

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 16, 2014

David Anderson, P.E.
Co Kirk Randall
Anderson Wahlen & Associates
2010 North Redwood Road
Salt Lake City, UT 84116

Re: Smith's #485 Fuel Center, 6941 Montgomery, Traffic Circulation Layout
Engineer's Stamp dated 9-05-14 (F18-D057)

Dear Mr. Randall:

The TCL submittal received 9-10-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

PO Box 1293

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Albuquerque

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

From: [Kirk Randall](#)
To: [Michel, Racquel M.](#)
Subject: RE: Smith's #485 Fuel Center F18D057 - 2nd Submittal
Date: Friday, September 05, 2014 2:52:25 PM
Attachments: [004 C1.1 Site Plan.pdf](#)
[005 C2.1 Grading Plan.pdf](#)
[DRAINAGE INFO SHEET TCL 9.10.14.pdf](#)
[TCL CoMMENT F18D057.pdf](#)
[485DRC PV 4 \(1\).pdf](#)
[485-westfall-easement-agmt.pdf](#)

Racquel,

Attached are the electronic copies of our TCL plan re-submittal, included is the info sheet, the 6.18.14 comment letter and revised plans including the DRC site plan showing offsite improvements. As we discussed, we have addressed the items in the comment letter and are still working on the platting issue and hopefully this plan will meet city requirements.

I will be in town next Wednesday the 10th for DRC and will submit the hard copies then along with the read receipt from this email, let me know if you have any questions or need additional information.
Thanks, for your help,

Kirk Randall PLS
Senior Project Manager
2010 N. Redwood Road
Salt Lake City, UT 84116
D: 801.410.8520
C: 801.403.6847
kirk@awagreatbasin.com
www.awaengineering.net

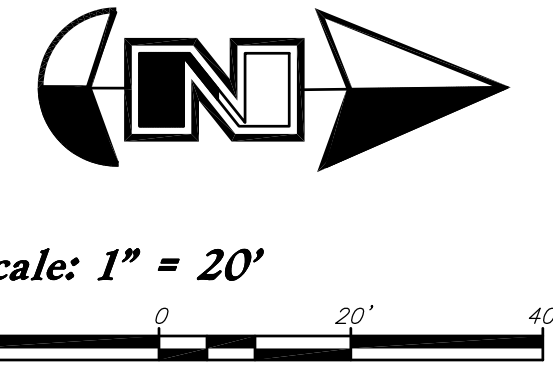
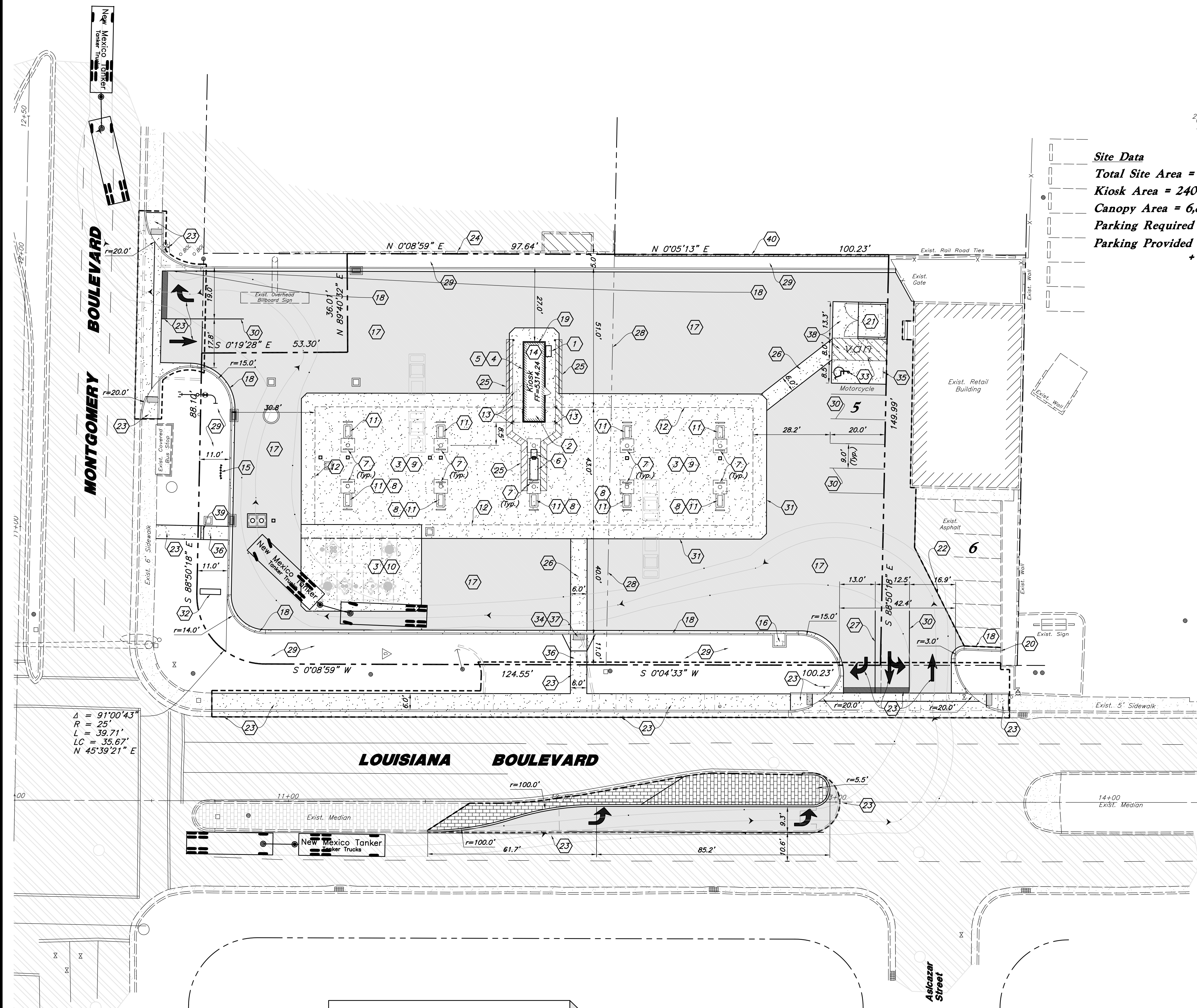
Please note a new direct number, email and our new website

