

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 20, 2008

William A. McConnell, Registered Architect  
3011 Jane Place NE  
Albuquerque, NM 87111

Re: Certification Submittal for Final Building Certificate of Occupancy for  
San Pedro Plaza, [F-18 / D058]  
6125 Montgomery Blvd NE  
Architect's Stamp Dated 02/20/08

Dear Mr. McConnell:

The TCL / Letter of Certification submitted on February 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

F-18/DO58

PROJECT TITLE: SAN PEDRO PLAZA FACILITY-SHEL ONLY  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE # F-18-2  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: PORTION OF TRACT "A", GRANADA TERRACE ADDITION  
CITY ADDRESS: 6125 MONTGOMERY BOULEVARD NE

ENGINEERING FIRM: ISAACSON & AFFMAN P.A.  
ADDRESS: 128 MONROE STREET NE  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GENEVEVE L. DONART  
PHONE: 208-8828  
ZIP CODE: 87108

OWNER: MUHAMMAD SAHOOOT/SAN PEDRO PLAZA LLC  
ADDRESS: 3716 FARRAR STREET  
CITY, STATE: HOUSTON, TEXAS

CONTACT: MUHAMMAD SAHOOOT  
PHONE: (713) 392-3464  
ZIP CODE: 77005

ARCHITECT: WILLIAM A. MCENNEL ARCHITECT  
ADDRESS: 3011 JANE PLACE NE (205)  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: WILLIAM A. MCENNEL  
PHONE: 293-8777  
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ADDRESS: 2412-D MONROE STREET  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: ANTHONY L. HARRIS  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: RICHARDSON & RICHARDSON  
ADDRESS: 4100 MENAUL BOULEVARD NE  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: HAR RICHARDSON  
PHONE: 881-2268  
ZIP CODE: 87176

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
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☒ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY)

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☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
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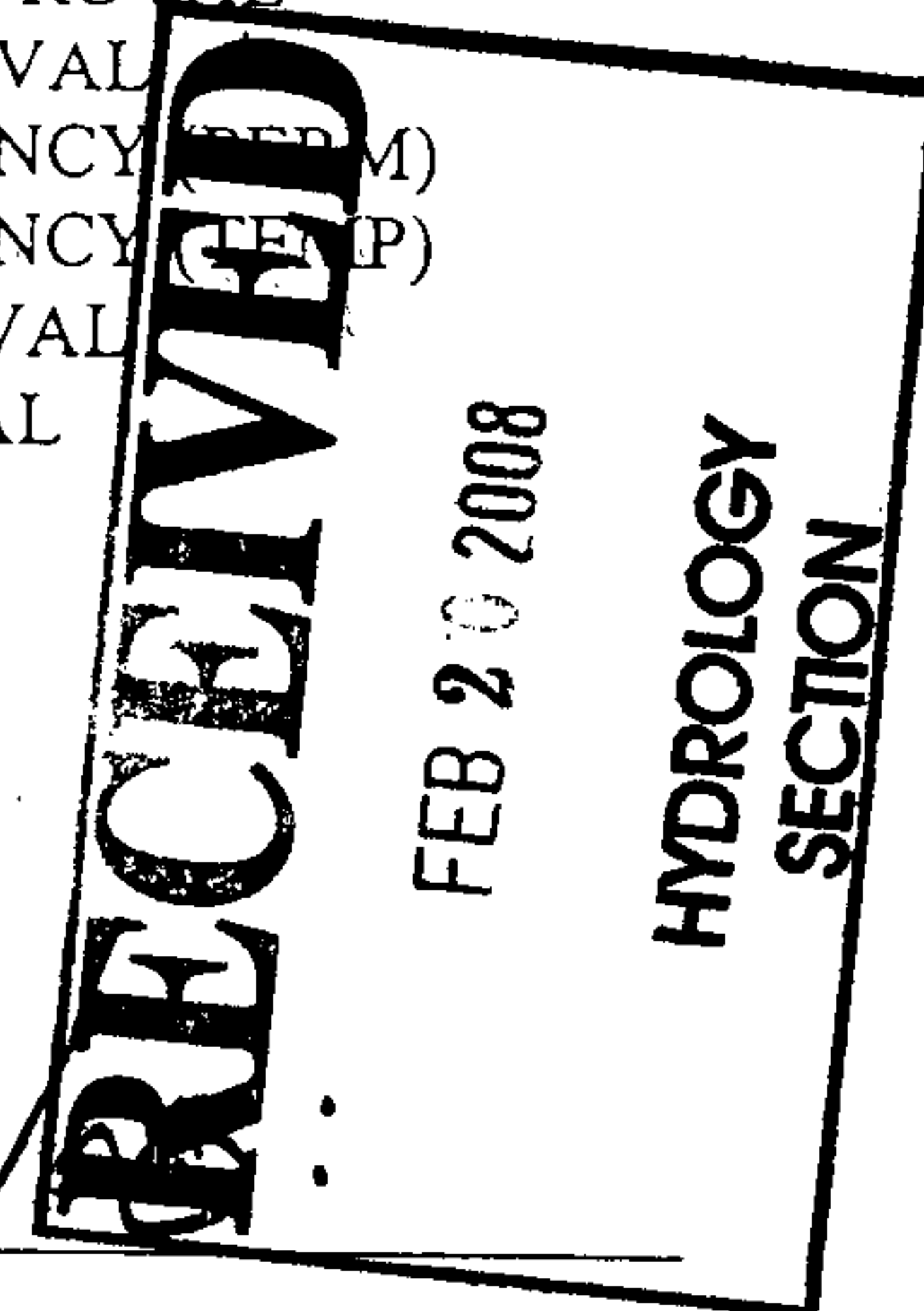
- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature]

DATE: 2/20/

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**WILLIAM A. MC CONNELL • ARCHITECT**

**PROJECT:** SAN PEDRO PLAZA FACILITY: (SHELL BUILDING)  
LOCATED AT: 6125 MONTGOMERY BOULEVARD NE  
ALBUQUERQUE, NEW MEXICO

**RE:** TRAFFIC CERTIFICATION

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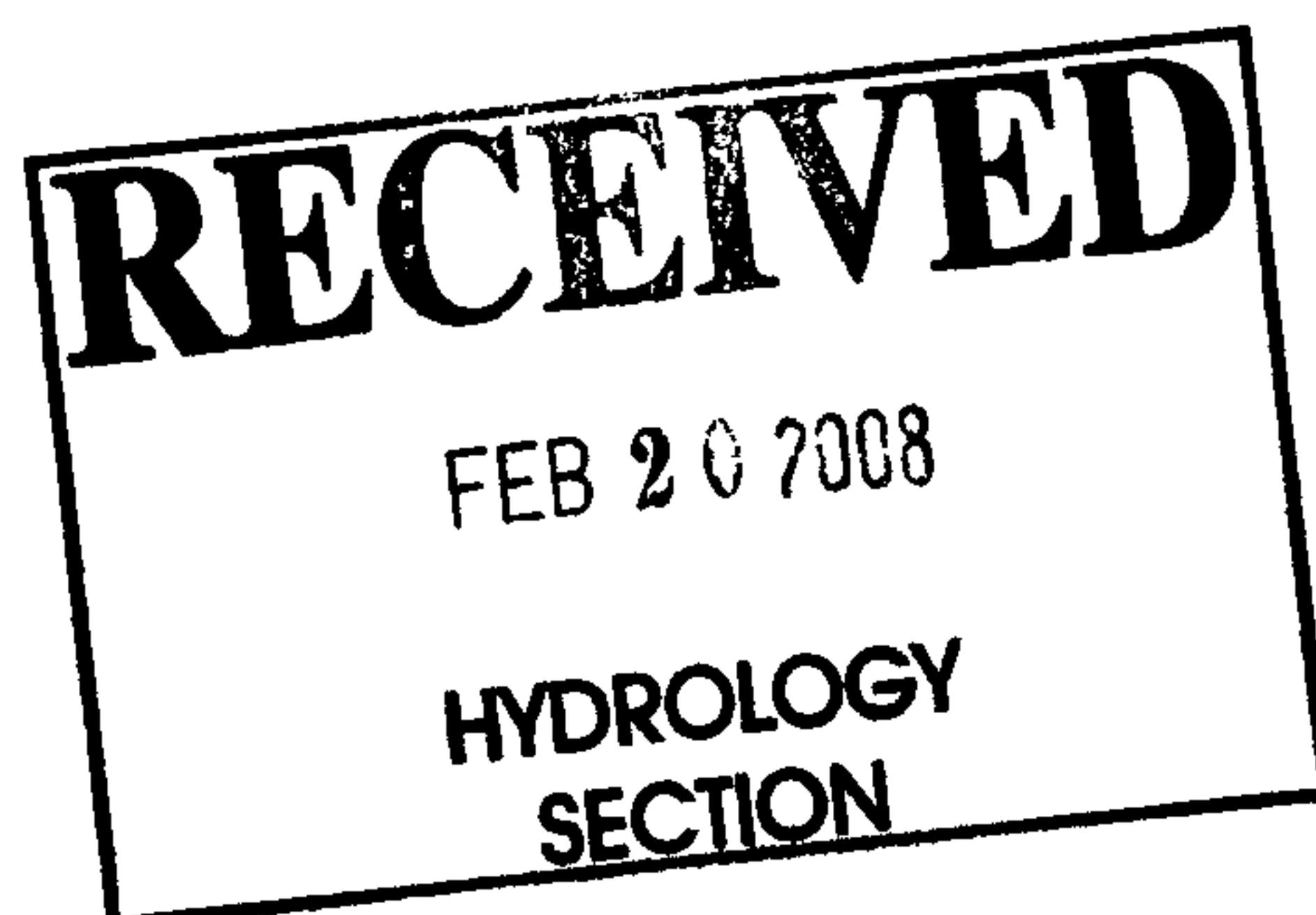
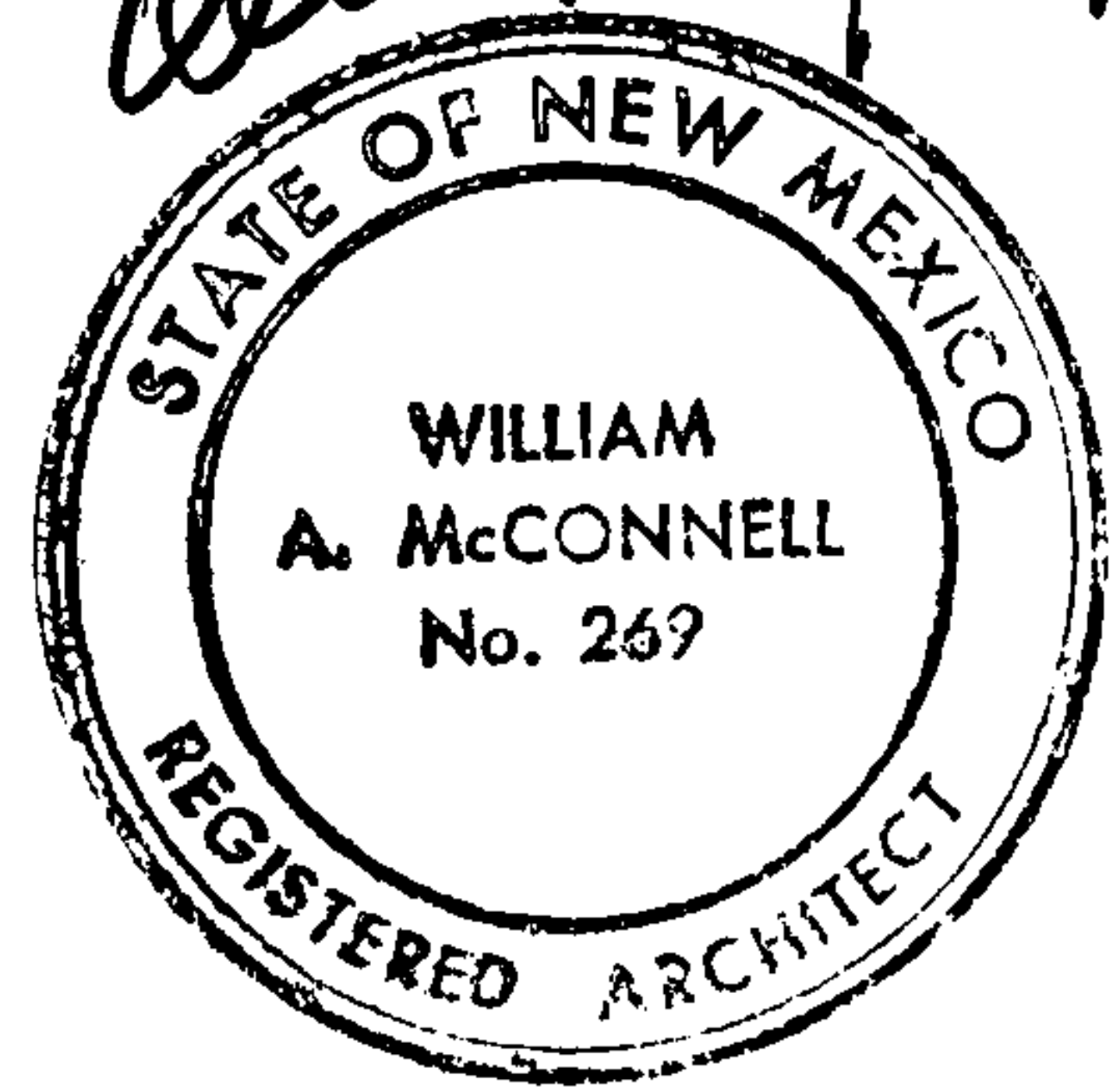
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COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE  
DRB, AA OR TCL APPROVED PLAN DATED 2/27/07. THE RECORD  
INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN  
OBTAINED BY WILLIAM A. McCONNELL OF THE FIRM WILLIAM A. McCONNELL,  
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PROJECT ON 2/20/08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT  
THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS  
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR  
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THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE  
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ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE  
ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE  
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**WILLIAM A. McCONNELL, ARCHITECT**

2/20/08  
DATE:

