

# TYPICAL HEADER WALL SECTION X-X

SCALE: 1" = 1' - 0"

HMC PROJECT NO. 2009.006.1  
90061CU-101R2\_CG-301-C019.DWG

**Dekker/Perich/Sabatini**  
architecture • interiors • landscape • planning • engineering  
7631 Jefferson NE, Suite 100  
Albuquerque, NM 87109  
505 761-8790  
fax 505 761-4222

**HIGH MESA Consulting Group**  
4010 S MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE 505 345 4250 • FAX 505 345 4254 • www.highmesacg.com



New Tech High School  
Albuquerque Public Schools  
5325 MONTGOMERY NE  
ALBUQUERQUE, NM

PROJECT NO. 08-0041  
DATE: 10-28-2009  
SCALE: 1"=1'  
DRAWN BY: D.M.H.  
ISSUED FOR: ASI-003

TYPICAL HEADER  
WALL SECTION X-X

CG-301-C019

**RECEIVED**  
NOV 17 2009  
HYDROLOGY  
SECTION



00  
00  
00  
00**Graeme Means**

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**From:** Bingham, Brad L. [BBingham@cabq.gov]  
**Sent:** Thursday, October 29, 2009 8:17 AM  
**To:** Graeme Means  
**Subject:** RE: Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

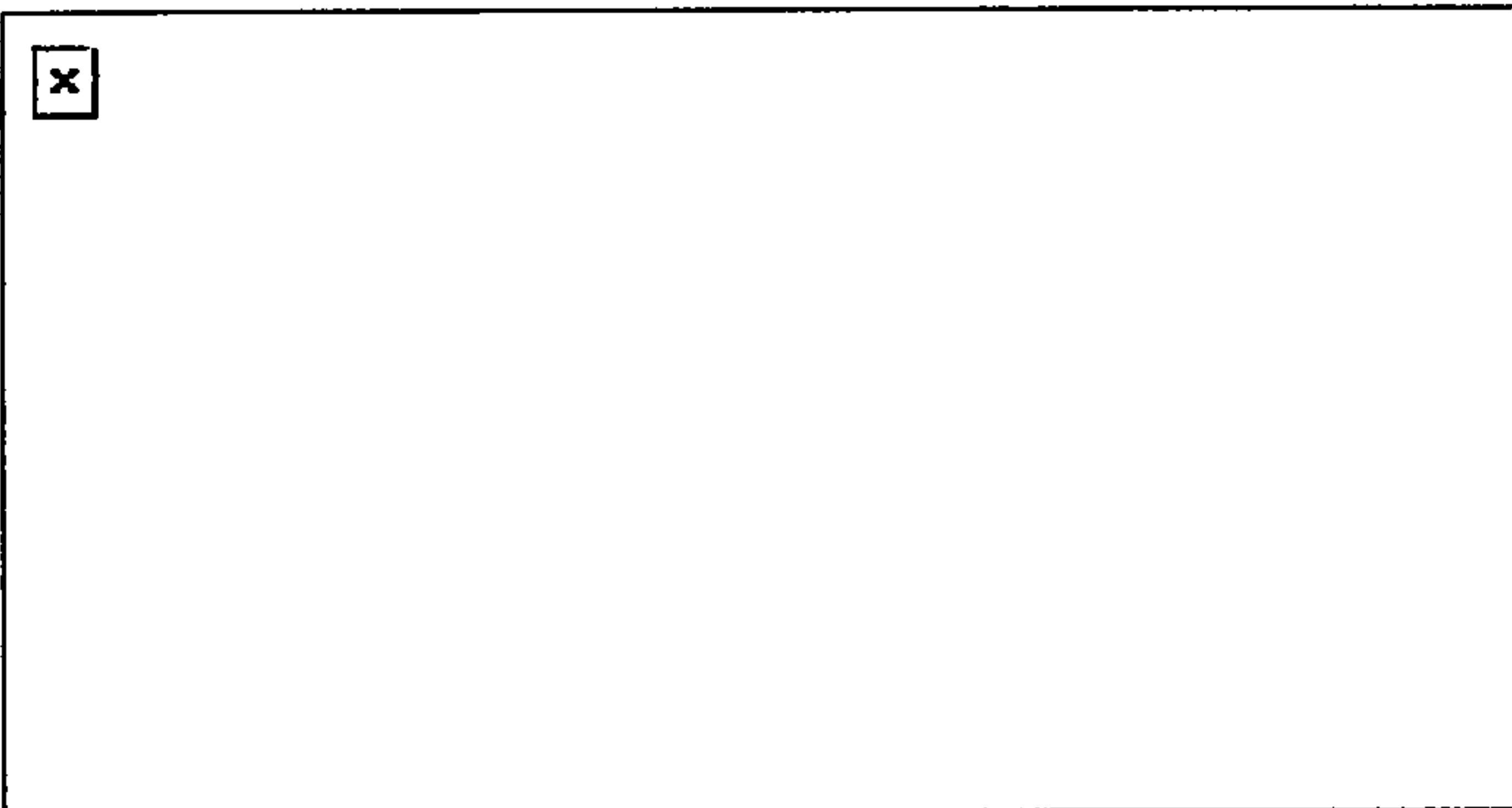
please consider this an approval of the additional work needed to improve the area around the bridge.