-----Original Message-----

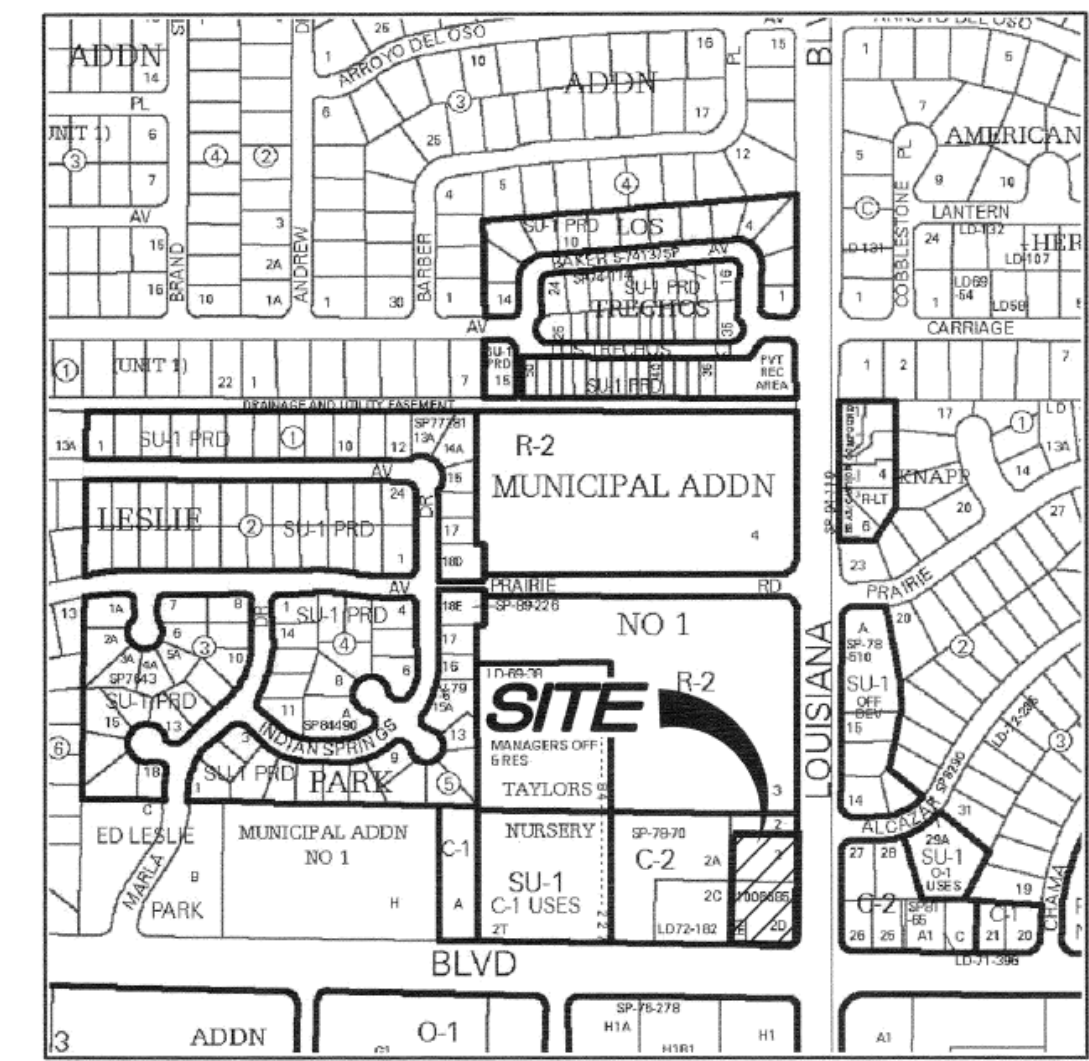
From: Niese, Amy [<mailto:AmyNiese@cabq.gov>]
Sent: Tuesday, August 05, 2014 11:28 AM
To: Kirk Randall
Subject: Smith's #485 Fuel Center F18D057

Please see the enclosed letter.

Amy L. D. Niese, PE
Senior Engineer, Hydrology
Planning Department
Development & Building Services Division
(505) 924-3994



Site Data
Total Site Area = 35,475 s.f. (0.814 ac.)
Kiosk Area = 240 s.f.
Canopy Area = 6,880 s.f.
Parking Required = 1 stalls
Parking Provided = 4 stalls + 1 Accessible Stall
+ 1 Motorcycle Stall = 6 Total



Vicinity Map
Zone Atlas Page F-18
6941 Montgomery Blvd.
Albuquerque, NM
Not to Scale

- Site Construction Notes**
- General Contractor to Supply, Assemble and Install 4'x2' Outside Wood Storage Shed.
 - Install roof penetration in kiosk and weather proof for speaker/camera wire installation.
 - All concrete slabs shall be cleaned and sealed by Owner. Contractor shall coordinate with the Owner provided Contractor (White Mountain, Mike Letts 801-547-9278 or Romac Services 801-759-7315).
 - Provide caulking and painting as necessary to touch up exterior panels of the kiosk.
 - Provide a water tight seal between the kiosk foundation and canopy slab.
 - 3' x 8' Merchandiser
 - Paint all ballards and island forms with Contractor supplied Sherwin Williams Industrial Enamel B54Z Series Paint.
 - Install a diesel tee, plug, and fittings in the MPD sumps of the islands with diesel.
 - Construct 6" Thick Concrete Canopy Drive Slab (See Arch. Plans)
 - Construct 8" Thick Concrete Tank Pad w/ Rebar Reinforcing. (See Arch. Plans for Section)
 - Contractor Shall Construct Dispenser Islands w/ Bollard Protection and Install Fuel Dispenser (See Arch. Plans) (Typ)