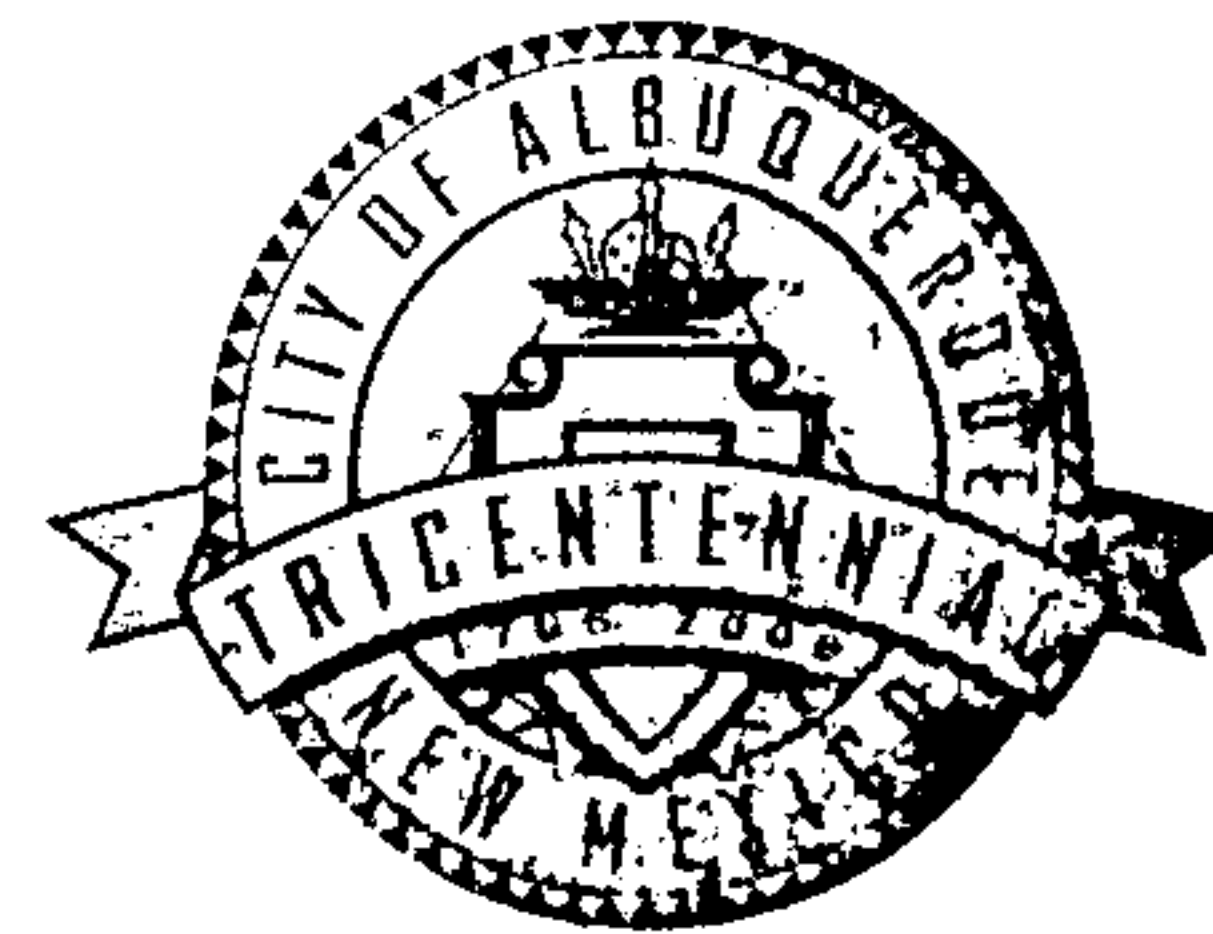




# NOTES: (SITE PLAN - SHEET 1)

- 1 NEW CONCRETE DRIVE: .REMOVE AND MODIFY EXISTING CONCRETE DRIVEPAD AS PER CITY OF ALBUQUERQUE REQUIREMENTS:  
(C.O.A. STD. DWGS. 24.26 & 24.20)
- 2 PROVIDE HANDICAPPED RAMP ON SIDEWALK AT NEW CONCRETE DRIVE AS PER CITY OF ALBUQUERQUE REQUIREMENTS: (~~C.O.A. STD. DWGS. 24.26 & 24.20~~) (SLOPE 1/12)
- 3 REMOVE EXISTING CONCRETE DRIVEPAD AND PROVIDE CONCRETE TO MATCH EXISTING CONCRETE SIDEWALK AS PER CITY OF ALBUQUERQUE REQUIREMENTS:  
(C.O.A. STD. DWGS: ~~24.26 & 24.20~~ 24.30)
- 4 TRASH RECEPTACLE ENCLOSURE: (SEE DETAIL 1/2)
- 5 CONCRETE CURB: TYPICAL: (SEE DETAILS 2/2)
- 6 CONCRETE WALK: TYPICAL: (SEE DETAIL 3/2)
- 7 EXISTING CONCRETE CURB:
- 8 LANDSCAPE AREA: (SEE LANDSCAPE PLAN, SHEET 3)
- 9 BICYCLE RACK:
- 10 MOTORCYCLE PARKING SPACES: (8'-0" x 4'-0" EACH)
- 11 MOTORCYCLE PARKING SIGN AS PER CITY OF ALBUQUERQUE REQUIREMENTS:
- 12 HANDICAPPED PARKING SIGN AS PER CITY OF ALBUQUERQUE REQUIREMENTS:
- 13 PRECAST CONCRETE BUMPERS:
- 14 BITUMINOUS PAVING: (SEE SPECIFICATIONS AND GRADING / DRAINAGE PLAN)
- 15 EXISTING MEDIAN:
- 16 EXISTING FIRE HYDRANT:
- 17 EXISTING LIGHT POLE:
- 18 EXISTING TELEPHONE BOX: (RELOCATE: CONFIRM REQUIREMENTS WITH UTILITY COMPANY)
- 19 EXISTING WATER METER: (SEE PLUMBING)
- 20 EXISTING DRAINAGE INLET:
- 21 FREE FLOW TRAFFIC EASEMENT: (SEE AREA SITE PLAN, SHEET 2)
- 22 PUBLIC UTILITY EASEMENT: 5'-0":
- 23 EXISTING CONCRETE SIDEWALK:
- 24 EXISTING CURB AND GUTTER:
- 25 PARKING LIGHT FIXTURE: (SEE DETAIL 4/2 AND ELECTRICAL)
- 26 WATER METER: (SEE PLUMBING)
- 27 CLEANOUT: (SEE PLUMBING)
- 28 LOCATION OF FUTURE NATURAL GAS METERS: (SEE PUMBING)
- 29 NATURAL GAS LINE FROM EXISTING YARD LINE: (SEE PLUMBING)
- 30 SCREEN WALL: (SEE DETAIL 1/12)
- 31 GREASE LINE FROM BUILDING: (SEE PLUMBING)
- 32 PRECAST INTERCEPTOR: (SEE PLUMBING)
- 33 4" SEWER LINE: STUB-OUT AND CAP FOR FUTURE CONNECTION:
- 34 ELECTRICAL TRANSFORMER: (SEE ELECTRICAL)
- 35 ELECTRICAL SERVICE, METERS, ETC.: (SEE ELECTRICAL)
- 36 CONCRETE WALK: 4" CONCRETE WITH 6x6, W1.4 x W1.4 WWM  
ON COMPACTED EARTH / FILL:  
(6'-0" WIDE UNLESS NOTED OTHERWISE)
- 37 CONCRETE DRAINAGE TROUGH: (SEE GRADING / DRAINAGE PLAN)
- 38 SIDEWALK CULVERT: (SEE "GRADING / DRAINAGE PLAN)
- 39 • FIXED ALUMINUM LADDER: • O'KEEFE'S INC. MODEL 520-CH:  
WITH WALK-THROUGH ROOF OVER RAIL EXTENSIONS:  
(3'-6" MINIMUM ABOVE LANDING)  
• O'KEEFE'S MODEL DCL SAFETY CAGE REQUIRED ON  
LADDERS ABOVE 20'-0":
- 40 NEW FIRE HYDRANT THIS PROJECT: (AS PER ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS)
- 41 DRAIN:
- 42 GREASE LINE FROM TRASH RECEPTACLE ENCLOSURE: (SIZE AS NOTED)
- 43 EXISTING LIGHT POLE: (CONFIRM WITH COA REQUIREMENTS)

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 24, 2008

William A. McConnell, Registered Architect,  
William A. McConnell Architect  
3011 Jane Place NE  
Albuquerque, NM 87111

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
San Pedro Plaza Facility, [F-18 / D58]  
6125 Montgomery NE  
Architect's Stamp Dated 11/20/07

Dear Mr. McConnell:

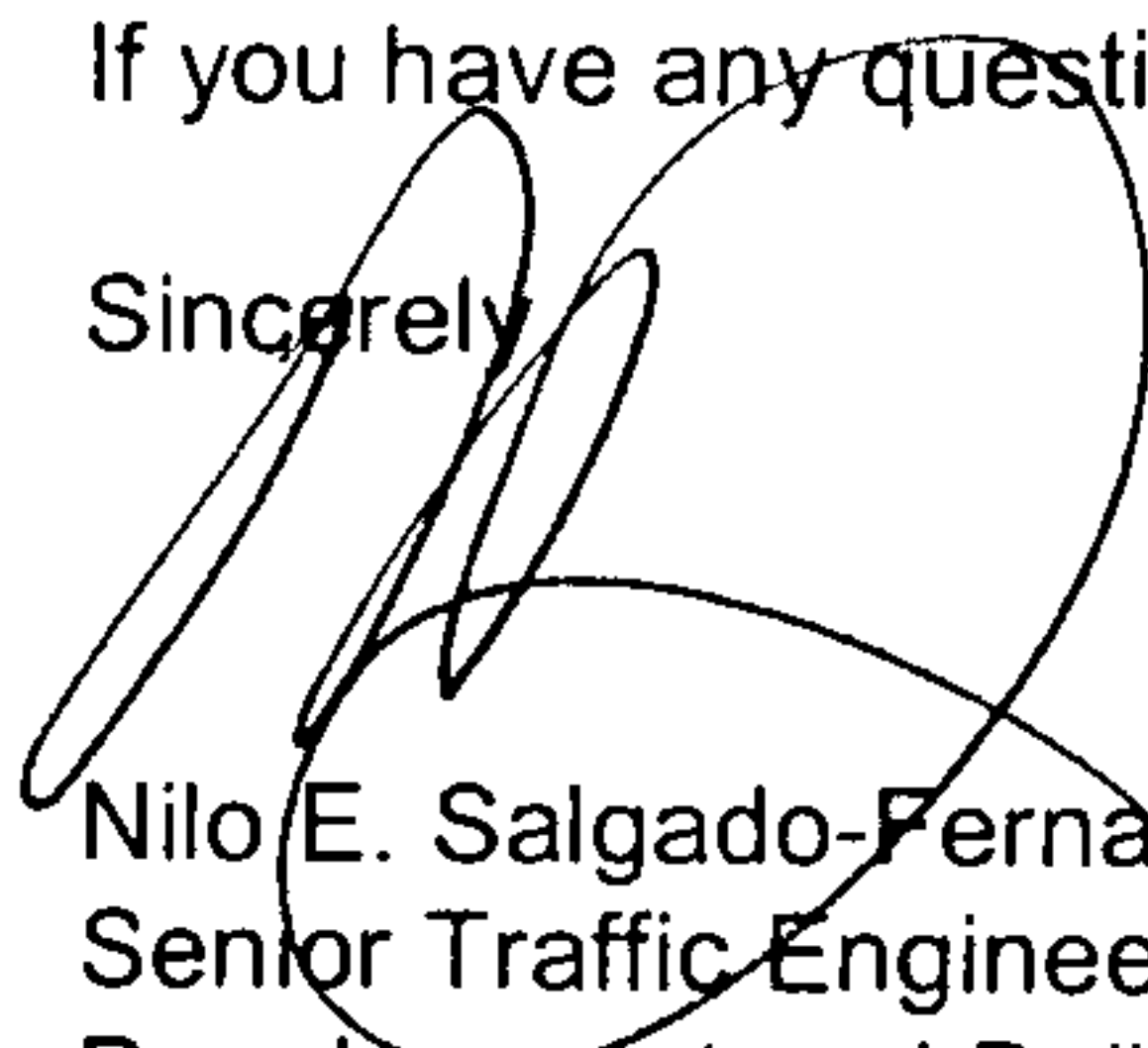
Based on the information provided on your submittal dated January 18, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding wheel ramp on Montgomery (not ADA accessible and provide curbing transition from wider sidewalk to narrow ramp width), truncated dome (need to traverse the whole width of wheel chair ramp landing) and provide an original letter of certification (appears to be a copy) issues within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

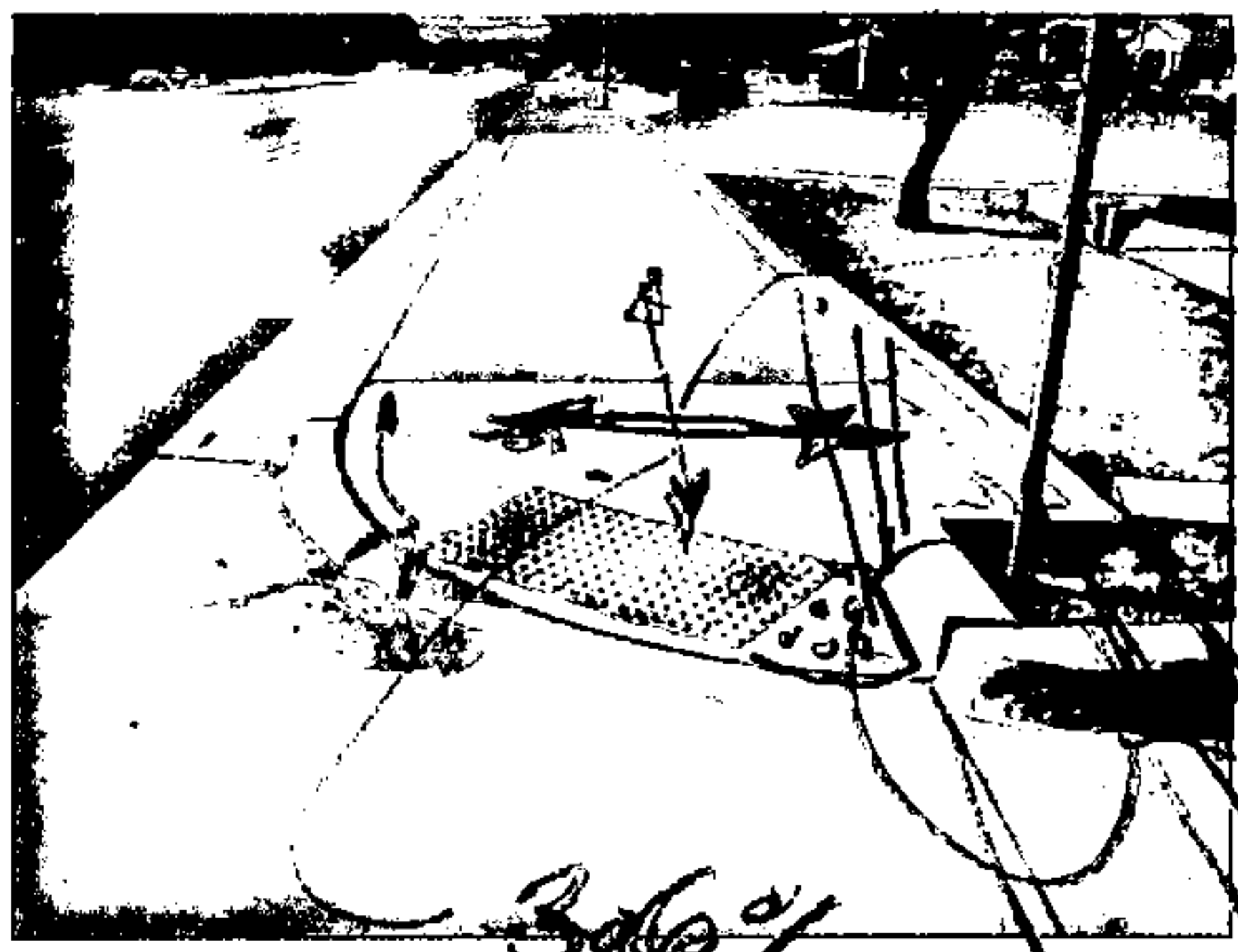
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- Look @ W.O. for Chelwood/<sup>Manual</sup> to see location of Row line (discuss w/ Crystal M.)
- TCL Chelwood - write letter - contact Larry 321-5299
- TCL Montg/SP. - Montg. Ramp - ADA compliant? - write letter to rectify dome location! Temp C.O.
- Walgreens - Ladera Bus. Park see comments on plans.
- Issue/write for temp C.O. (IS Ramp - Not ADA)
- Mark Carroll
  - 881-2268 (WP)
  - 934-3073 (cell)
- San Pedro / Montgo.
  - WK Ramp Status for ADA compl.
  - Re-design ramp on Montgo.