---

**From:** Graeme Means [mailto:GMeans@highmesacg.com]  
**Sent:** Wednesday, October 28, 2009 5:49 PM  
**To:** Bingham, Brad L.  
**Subject:** RE: Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

Brad,

Here is what I want to do. Please consider it a supplement to the existing grading plan and let me know what you think. Do you need me to provide an info sheet?



-----Original Message-----

**From:** Bingham, Brad L. [mailto:BBingham@cabq.gov]  
**Sent:** Tuesday, October 13, 2009 2:08 PM  
**To:** Graeme Means  
**Subject:** RE: Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

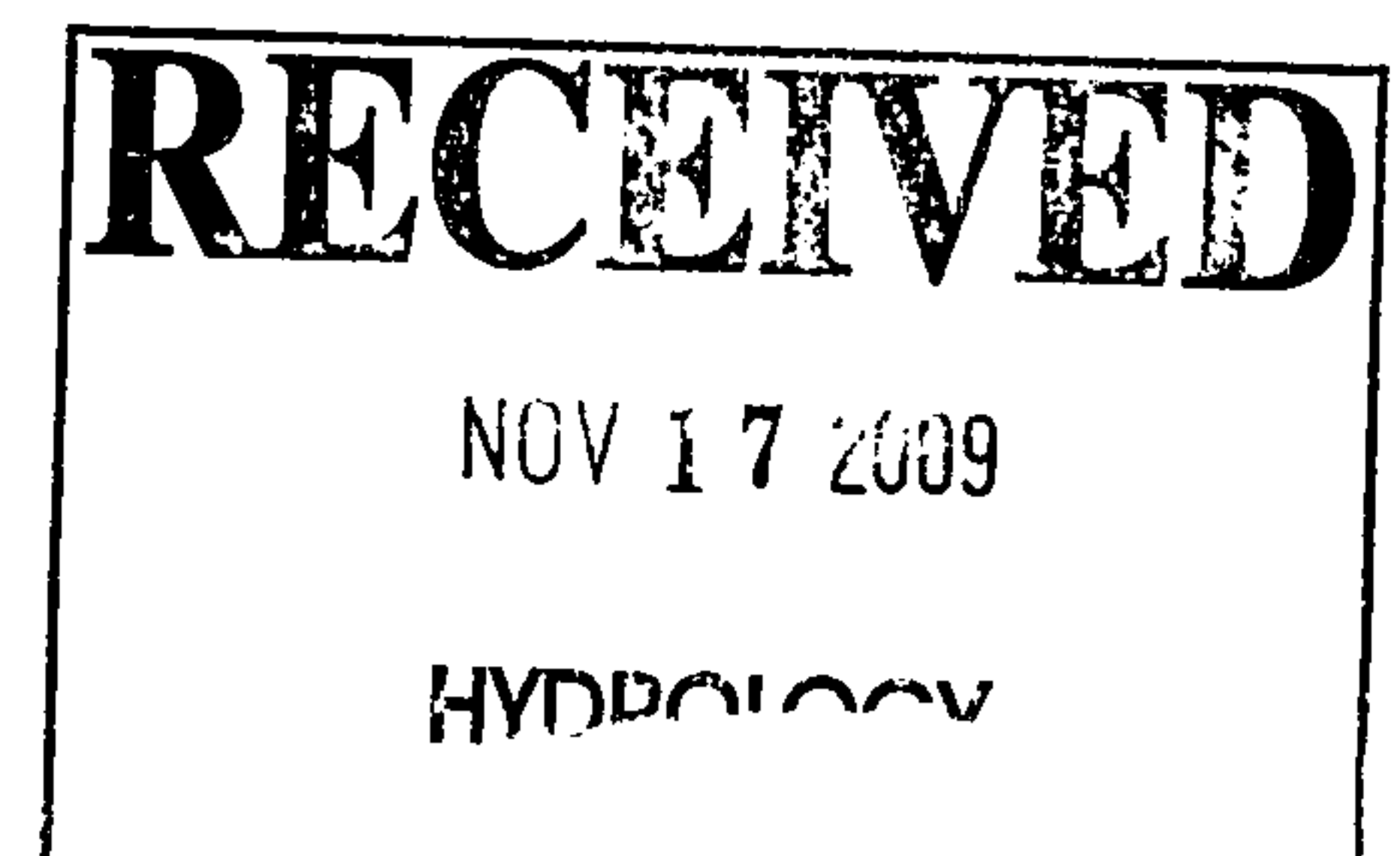
yes since we need to see all the details.