 - Overhead Canopy System Supplied and Installed by others. General Contractor to install Footings, Conduits, & Conductors per Drawings by Madison Industries
 - Retail Merchandisers
 - General Contractor to Const. Floor and Foundation then Place Prefabricated Kiosk (See Arch. Plans)
 - Const. Remote Tank Vent Riser Modified for Separator Vent. (See Arch. Plans)
 - Const. 4'x4'x6" Concrete Pad for Air
 - Const. Asphalt Paving
 - Const. 18" Concrete Curb and Gutter
 - General Contractor to Install Mechanical Equipment Screen (Provided by Others)
 - Connect & Match Existing Grade
 - Dumpster Enclosure
 - Provide Smooth Clean Edge, Sawcut Asphalt if Needed
 - Street Improvements; See Work Order #791982 Plans
 - Exist. Retaining Wall
 - Pedestrian Warning Zone Striping (See Arch. Plans)
 - Const. 6' Wide Conc. Paved ADA Crosswalk
 - Const. 4" Paint Stripe (Color: White)
 - Exist. Lot Lines to be Vacated by Platting Action DRB Project #1010174, 14DRB-70263
 - Landscape (See Landscape Plan)
 - Const. 4" Paint Stripe (Color: Yellow)
 - Const. 5' Waterway
 - Pylon Sign by Separate Permit
 - Const. ADA Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Editions)
 - Const. ADA Accessible Ramp per MUTCD & ICC/ANSI A117.1 (Latest Edition)
 - Const. ADA Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Editions)
 - Const. Conc. Sidewalk
 - Const. Truncated Domes per ICC/ANSI A117.1-2003 (Latest Addition)
 - Const. 7" Thick Conc. Paving
 - Const. (2) 6" Steps
 - Const. "Keystone" Retaining Wall. Contractor to Provide Design Submittal Stamped by New Mexico Licensed Professional Engineer for Approval to Engineer of Record Prior to Construction.