3%

3.6%

4.5% C-S.

why

Looking  
West  
Montgomery

Steve 319 6284

• We ramp status  
for ADA on Montgomery  
# San Pedro

01/24/08  
↓ call Mark  
Carroll  
OR Now!  
Meet w/ Bob  
Goff

F18/D58

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

F-18/D058

PROJECT TITLE: SAN PEDRO PLAZA FACILITY-SHEL ONLY  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE # F-18-2  
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CONTRACTOR: RICHARDSON & RICHARDSON  
ADDRESS: 4100 MELVAL BOULEVARD NE  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: HAD RICHARDSON  
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TYPE OF SUBMITTAL:

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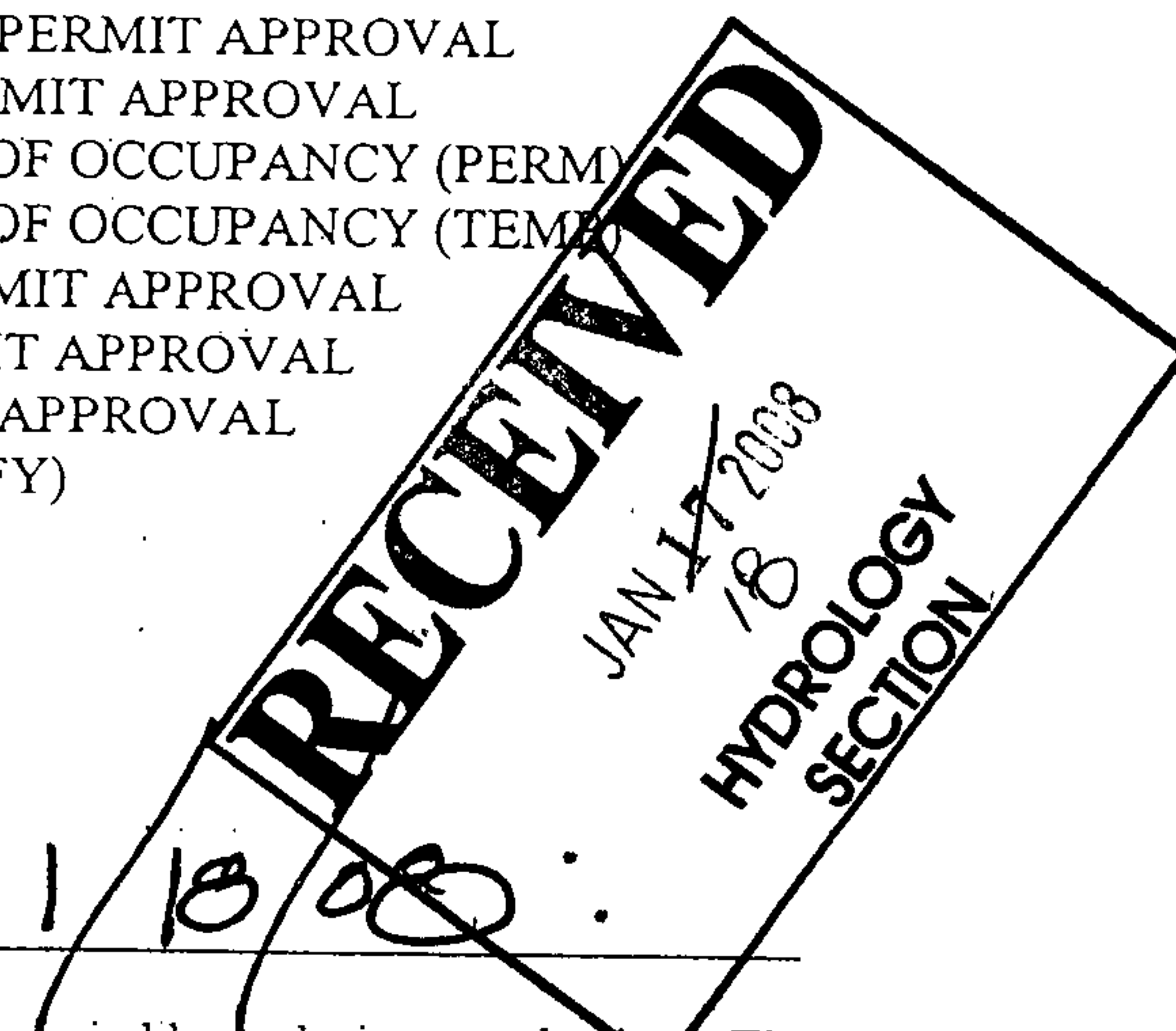
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SUBMITTED BY: [Signature] DATE: 1/18/08

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LOCATED AT: 6125 MONTGOMERY BOULEVARD NE  
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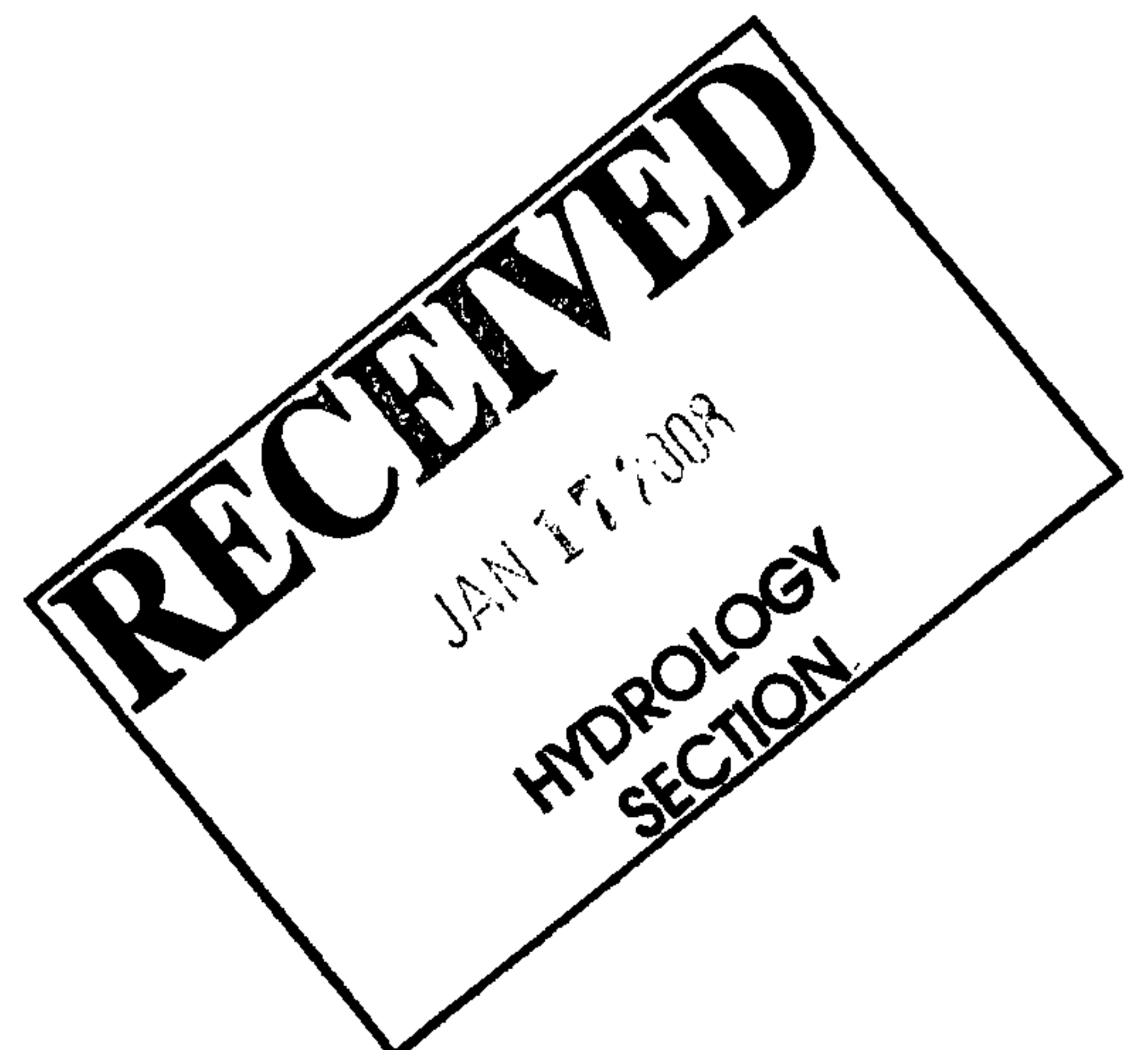
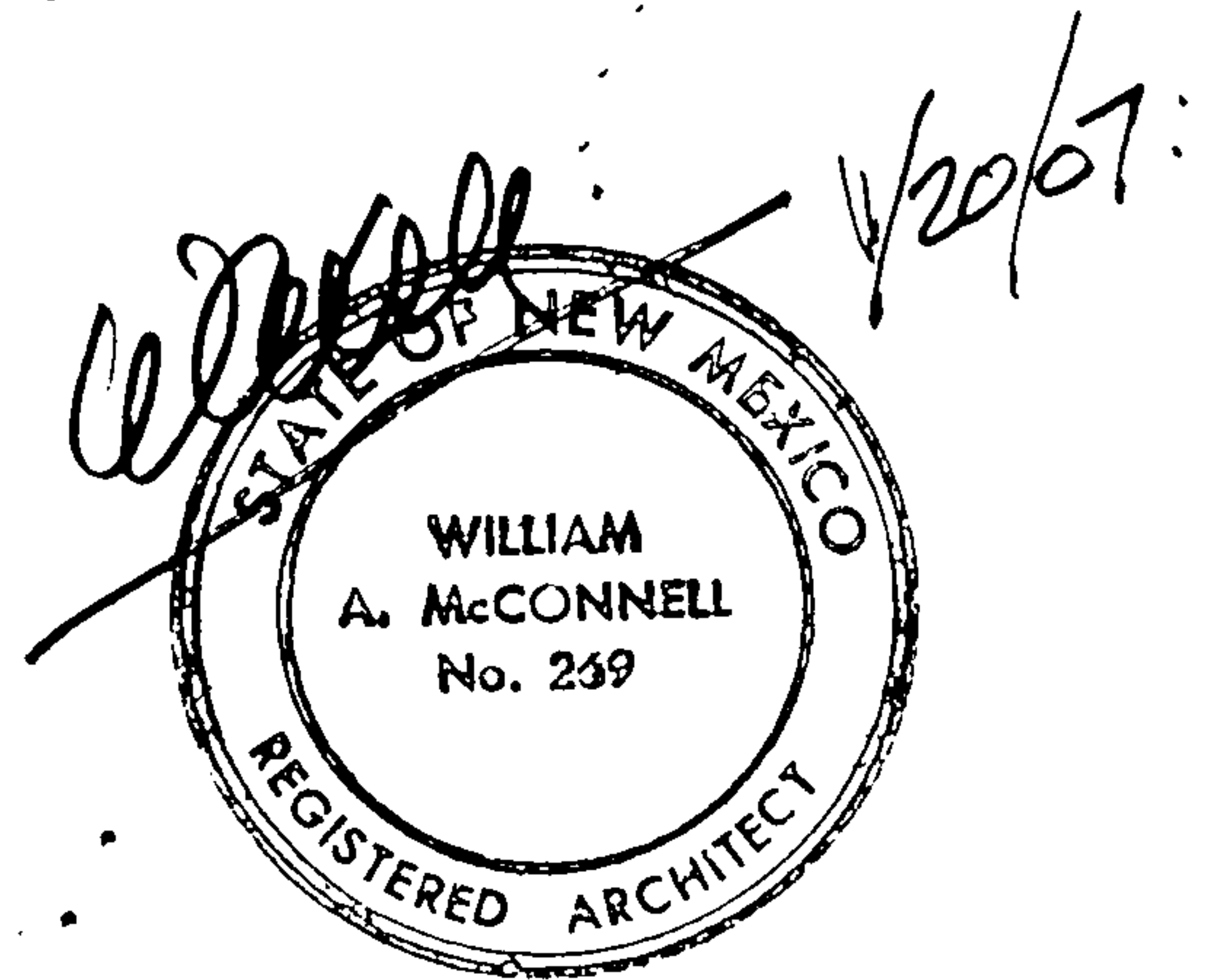
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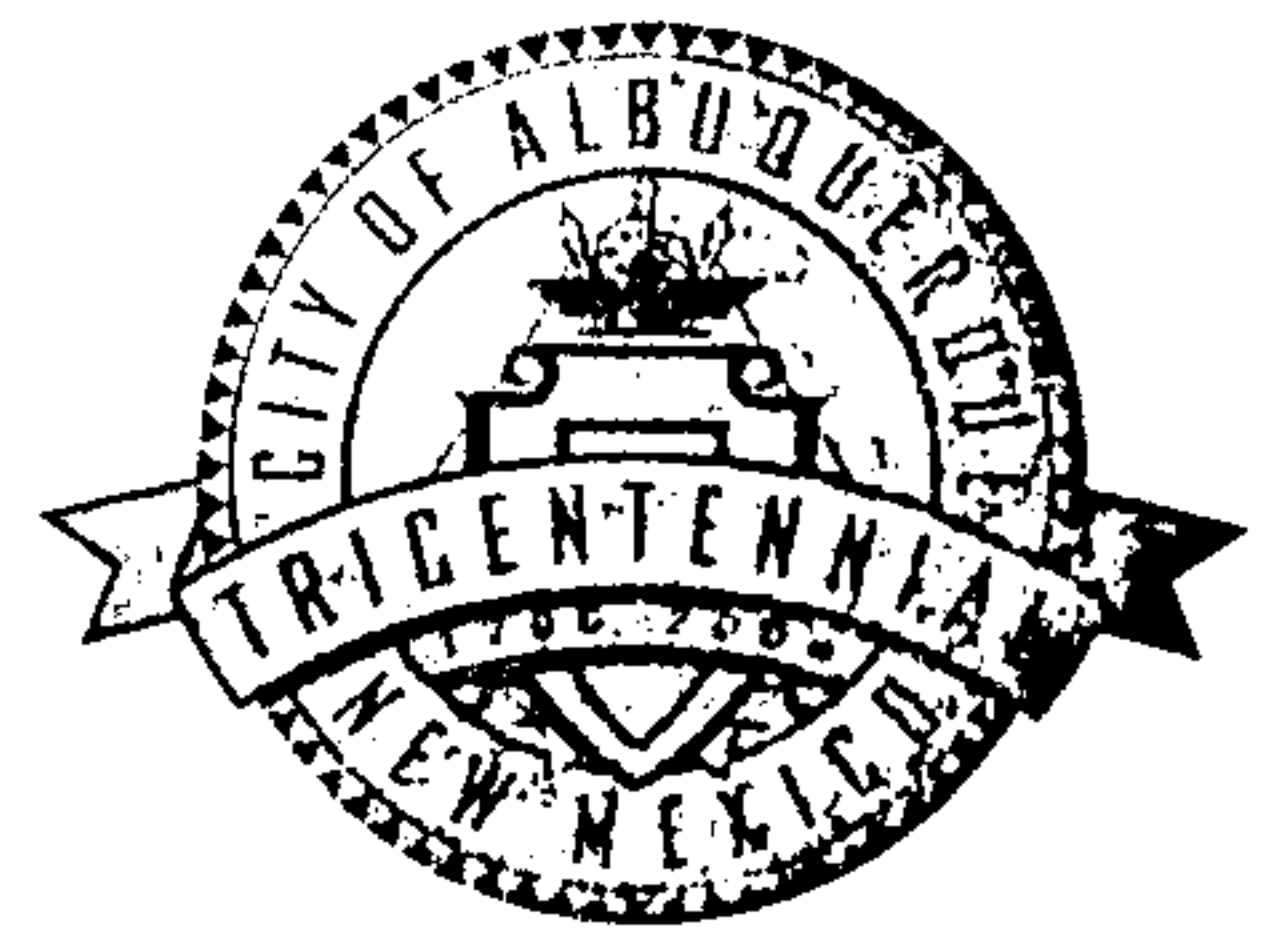


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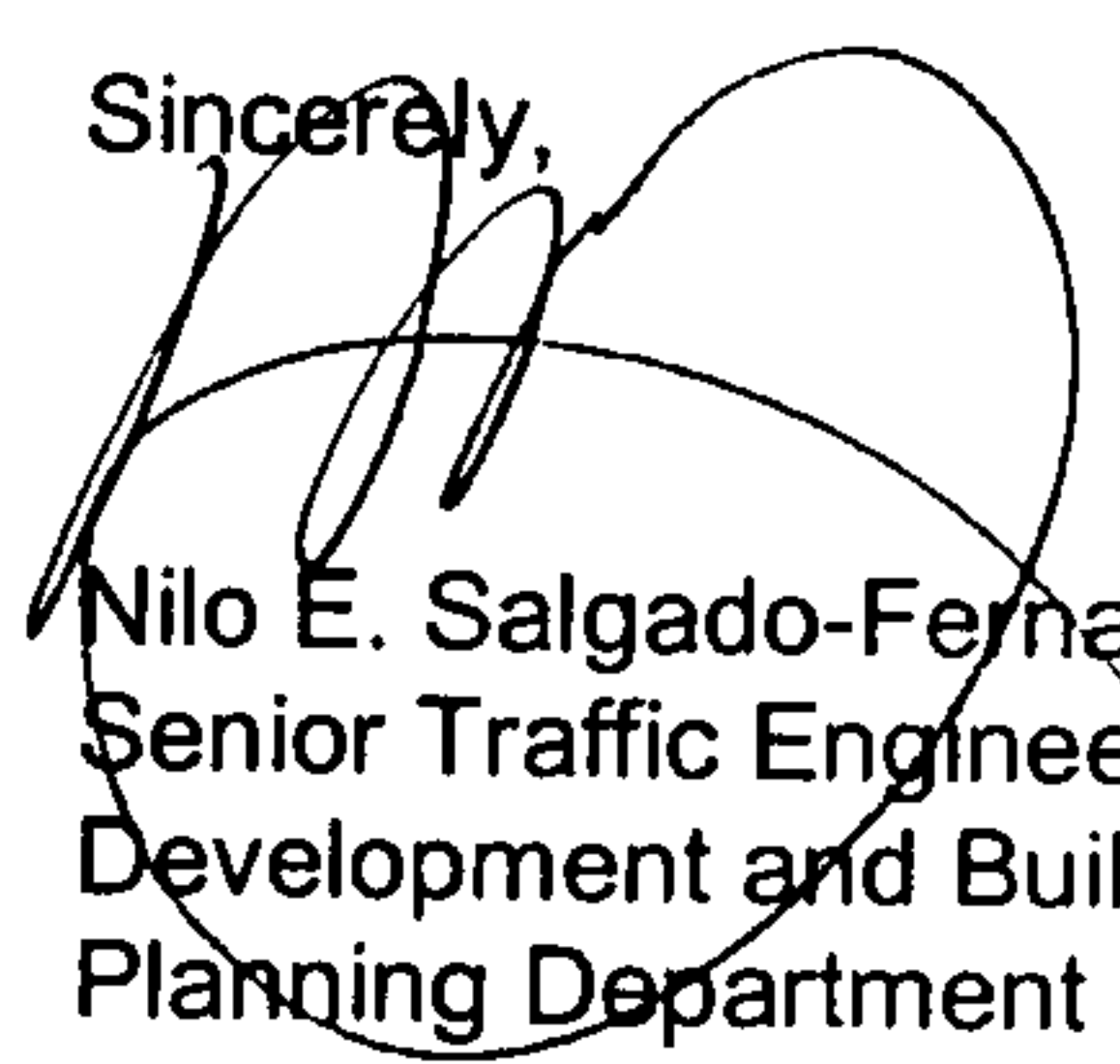
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## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