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**From:** Graeme Means [mailto:GMeans@highmesacg.com]  
**Sent:** Tuesday, October 13, 2009 1:56 PM  
**To:** Bingham, Brad L.  
**Subject:** RE: Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

Would I submit something as a revision to the already approved plan?

11/17/2009





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004

-----Original Message-----

**From:** Bingham, Brad L. [mailto:BBingham@cabq.gov]

**Sent:** Monday, October 12, 2009 8:31 AM

**To:** Graeme Means

**Subject:** RE: Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

include this work with the SO19 drawing

---

**From:** Graeme Means [mailto:GMeans@highmesacg.com]

**Sent:** Friday, October 09, 2009 9:42 AM

**To:** Bingham, Brad L.

**Subject:** Grant Line Channel - Pedestrian Bridge to Del Norte HS Student Parking and Bus Drop

Brad,

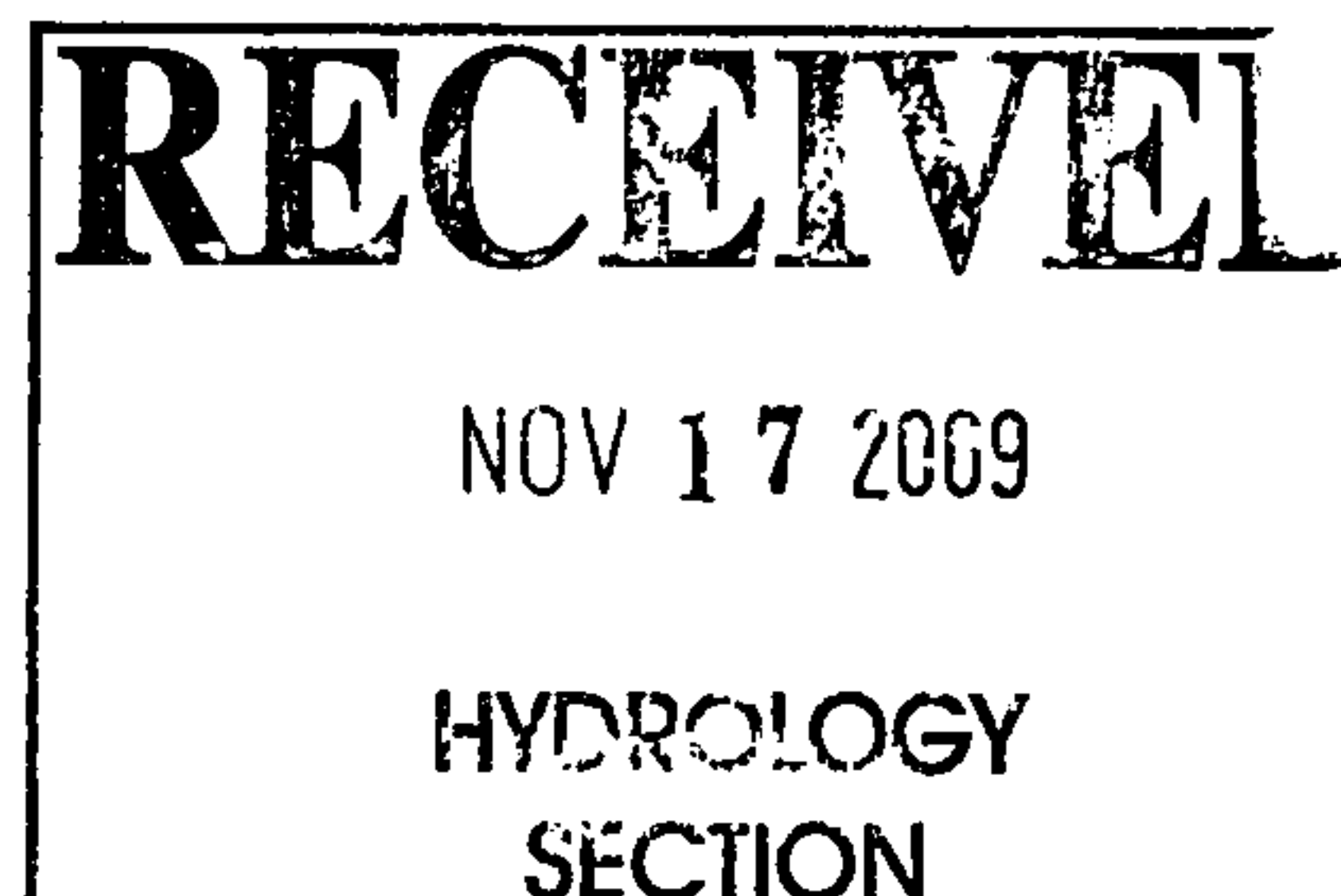
See attached photo (looking west) that shows the south side of the Grant Line channel where a pedestrian bridge crosses the channel. As you can see, the sidewalk is being undermined. We have a project underway that will intercept runoff from the soccer field to the south that drains to this area. As part of the project, APS also plans to construct a new sidewalk leading up to the bridge which would remove and replace the walk that's being undermined.