Legal Description
Tracts 2-D and 2-E Municipal Addition No. 1 And A Portion of Tract 2 Of The Replat of Tract "g" Of The Replat of Municipal Addition No. 1 Situate Within Section 36 Township 11 North, Range 3 East New Mexico Principal Meridian City Of Albuquerque, New Mexico

- Legend**
- Proposed Building
 - Proposed Curb & Gutter
 - Proposed Asphalt
 - Proposed Concrete
 - Existing Improvements
 - Existing Asphalt
 - Existing Concrete
 - Existing Building
 - Existing Power Pole
 - Existing Power Pole w/ Guy

- General Site Notes:**
- Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
 - Fire lane markings and signs to be installed as directed by the Fire Marshal.
 - Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 - All dimensions are to back of curb unless otherwise noted.
 - Const. curb transition at all points where curb abuts sidewalk, see detail.
 - Landscape and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

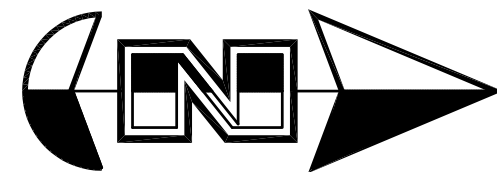
ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

Smith's
FOOD & DRUG STORES
#485
Albuquerque, NM

Anderson Wahlen & Associates
Great Basin Engineering South
2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.8529 - AWAengineering.net

Traffic Circulation / Site Plan
Smith's #485 Fuel Center
6941 Montgomery Blvd.
Albuquerque, NM

22 Aug, 2014
SHEET NO.
C1.1



Scale : 1" = 20'



Site Construction Notes

1. Const. Standard Curb & Gutter per Albuquerque City Std. #2415A
2. Const. Driveway Entrance per Albuquerque City Std. #2426
3. Const. Concrete Sidewalk per Albuquerque City Std. #2430
4. Const. Curb Ramp per Albuquerque City Std. #2426
5. Connect & Match to Exist. Improvements
6. Remove Exist. Gutter and Maintain Smooth Clean Edge, per Albuquerque City Std. #2465 (If Needed)
7. Const. Turn Arrow & Asphalt Markings per MUTCD
8. Const. 6" Wide Valley Gutter Per Albuquerque City Std. #2420
9. Const. Stop Sign (R1-1) per MUTCD
10. Const. Truncated Domes $\frac{4}{5}$
11. Const. 4" Paint Stripe (Color: White)
12. Const. 24" Stop Bar (Color: White)
13. Connect & Match Existing Grade
14. Const. Asphalt Paving and Base as Needed to Match Exist. Thickness & Asphalt per Albuquerque City Std. #2465
15. Remove Exist. Drive Approach and Const. New Driveway per Albuquerque City Std. #2426
16. Const. Conc. Sidewalk
17. Exist. Median to be Modified
18. Const. Color Conc. Stamp Paving Match Existing
19. Const. Drain Line Through Curb per Albuquerque City Std. #2235
20. Const. Conc. Paving per Albuquerque City Std. $\frac{3}{5}$
21. Contractor shall abandon existing culinary water service lateral in-place, excavate & expose existing corporation stop at the main, shut-off corporation stop and install a brass cap. Contractor shall excavate 10 linear feet away from existing corporation stop and furnish and connect new $\frac{3}{4}$ " culinary service lateral for irrigation/outdoor watering.
22. Paint Median Nose Yellow & Const. Reflector Post