F-18/0058

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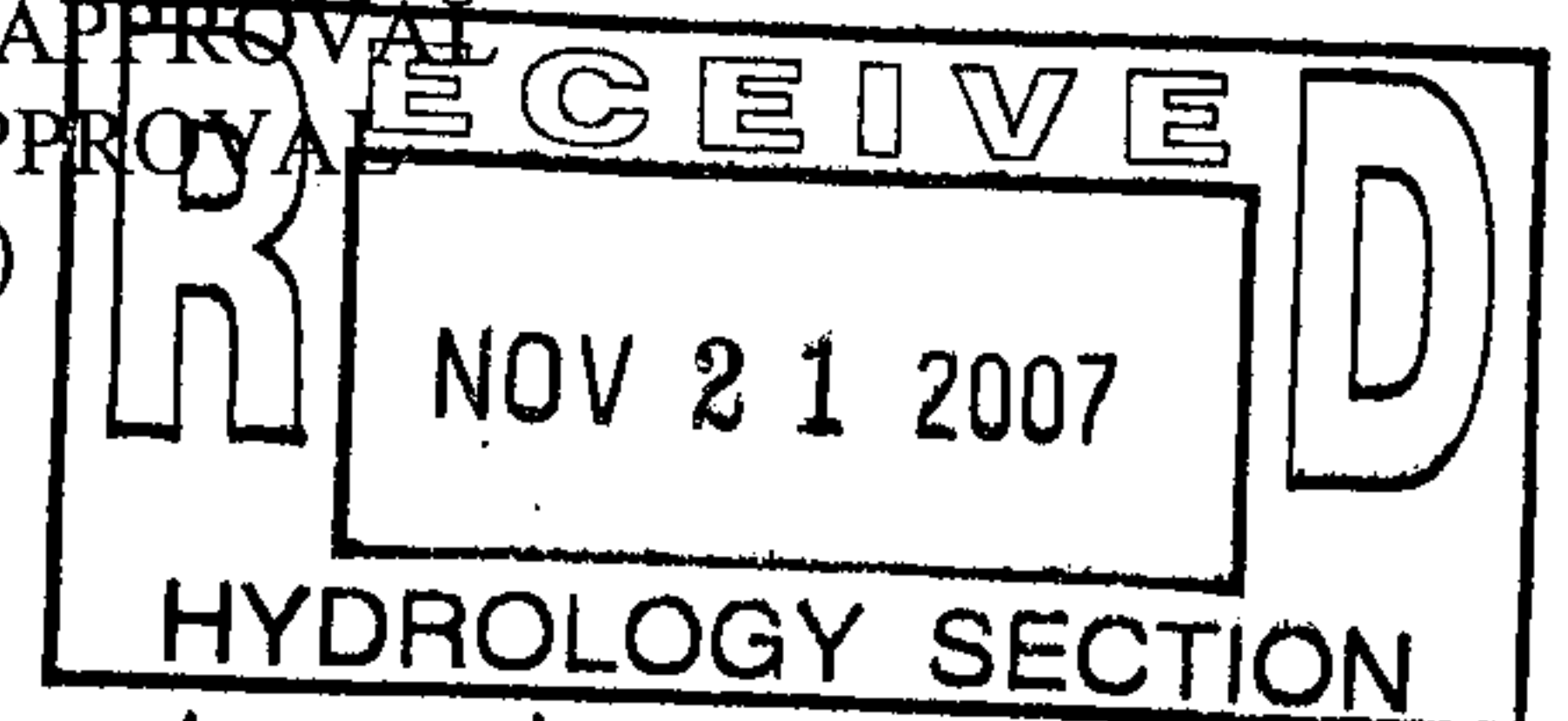
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 11/20/07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**WILLIAM A. MC CONNELL • ARCHITECT**

**PROJECT:** SAN PEDRO PLAZA FACILITY: (SHELL BUILDING)  
LOCATED AT: 6125 MONTGOMERY BOULEVARD NE  
ALBUQUERQUE, NEW MEXICO

**RE:** TRAFFIC CERTIFICATION

● **TRAFFIC CERTIFICATION:**

I, WILLIAM A. McCONNELL NMRA PRINCIPAL OF THE FIRM WILLIAM A. McCONNELL  
ARCHITECT HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL  
COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE  
DRB, AA OR TCL APPROVED PLAN DATED 2/27/07 . THE RECORD  
INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN  
OBTAINED BY WILLIAM A. McCONNELL OF THE FIRM WILLIAM A. McCONNELL,  
ARCHITECT . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE  
PROJECT ON 11/9/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT  
THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS  
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR  
CERTIFICATE OF OCCUPANCY.

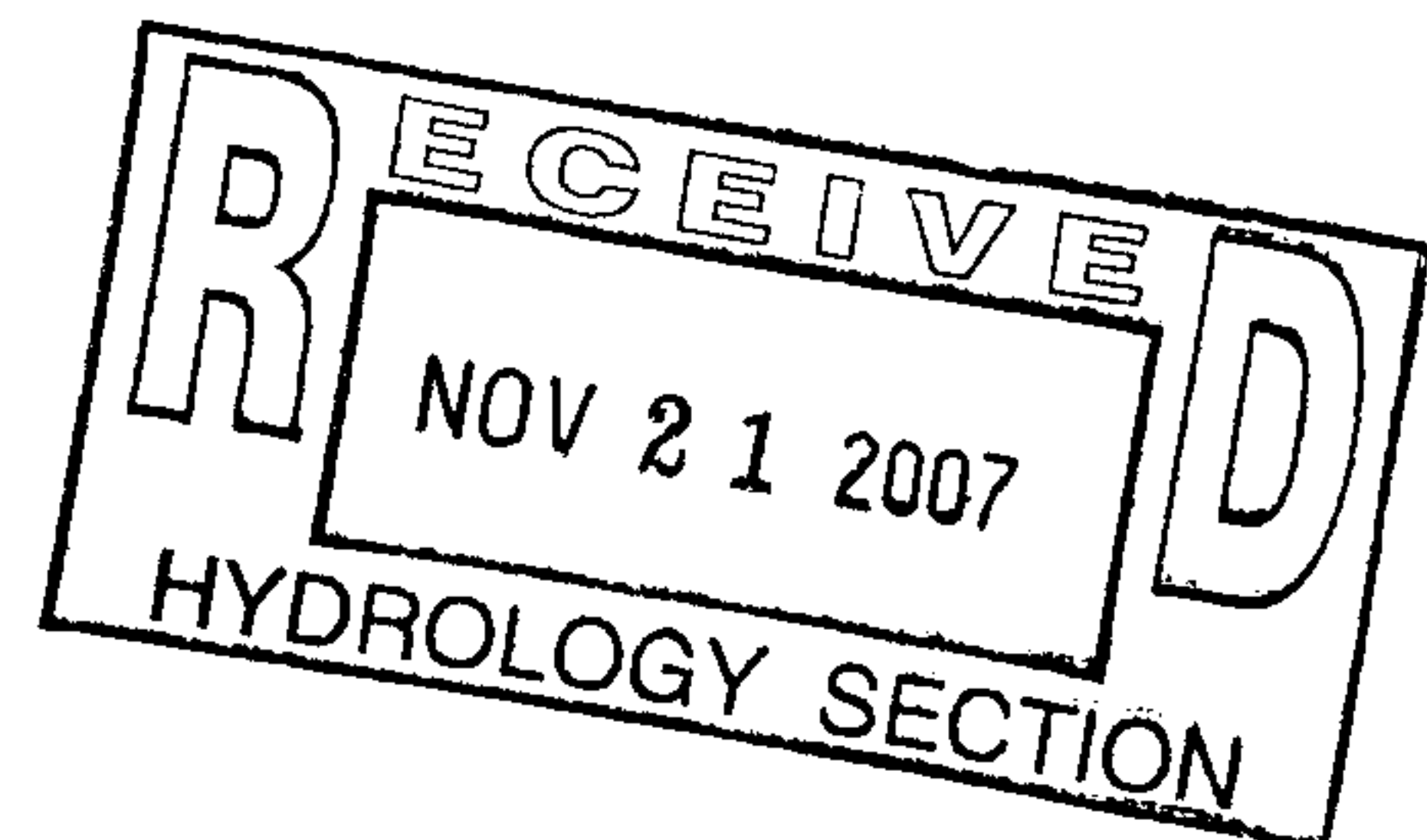
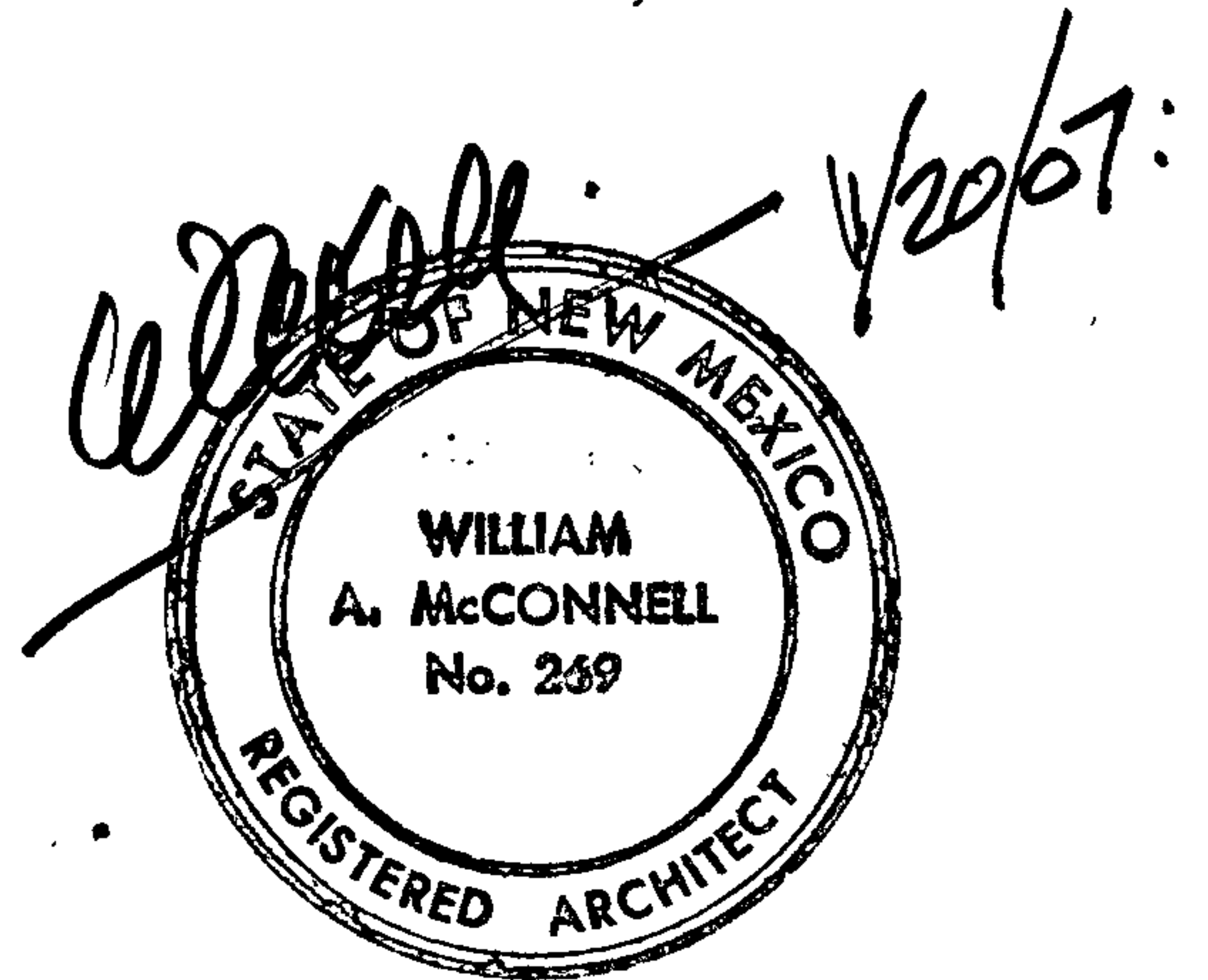
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE  
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC  
ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE  
ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE  
USING IT FOR ANY OTHER PURPOSE.



**WILLIAM A. McCONNELL, ARCHITECT**

11/20/07.

**DATE:**





# CITY OF ALBUQUERQUE



January 8, 2008

Fred Arfman, P.E.  
**Isaacson & Arfman PA**  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

**Re: San Pedro Center, 6125 Montgomery Blvd. NE,  
(F-18/D058)  
Approval of Permanent Certificate of Occupancy,  
Engineer's Stamp Dated: 2-28-07  
Certification dated 1-04-2008**

Mr. Arfman:

P.O. Box 1293

Based upon the information provided in your submittal received 1/08/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: San Pedro Center ZONE MAP / DRG. FILE #: F-18-Z / D58  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Portion of Tract A, Granada Terrace, Albuquerque, New Mexico  
CITY ADDRESS: 6125 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred Arfman  
ADDRESS: 128 Monroe St. NE PHONE: 268-8828  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: Albuquerque, New Mexico ZIP CODE: \_\_\_\_\_