We obviously can't pour a new sidewalk on air and would like to construct some small wingwalls that would essentially extend what appears to be a simple turndown on the end of the bridge. I don't know if there's a footing or abutment beneath.

The channel at this point is in an easement on APS property. I assume the bridge is owned and maintained by APS.

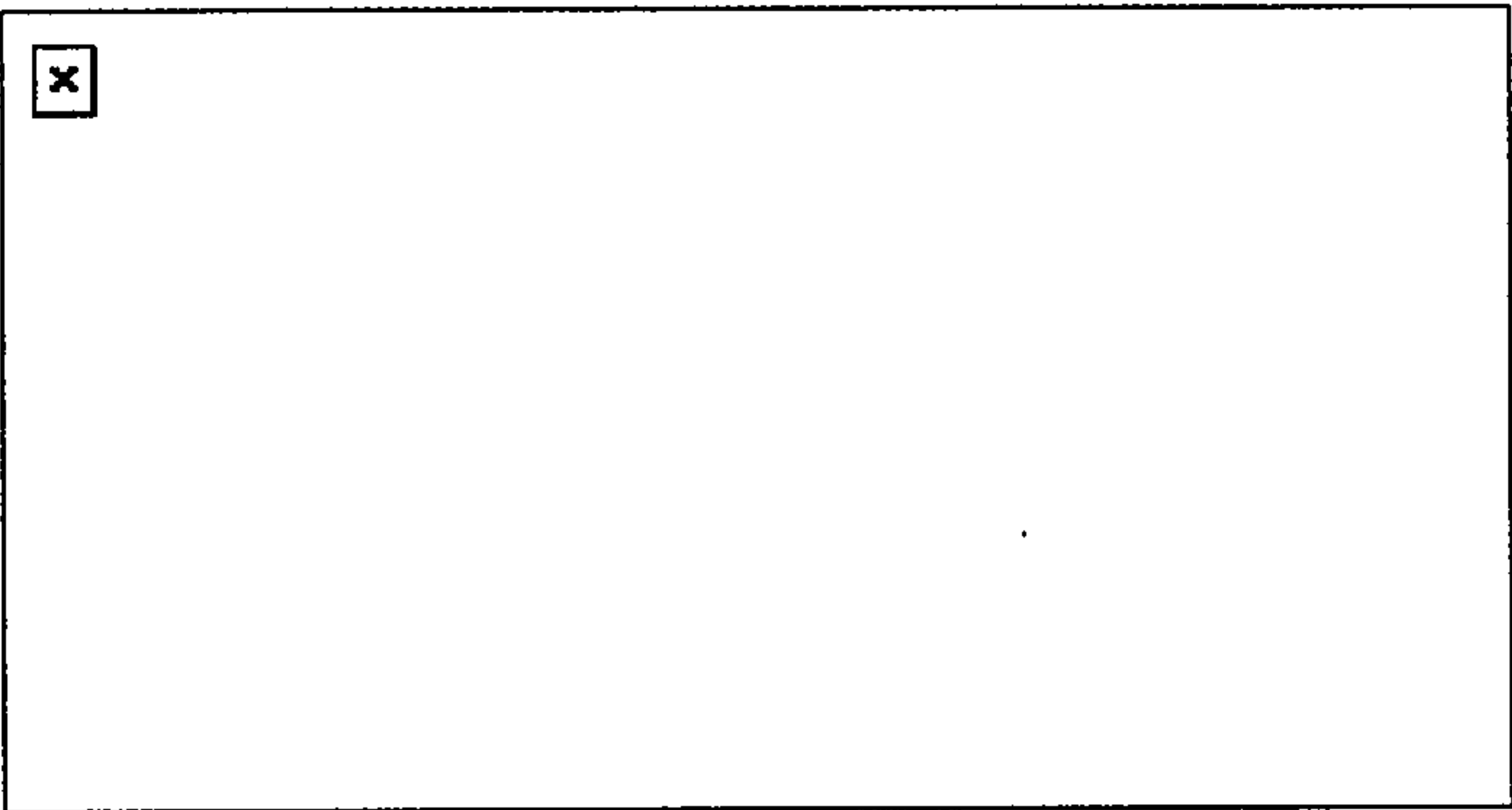
Please advise on requirements and process relative to doing work in the easement, specifically tying wingwalls into the bridge. We already have an SO19 requirement for a new channel penetration downstream.

11/17/2009





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# CITY OF ALBUQUERQUE



July 10, 2009

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: New Tech High School, 5325 Montgomery Blvd NE, Grading Plan  
Engineer's Stamp date 6-29-09 (F18/D054)**

Dear Mr. Means,

Based upon the information provided in your submittal received 6-29-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Albuquerque

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

NM 87103

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: NEW TECH HIGH SCHOOL ZONE MAP: F-18/D054  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: REMAINDER OF TRACT B-1A, MUNICIPAL ADDITION NO 1  
 CITY ADDRESS: 5325 MONTGOMERY NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676  
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools (School Site) CONTACT: Richard Miller  
 ADDRESS: 915 Oak Street SE PHONE: 848-8835  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker / Perich / Sabatini CONTACT: Sanjay Kadu  
 ADDRESS: 7601 Jefferson NE PHONE: 761-9700  
 CITY, STATE: ABQ, NM ZIP CODE: 87109

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184  
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Not yet Selected CONTACT: Owner  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_\_ DRAINAGE REPORT  
**X** DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
 \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_\_ CONCEPTUAL G & D PLAN  
**X** GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
 \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
 \_\_\_\_\_ CLOMR/LOMR  
 \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
 \_\_\_\_\_ ENGINEER'S CERT (TCL)  
 \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
 \_\_\_\_\_ OTHER