DRC Transportation Standard Notes

1. All street striping altered or destroyed shall be replaced with plastic reflectorized pavement marking by contractor to the same location as existing or as indicated by this plan set.
2. All work affecting arterial roadways requires twenty four hour construction.
3. Removal of existing curb & gutter and sidewalks shall be to the nearest joint.
4. Any damage to the existing Curb & Gutter, Pavement, Sidewalks, Striping, and Signage during construction shall be replaced.
5. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes. The contractor shall not store any equipment or material within the public right-of-way.
6. Curb & Gutter, Sidewalks, and Drive pads shall match the elevations of abutting existing areas as shown on the plans or as directed by the project engineer.
7. The subgrade prep shall extend one foot beyond the free edge of new curb & gutter and sidewalk.
8. Contractor to test subgrade R-value prior to construction. In the event the R-value is less than 50, remove 2 feet of subgrade material and import material with R value greater than 50 or contact the engineer immediately so the pavement section can be modified.

Storm Drain Note:

All Storm Drainage Pipe Lengths and Slopes are from Center of Box to Center of Box.

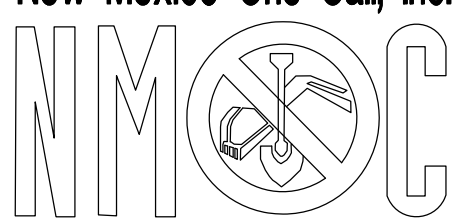
ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement, notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.

TRUNCATED DOMES:
—Design Per ADA Guidelines
—Submit Spec's to Construction Engineering for Evaluation Prior to Construction.
See Detail 4, Sheet 5 of 6

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

New Mexico One Call, Inc.



1-800-321-ALERT

CAUTION :

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Smith's
FOOD & DRUG STORES

1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400

#485

Albuquerque, New Mexico

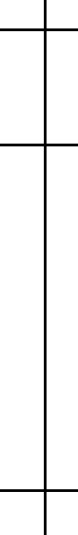
AWA ANDERSON WAHLEN & ASSOCIATES
Great Basin Engineering South
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-8529 - ahangengineering.net

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

Paving & Utility Plan

SMITH'S FUEL CENTER #485
6941 Montgomery Blvd. NE

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.		MO./DAY/YR.	
LAST DESIGN UPDATE							
CITY PROJECT NO.		ZONE MAP NO.		SHEET NO.			
x		F-18		4 of 6			
				485DRC_PV			

ENGINEER'S SEAL				SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
<div><div><div>FOR REVIEW ONLY</div><div></div></div></div>				FIELD NOTES		Albuquerque Control Survey Monument "15-G18", Central Zone NAVD 88 Elevation		CONTRACTOR WORK STARTED BY: — DATE: —	
				BY: DATE:		Benchmark. Only		INSPECTOR'S FIELD VERIFICATION BY: — DATE: —	
						2.1 Miles East of I-25 & Montgomery Elevation = 5282.683 feet (NAVD 88).		FIELD CORRECTED BY: — DATE: —	
						3-1/4" Aluminum Disc Set in a Concrete Post Flush with the Ground, Stamped "15-G18 1995"		MICRO—FILM INFORMATION	
								RECORDED BY: — DATE: —	
								NO. —	
REMARKS		X							
NO. DATE		X							
DESIGNED BY: KR									
DRAWN BY: DC									
CHECKED BY:									
		21 Aug. 2014							