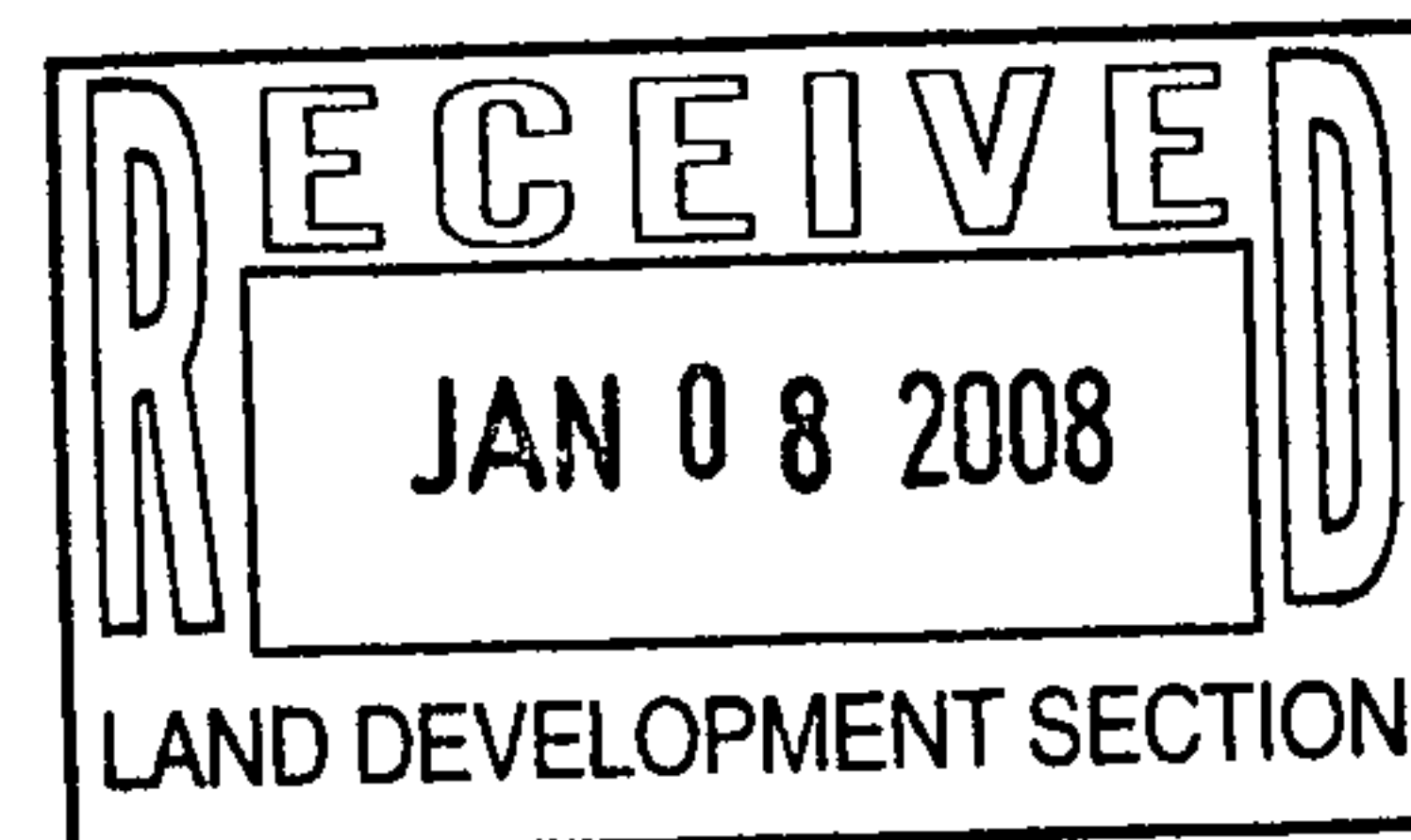
SURVEYOR: Harris Surveying, Inc. CONTACT: Anthony Harris (#11463)  
ADDRESS: 2412-D Monroe Street NE PHONE: 889-8056  
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED



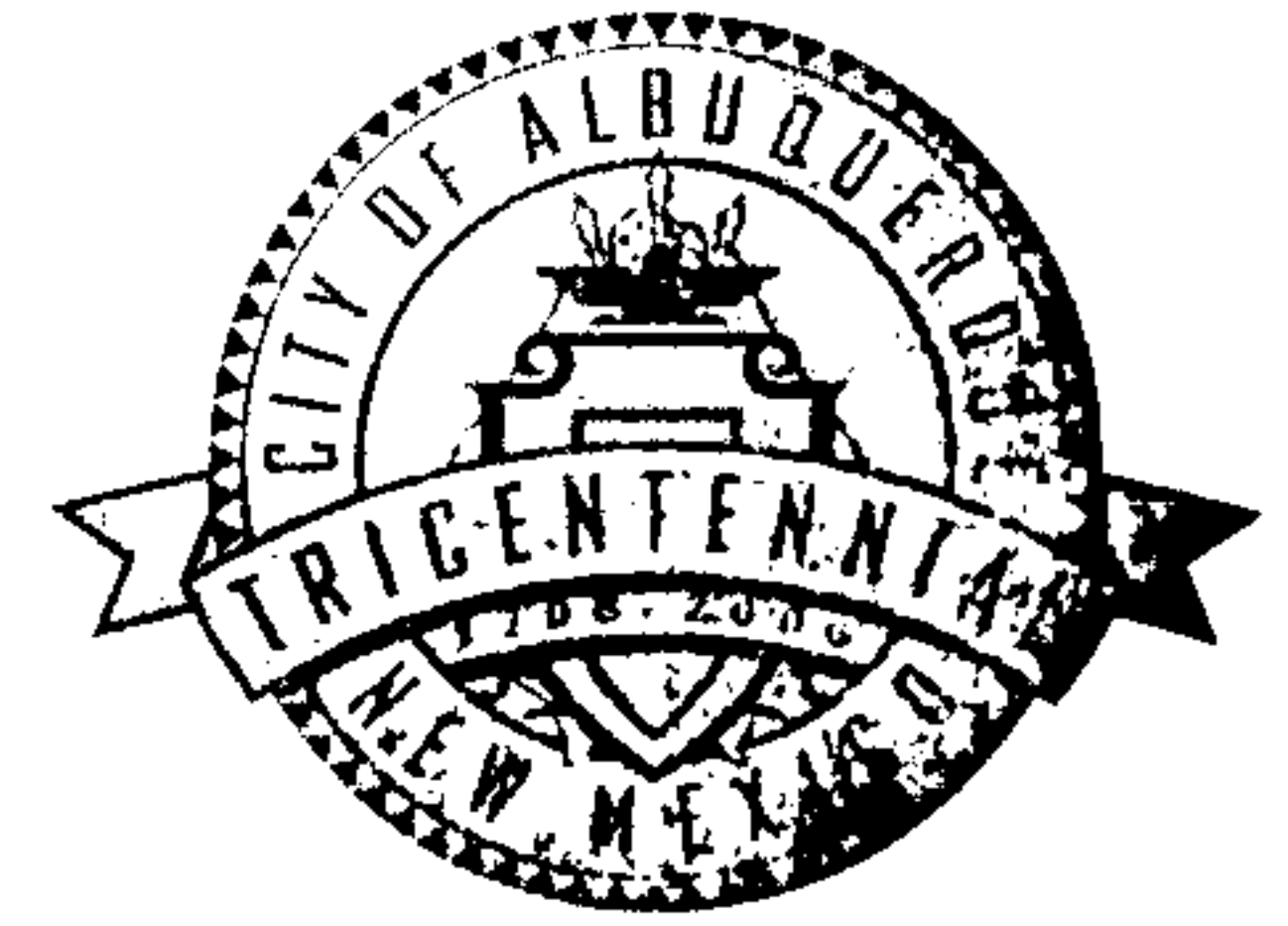
DATE SUBMITTED: Monday, January 07, 2008 BY: Fred Arfman  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



# CITY OF ALBUQUERQUE



March 1, 2007

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: San Pedro Center Grading and Drainage Plan**  
**Engineer's Stamp dated 2-28-07 (F18/D058)**

Dear Mr. Arfman,

P.O. Box 1293

Based upon the information provided in your submittal dated 2-28-07, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

New Mexico 87103

Also, prior to Certificate of Occupancy release, Engineer Certification of the plan referenced above per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Edward Elwell, Street/Storm Drain Maintenance

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

F18/0058

PROJECT TITLE: San Pedro Center ZONE MAP / DRG. FILE #: F-18-Z-D58  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: .Portion of Tract A, Granada Terrace, Albuquerque, New Mexico  
 CITY ADDRESS: 6125 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred Arfman  
 ADDRESS: 128 Monroe St. NE PHONE: 268-8828  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: \_\_\_\_\_

SURVEYOR: Harris Surveying, Inc. CONTACT: Anthony Harris (#11463)  
 ADDRESS: 2412-D Monroe Street NE PHONE: 889-8056  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

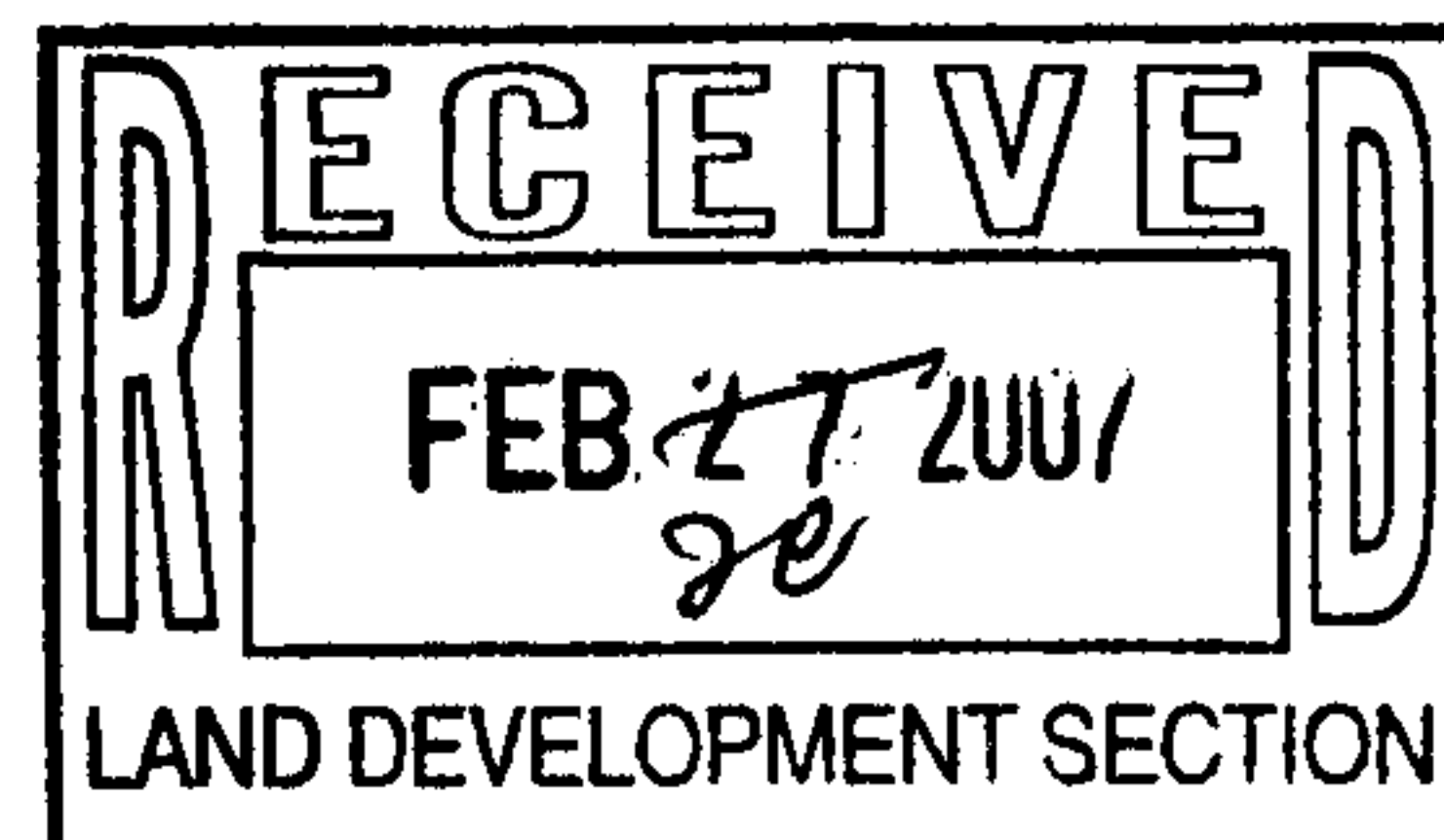
(2)

CHECK TYPE OF SUBMITTAL:  
 \_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
 \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
 \_\_\_\_\_ CLOMR / LOMR  
 \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
 \_\_\_\_\_ ENGINEER'S CERTIFICATION (TCL)  
 \_\_\_\_\_ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
 \_\_\_\_\_ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 \_\_\_\_\_ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:  
 \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
☒ OTHER

5019



DATE SUBMITTED: Wednesday, February 28, 2007 BY: Fred Arfman  
 Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



# Letter of Transmittal



ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108

To: COA. Hydrology

Date: 2-28-07

Job No. 1559

Attn: Curtis ~~Cherney~~ Cherney

Reference: San Pedro Center

We transmit to you \_\_\_\_\_ copy(ies) of the following:

☐  
☒  
☐  
☐  
☐  
☐  
☐

2 revised GLO

Plats  
Plans  
Disks  
Report

☐  
☐  
☐  
☐

Specifications  
Submittals  
Shop Drawings  
Copy of Letter

This information is transmitted:

☐  
☒  
☐  
☐  
☐  
☐  
☐  
☐

As per your request  
For your review & approval  
For your information  
For your attention  
For your signature

☐  
☒  
☐  
☐  
☐

For your files  
For your use  
Please review & return  
For return to your files  
Please advise

Remarks: Thanks Curtis

By: [Signature]

Copies to: \_\_\_\_\_

# CITY OF ALBUQUERQUE



February 5, 2007

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: San Pedro Center Grading and Drainage Plan**  
**Engineer's Stamp dated 2-2-07 (F18/D058)**

Dear Mr. Arfman,

P.O. Box 1293

Based upon the information provided in your submittal dated 2-2-07, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

New Mexico 87103

Also, prior to Certificate of Occupancy release, Engineer Certification of the plan referenced above per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Edward Elwell, Street/Storm Drain Maintenance

# CITY OF ALBUQUERQUE



March 16, 2007

Genny Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: San Pedro Center Preliminary Work Order Plan**  
**Engineer's Stamp dated -no stamp- (F18/D058)**

Dear Mr. Arfman,

P.O. Box 1293

Based upon the information provided in your submittal dated 3-14-07, the above referenced plan is approved to be developed for Work Order.

If you have any questions, you can contact me at 924-3695.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file

*W.D.H.*



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: San Pedro Center

ZONE MAP / DRG. FILE #: F-18-Z / D58

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: .Portion of Tract A, Granada Terrace, Albuquerque, New Mexico

CITY ADDRESS: 6125 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

CONTACT: Genny Donart

ADDRESS: 128 Monroe St. NE

PHONE: 268-8828

CITY, STATE: Albuquerque, NM

ZIP CODE: 87108

OWNER: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

CITY, STATE: Albuquerque, New Mexico

ZIP CODE: \_\_\_\_\_

SURVEYOR: Harris Surveying, Inc.

CONTACT: Anthony Harris (#11463)

ADDRESS: 2412-D Monroe Street NE

PHONE: 889-8056

CITY, STATE: Albuquerque, New Mexico

ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☒ OTHER -(PUBLIC STORM INLET SHORT FORM)

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ WORK ORDER APPROVAL  
☐ OTHER

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

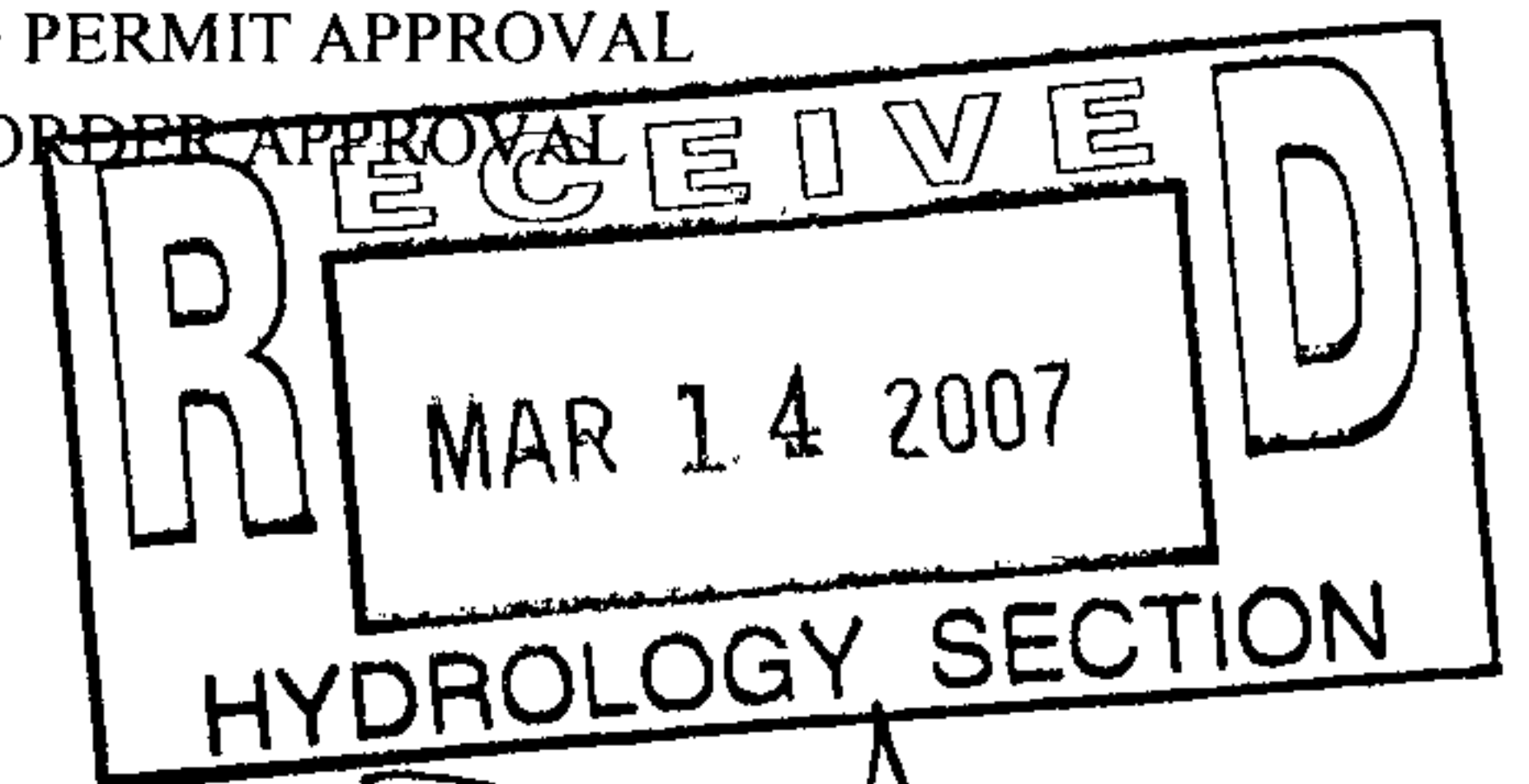
- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: Wednesday, March 14, 2007