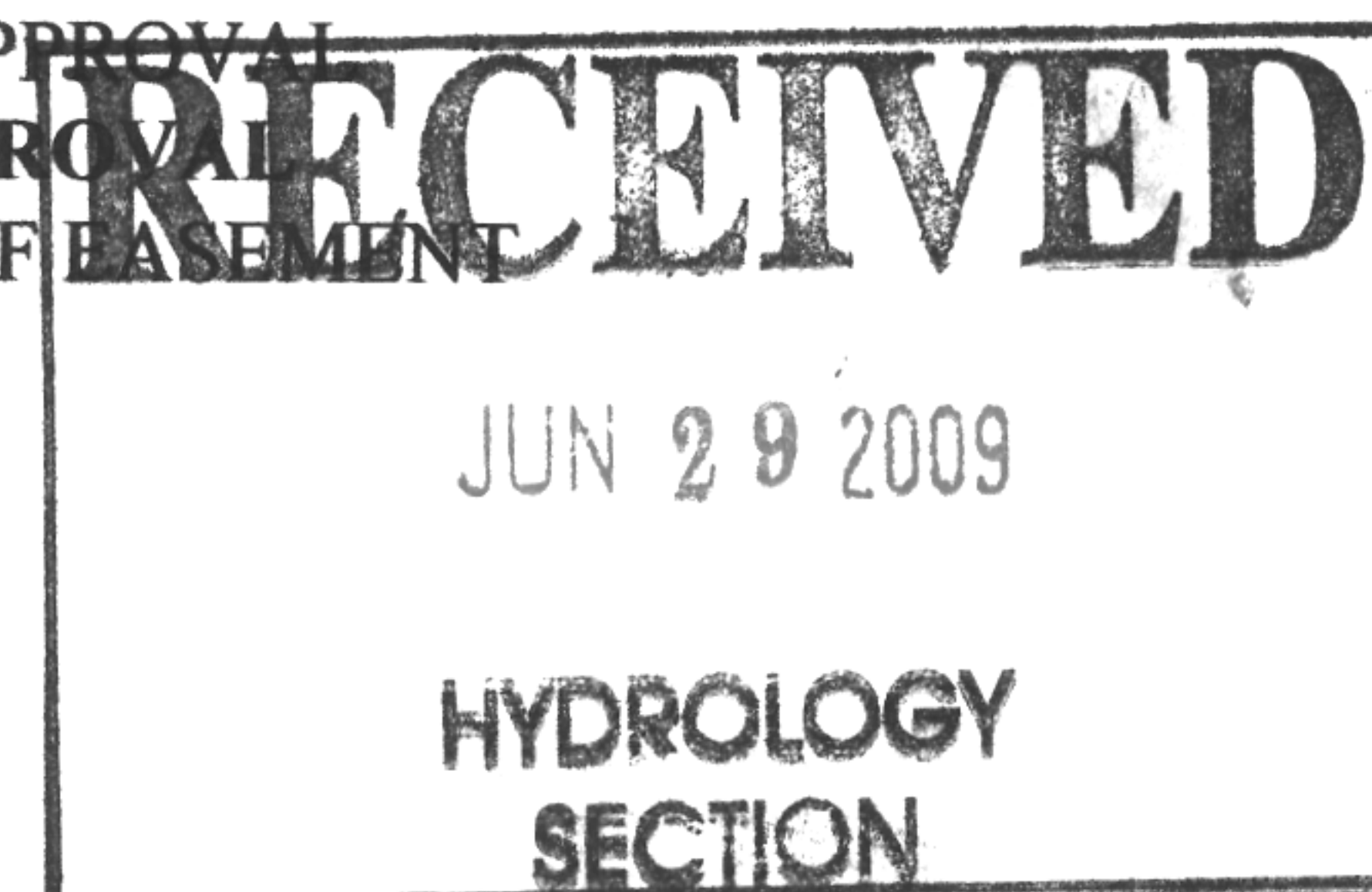
## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
 \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
**X** BUILDING PERMIT APPROVAL  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
**X** OTHER SO#19 APPROVAL  
 \_\_\_\_\_ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

\_\_\_\_\_ YES  
**X** NO  
 \_\_\_\_\_ COPY PROVIDED

*\$50.00*



DATE SUBMITTED: 06/29/2009 BY: J. Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Based on photos of the site, it seems like there was already a dipped asphalt swale, so no grading and drainage submittal is required. It also does not seem feasible to incorporate any first flush retention. It's also not attached to a larger plan to improve the school, so no ESC Plan is needed. However, please make sure that the contractor incorporates BMPs to prevent sediment transport onto Constitution.

## **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**

**Planning Department**

Development Review Services Division

City of Albuquerque

505-924-3986

[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102

---

**From:** Graeme Means [<mailto:GMeans@highmesacg.com>]

**Sent:** Wednesday, June 29, 2016 5:38 PM

**To:** Abiel X. Carrillo

**Subject:** RE: Mark Twain ES Paving Rehab

Abiel – upon further study, we would like to run a valley gutter down the middle. We have 0.9ft of fall over about 220 feet of length. The grades still would not change, we would just have the gutter to pave up to. Would this change the requirements?