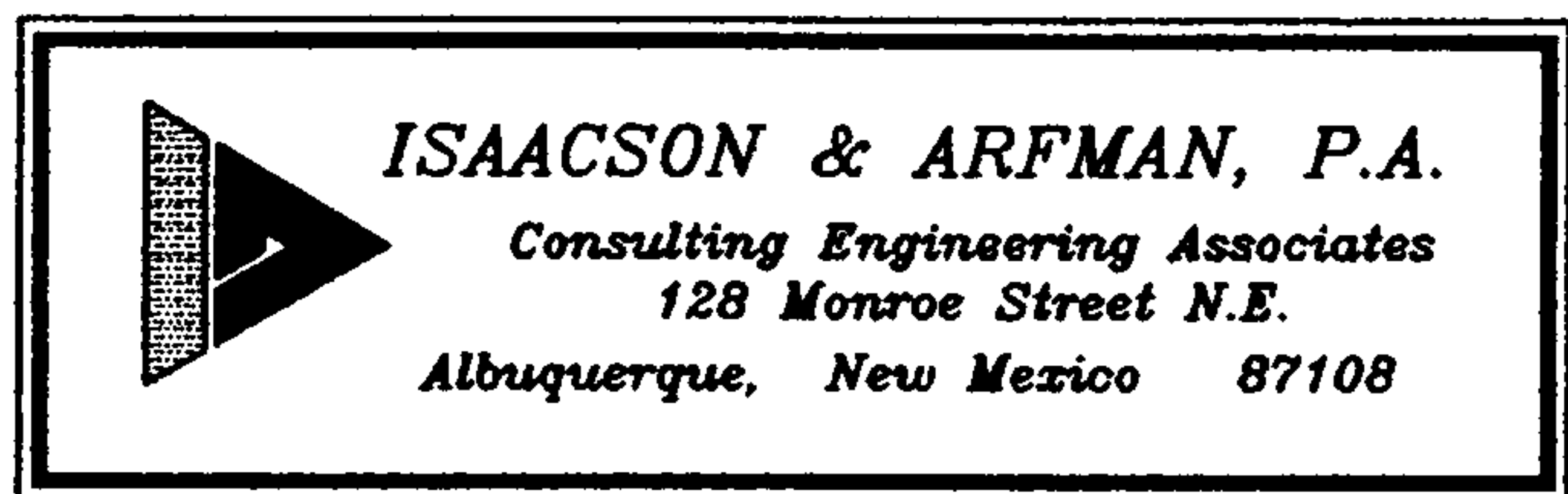
BY: Genny Donart  
Isaacson & Arfman P.A.

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# Letter of Transmittal



To: COA  
1-STOP

Date: 3/14/07  
Job No. 1559

Attn: KRISTAL METRO

Reference: SAN PEDRO CENTER

We transmit to you 1 copy(ies) of the following:

☐

Plats

☐

Specifications

☐

Plans

☐

Submittals

☐

Disks

☐

Shop Drawings

☐

Report

☐

Copy of Letter

☒

NEW STORM INLET "SHORT FORM"

☐

This information is transmitted:

☐

As per your request

☐

For your files

☒

For your review & approval

☐

For your use

☐

For your information

☐

Please review & return

☐

For your attention

☐

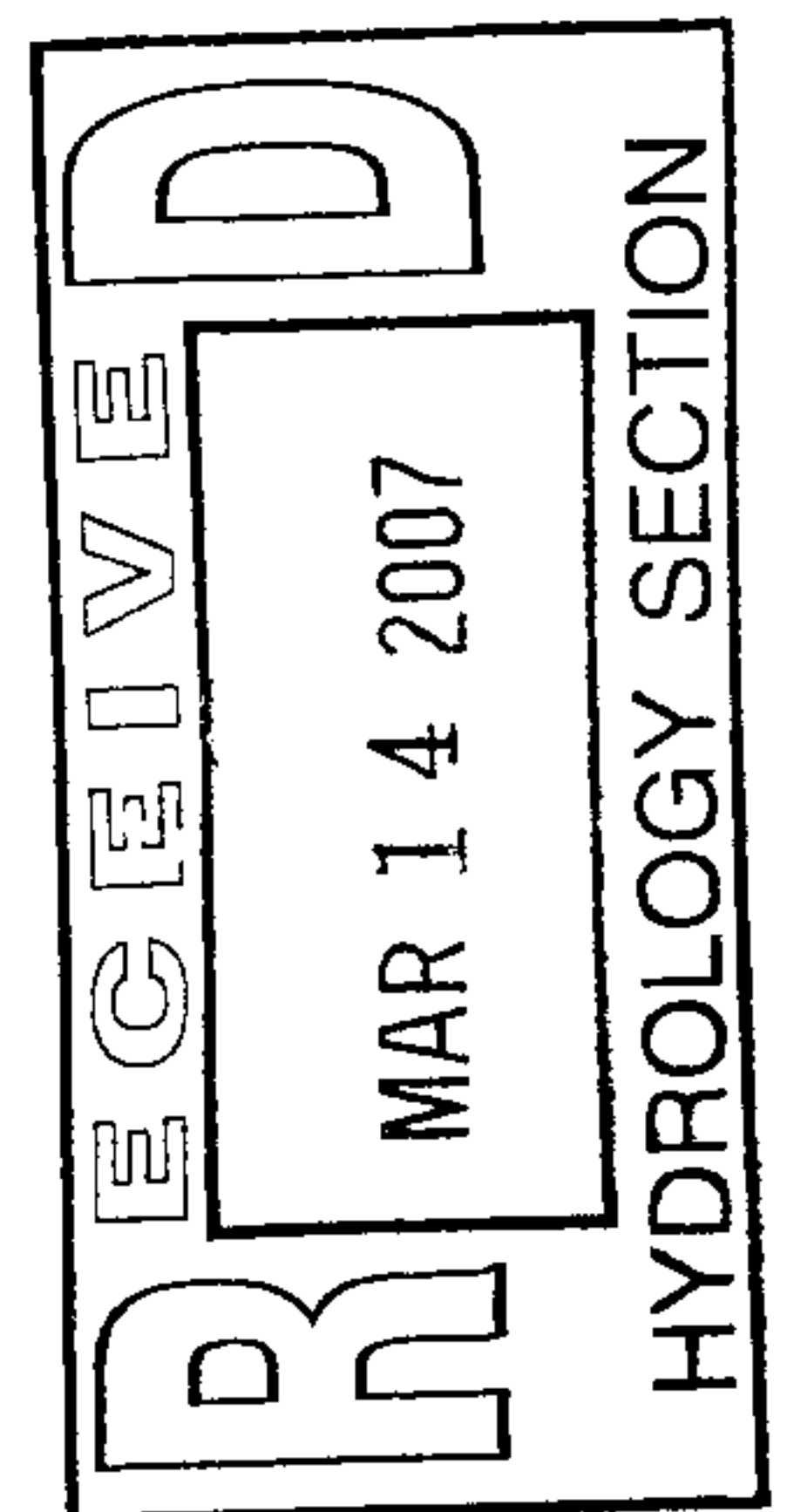
For return to your files

☐

For your signature

☐

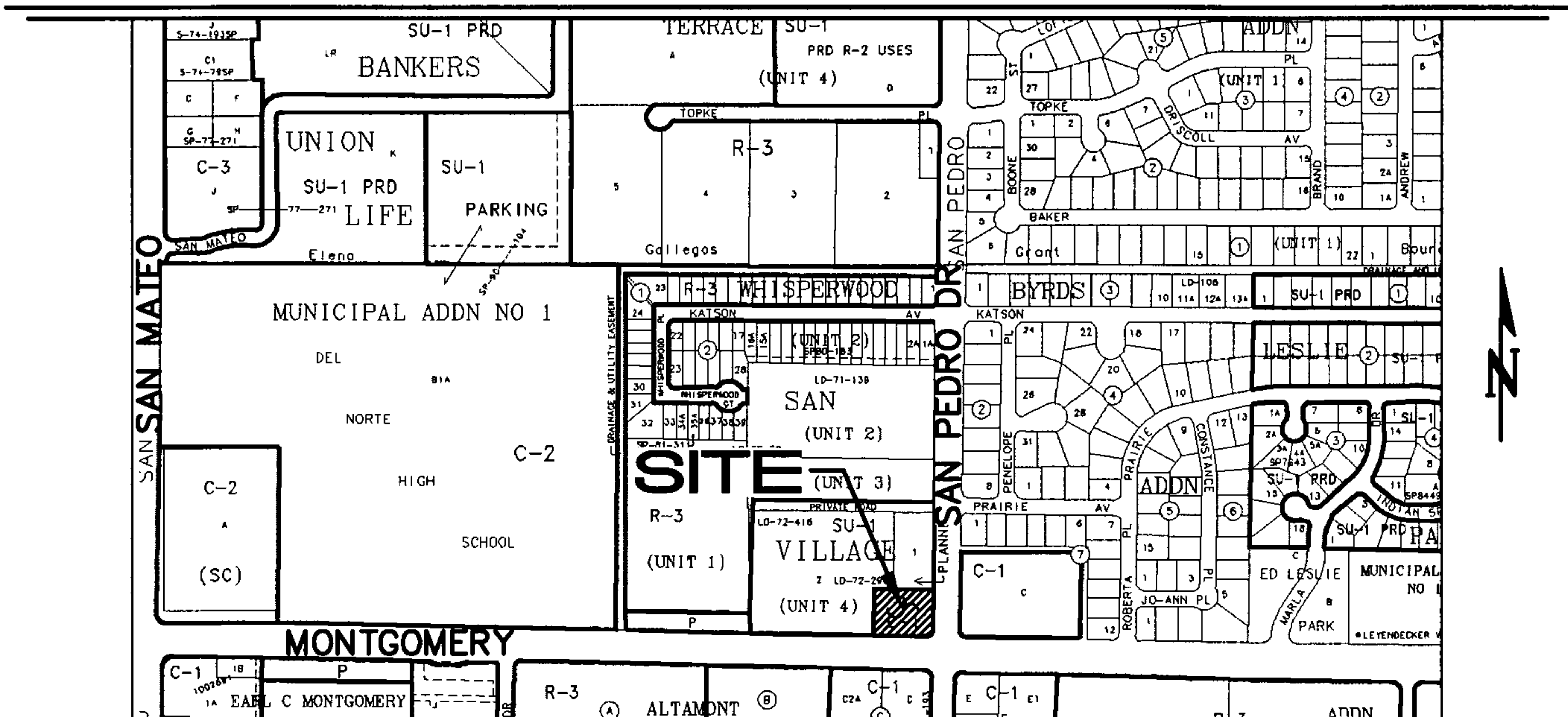
Please advise

☐☐

Remarks:

By: GENNY DONART Copies to: \_\_\_\_\_

CITY OF ALBUQUERQUE  
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



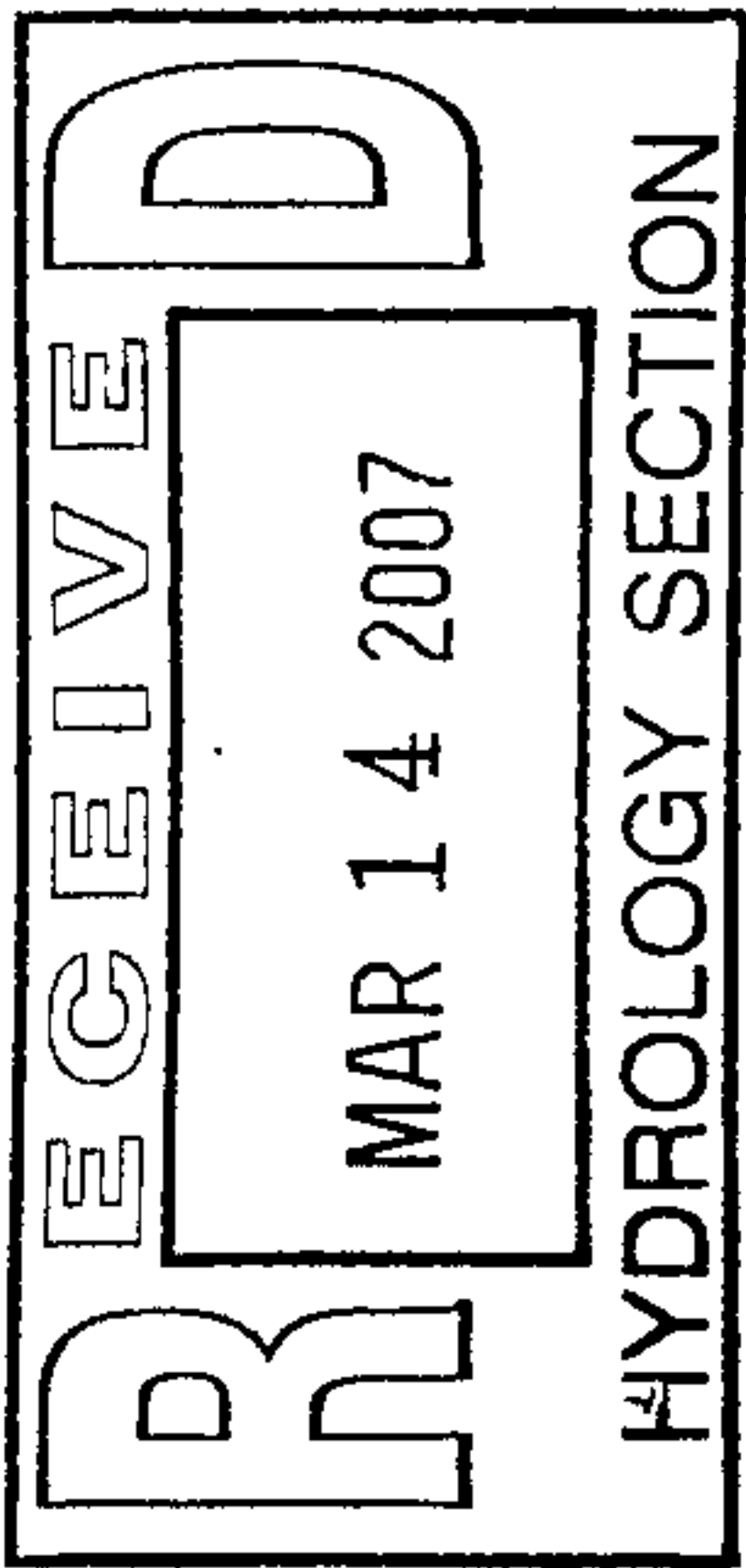
VICINITY MAP F-18-Z

LEGAL DESCRIPTION OF PROPERTY AND ADDRESS:  
PORTION OF TRACT A, GRANADA TERRACE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



PROJECT NO. \_\_\_\_\_  
SHEET 1 OF 3

ZONE ATLAS  
F-18

TITLE:  
SAN PEDRO CENTER

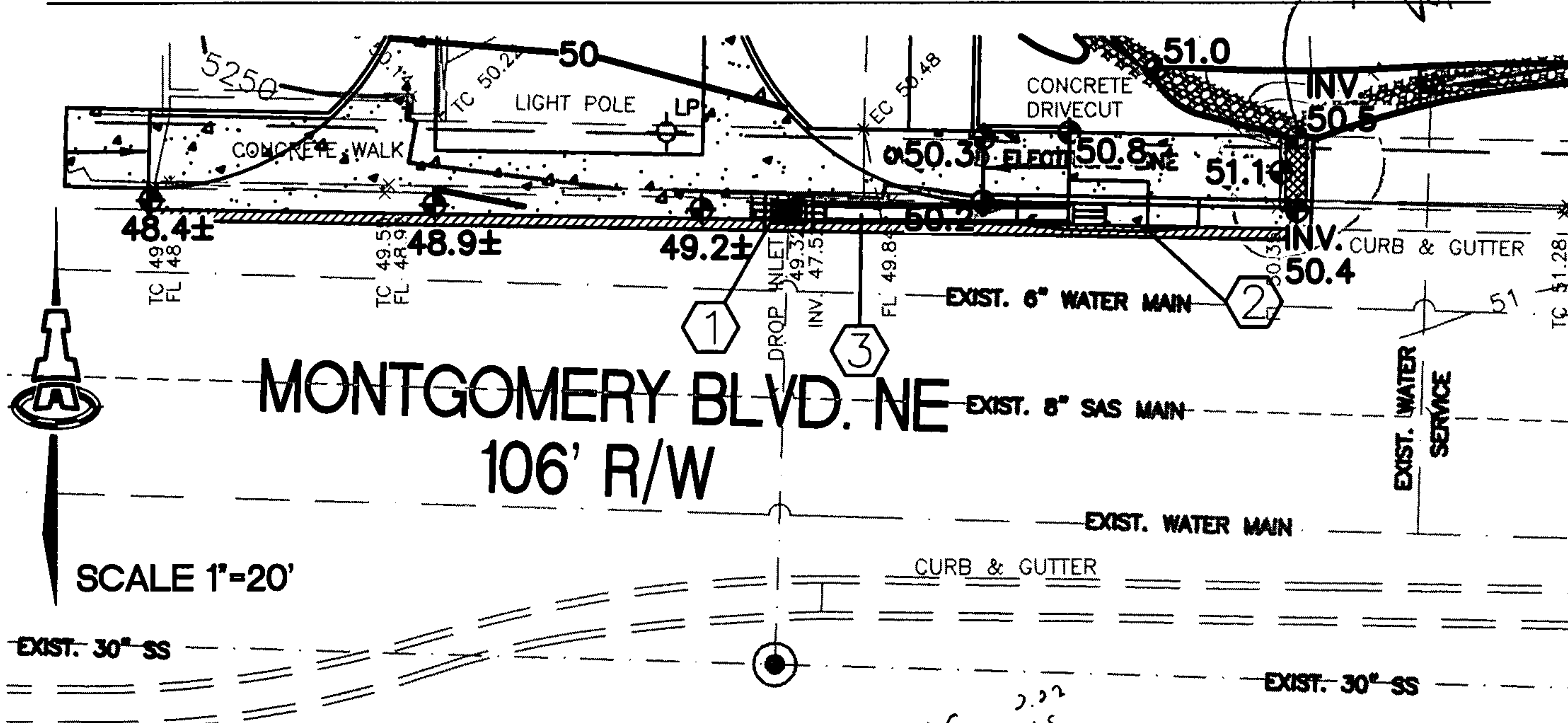


# CITY OF ALBUQUERQUE

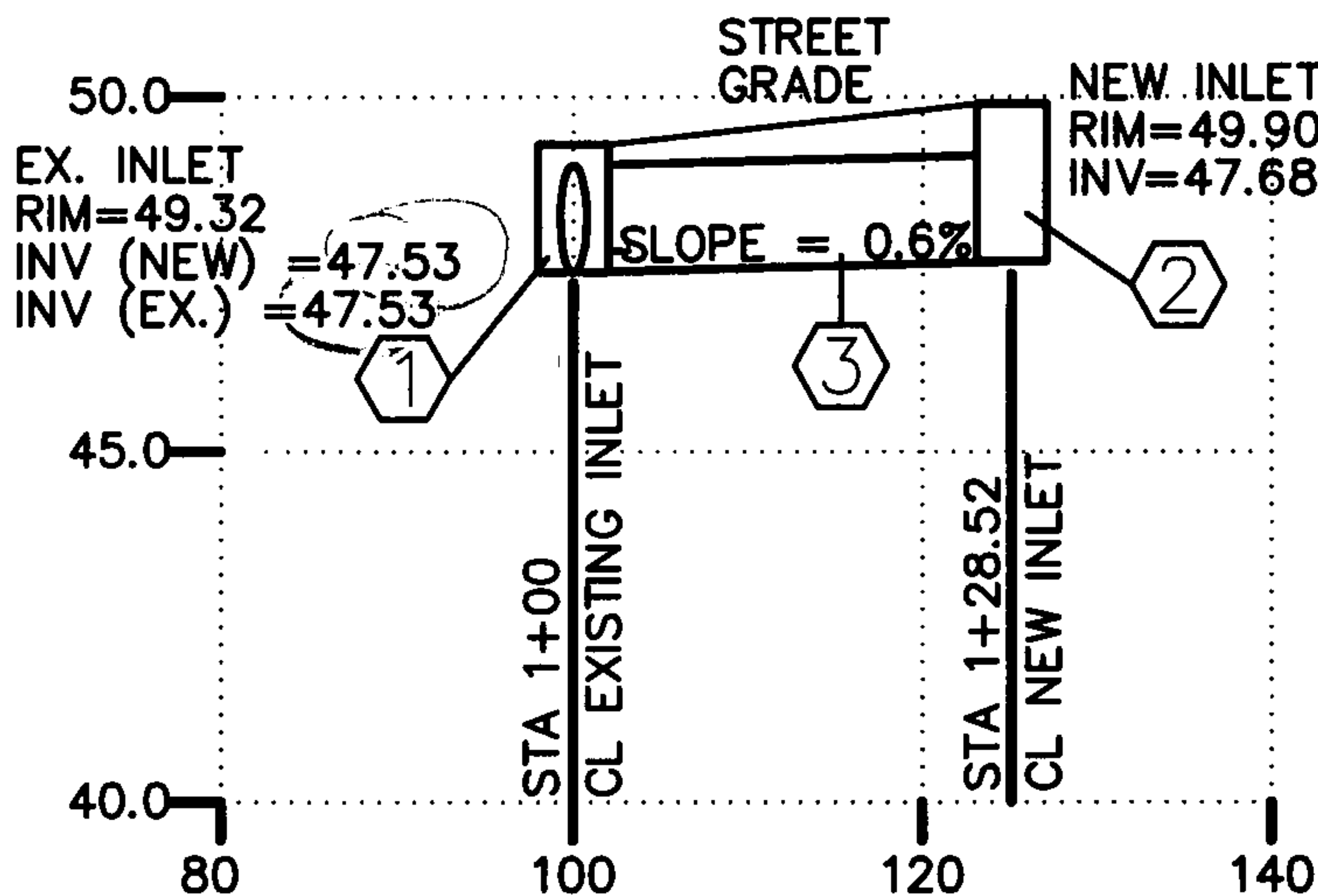
## NEW STORM DRAIN INLET

### SITE DETAIL

NET IN  
W/D.



SCALE 1"=20'

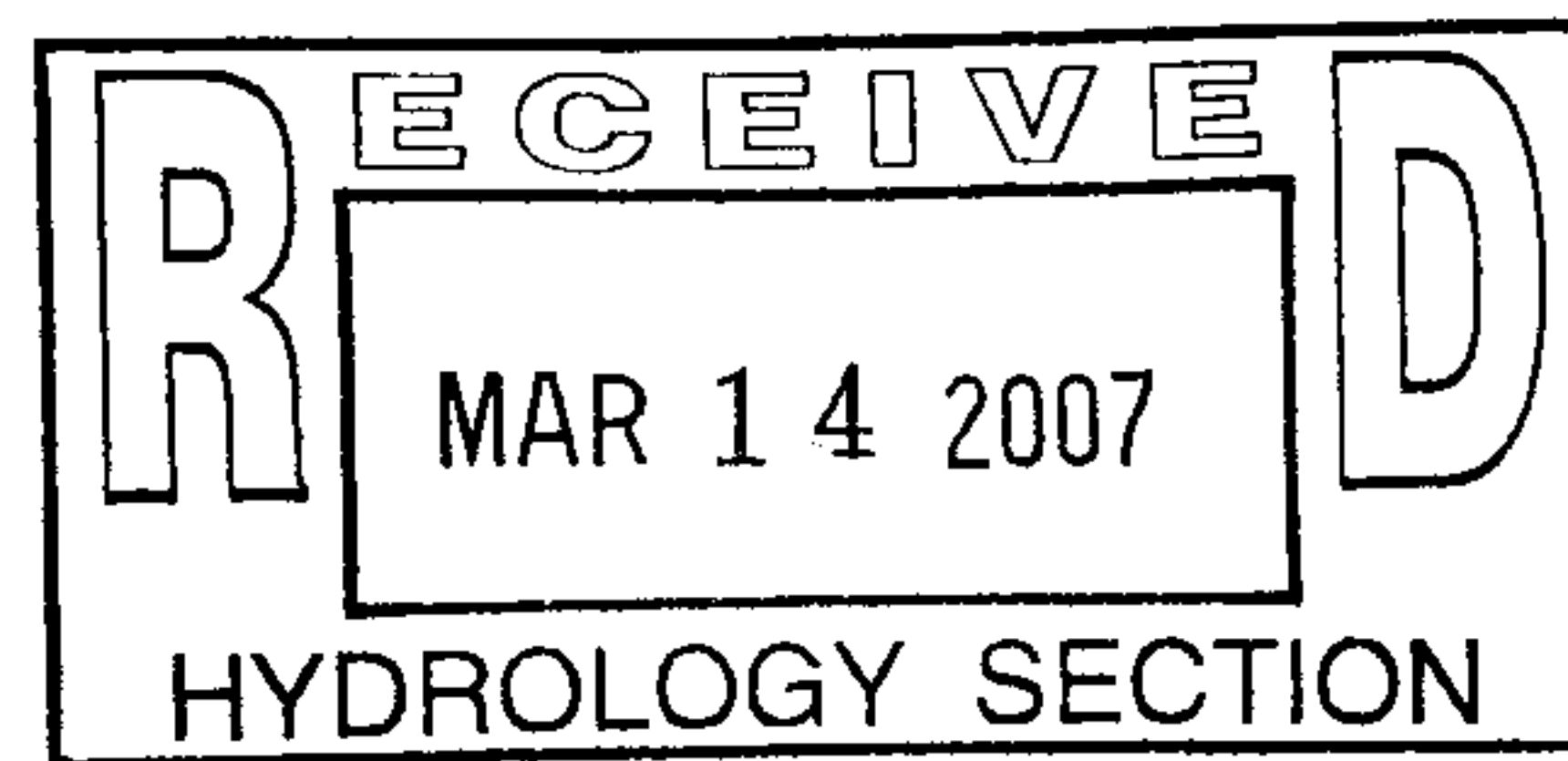


$$\frac{47.63 - 47.57}{18} = \frac{.06}{18} = .0033$$

$$\frac{47.68 - 50}{18} = \frac{-2.32}{18} = -.1289$$

PROFILE

HORIZ. SCALE: 1"=20'  
VERT. SCALE: 1"=5'



### KEYED NOTES

- ① MODIFY TO TYPE 'D' INLET PER COA DWG #2206. INV=47.53
- ② CONSTRUCT TYPE 'A' INLET PER C.O.A. DWGS #2201 AND #2202. TOP OF GRATE=49.90 INV=47.68
- ③ 25.12 LF 18" RCP @ S=0.6%

### LEGEND

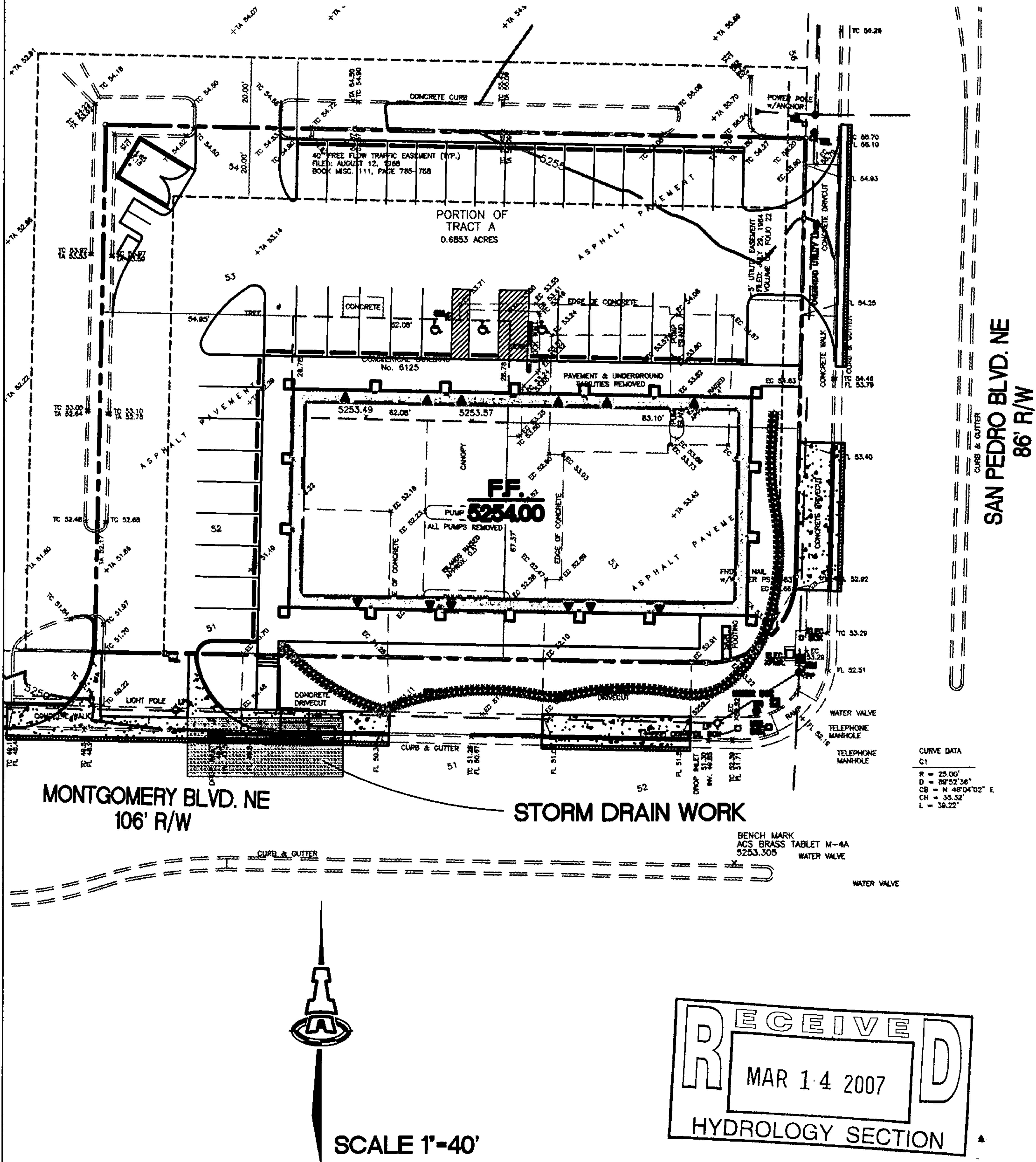
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 49.2 PROPOSED SPOT ELEVATION
- INV=47.68 INVERT ELEVATION
- ▨ PROPOSED SIDEWALK
- ▢ PROPOSED INLET
- == PROPOSED STORM DRAIN
- ▨ PAVEMENT REMOVAL

PROJECT NO. \_\_\_\_\_  
SHEET 3 OF 3

ZONE ATLAS  
F-18

TITLE:  
**SAN PEDRO CENTER**

CITY OF ALBUQUERQUE  
NEW STORM DRAIN INLET  
OVERALL SITE





# **ISAACSON & ARFMAN, P.A.**

## **Consulting Engineering Associates**

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE  
Scott M. McGee, PE*

February 28, 2007

Mr. Curtis Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services  
City of Albuquerque  
Hydrology Section


**RE: SAN PEDRO CENTER GRADING AND DRAINAGE PLAN (F18/D58)**

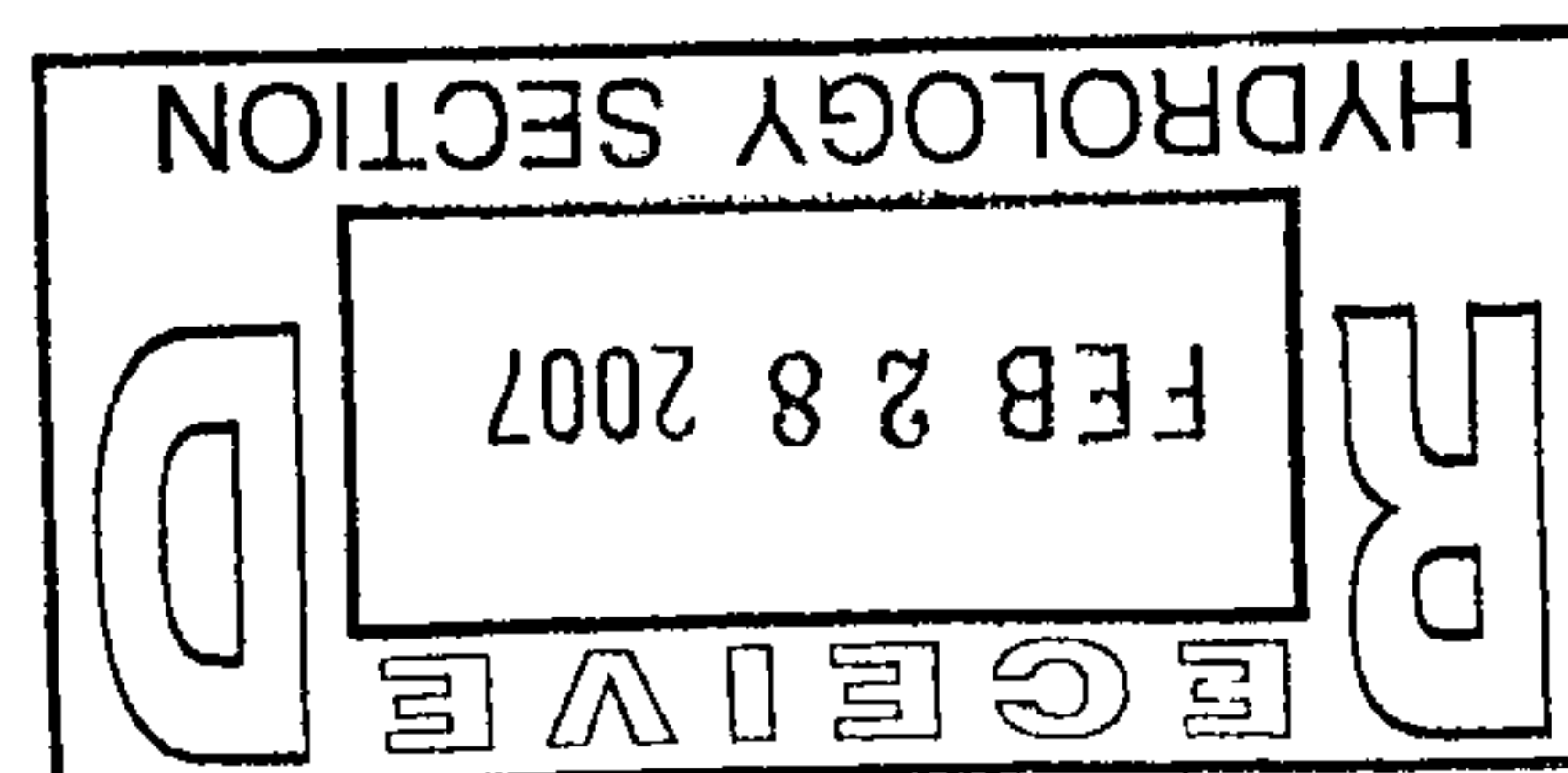
Dear Mr. Cherne,

This project was recently approved for building permit and SO-19 per your letter dated February 5, 2007. The client recently modified the site plan to include an additional site access off of Montgomery Blvd. at the southwest corner of the property. We have revised the Grading and Drainage Plan to include this new access. In addition, we will be preparing a short form DRC submittal (per conversations with Kristal Metro) for improvements to the public storm drain system in Montgomery which will include the replacement of an existing inlet with a type 'D' and the installation of an additional inlet (type 'A') east of the new access drive curb return (to be constructed under separate work order).

Please don't hesitate to call me or Fred Arfman at 268-8828 with any questions or comments.

Sincerely,  
**ISAACSON AND ARFMAN**

  
Bryan Bobrick  
Project Manager





# CITY OF ALBUQUERQUE



February 5, 2007

William McConnell, R.A.  
3011 Jane Pl. NE # 205  
Albuquerque, NM 87111

**Re: San Pedro Center – Shell Only, 6125 Montgomery Blvd NE,  
Traffic Circulation Layout  
Architect's Stamp dated 1-26-07 (F18-D58)**

Dear Mr. McConnell,

Based upon the information provided in your submittal received 1-30-07, the above referenced plan cannot be approved for Building Permit until a copy of the cross lot access easement is provided for our records.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

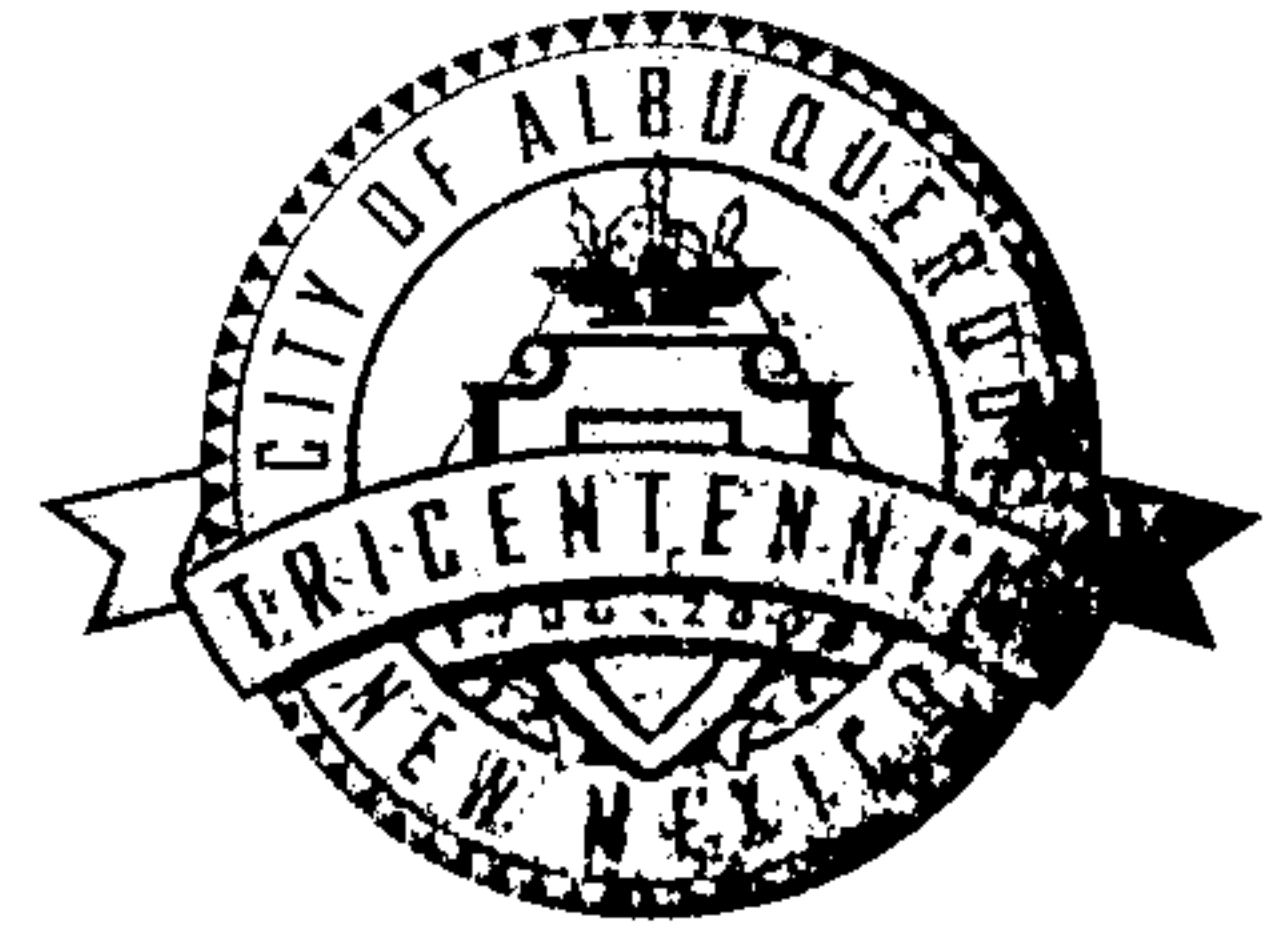
P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



January 30, 2007

Genevieve L. Donart, P.E.  
Isaacson and Arfman, P.A.  
128 Monroe NE  
Albuquerque, NM 87108

Re: San Pedro Center, Engineer's Stamp Dated 9-1-06?  
6125 Montgomery NE, (F18/D58)

Dear Ms. Donart,

Based upon the information provided in your submittal received on January 18, 2006, there are some additional items that must be addressed prior to permit approval. Those items are as follows.

- The site legal description says "Albuquerque, New Mexico."
- The zone atlas page has no label.
- No drainage calculations were provided or shown with this submittal.
- Please call out all appropriate standard drawings for the sidewalk, curbs, valley gutter and driveway. Will the onsite improvements be built according to standard drawings? If not, please provide cross-sectional details as necessary.
- Please provide a cross sectional detail for the proposed swale referenced in keyed note 8 and show the extents on the plan.
- The eastern keyed note 9 is hanging and should be relocated so as to point to the proposed, eastern sidewalk culvert. Also please relocate the downstream invert elevation (51.3?) to the south side of this culvert.
- Please revise the SO-19 notes to reference the 1986 version of the standard specifications through update 7.
- Runoff from dumpster enclosures may not be transported off-site via surface flow. Drains to the sanitary sewer collection system must be included in the site work. As such, a detail of the enclosure with the drain and revised corner spot elevations must be shown.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file (F18/D58)

P.O. Box 1293

Albuquerque

New Mexico 87103

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# CITY OF ALBUQUERQUE



September 13, 2006

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: San Pedro Center Grading and Drainage Plan**  
**Engineer's Stamp dated 9-6-06 (F18/D58)**

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 9-8-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Provide details for the rundowns leading to the sidewalk culverts.
- Provide the downstream invert for the east sidewalk culvert.
- Per the DPM Chapter 22 Section 9, runoff from the trash enclosure pad is required to drain to the sanitary sewer.

If you have any questions, you can contact me at 924-3695.

Sincerely,

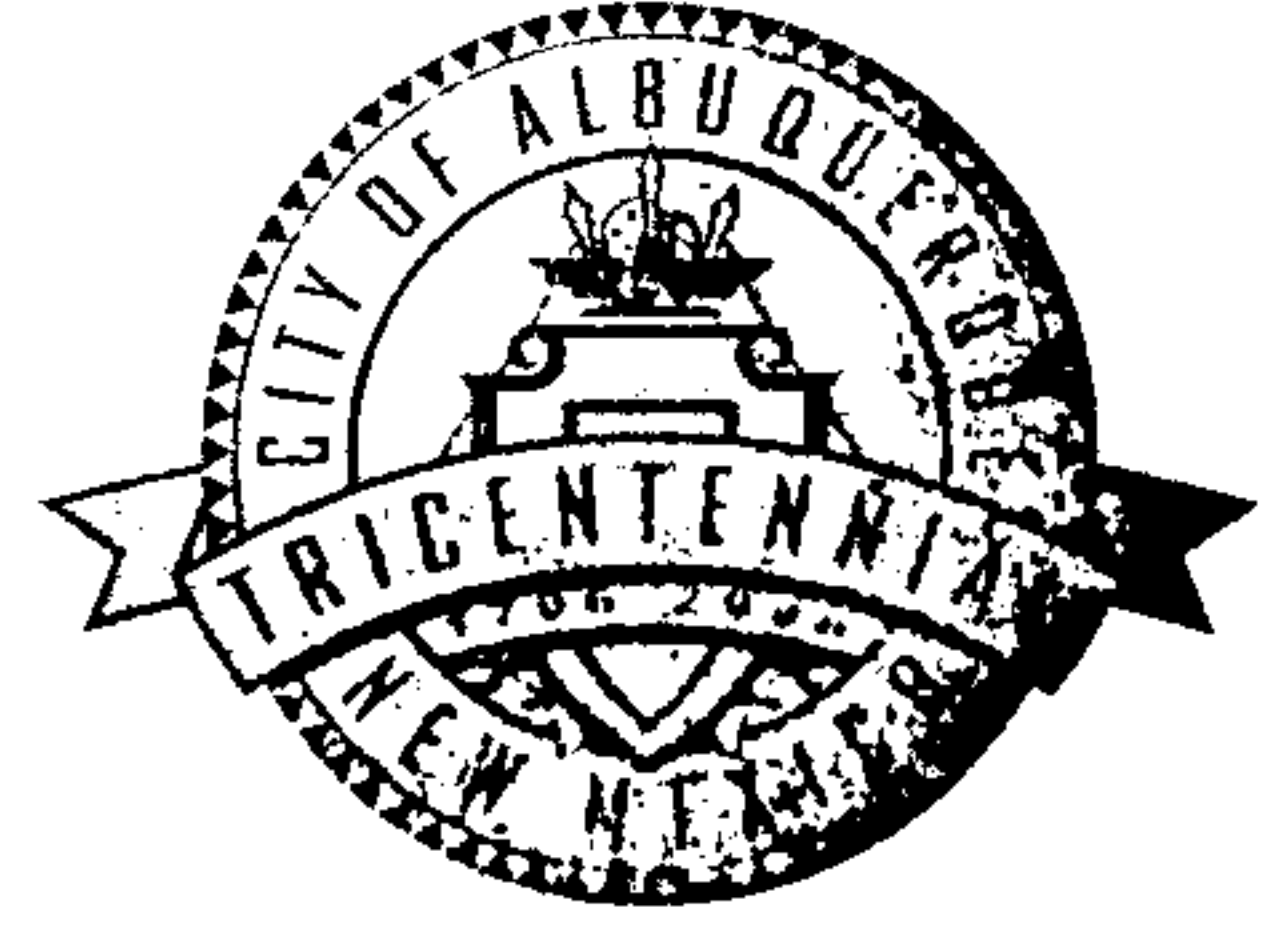
Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

BA

C: file



# CITY OF ALBUQUERQUE



February 27, 2007

William McConnell, R.A.  
3011 Jane Pl. NE # 205  
Albuquerque, NM 87111

Re: San Pedro Plaza, 6125 Montgomery Blvd NE, Traffic Circulation Layout  
Architect's Stamp dated 2-21-07 (F18-D58)

Dear Mr. McConnell,

The TCL submittal received 2-21-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: SAN PABLO PLAZA FACILITY <sup>center</sup> ~~ONLY~~ ZONE MAP/DRG. FILE # F18/D058  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: 18-2

LEGAL DESCRIPTION: PORTION OF TRACT "A", GRANADA TERRACE ADDITION  
 CITY ADDRESS: 6125 MONTGOMERY BOULEVARD NE

ENGINEERING FIRM: ISAACSON & APFELMAN P.A.  
 ADDRESS: 128 MONROE STREET NE  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GENEVEVE L. DONAST  
 PHONE: 268-8828  
 ZIP CODE: 87108

OWNER: MOLLAED SAHOO / SAN PABLO PLAZA LLC  
 ADDRESS: 3716 FARRAR STREET  
 CITY, STATE: HOUSTON, TEXAS

CONTACT: MOLLAED SAHOO  
 PHONE: (713) 392-3464  
 ZIP CODE: 77005

ARCHITECT: WILLIAM A. MCCONNELL ARCHITECT  
 ADDRESS: 3011 JANE PLACE NE (205)  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: WILLIAM A. MCCONNELL  
 PHONE: 293-8777  
 ZIP CODE: 87111

SURVEYOR: ANTHONY L. HARRIS  
 ADDRESS: 2412-D MONROE STREET  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: ANTHONY L. HARRIS  
 PHONE: 889-8056  
 ZIP CODE: 87110

CONTRACTOR: RICHARDSON & RICHARDSON  
 ADDRESS: 4100 MENAUL BOULEVARD NE  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: HAR RICHARDSON  
 PHONE: 881-2268  
 ZIP CODE: 87116

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1" SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY)

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

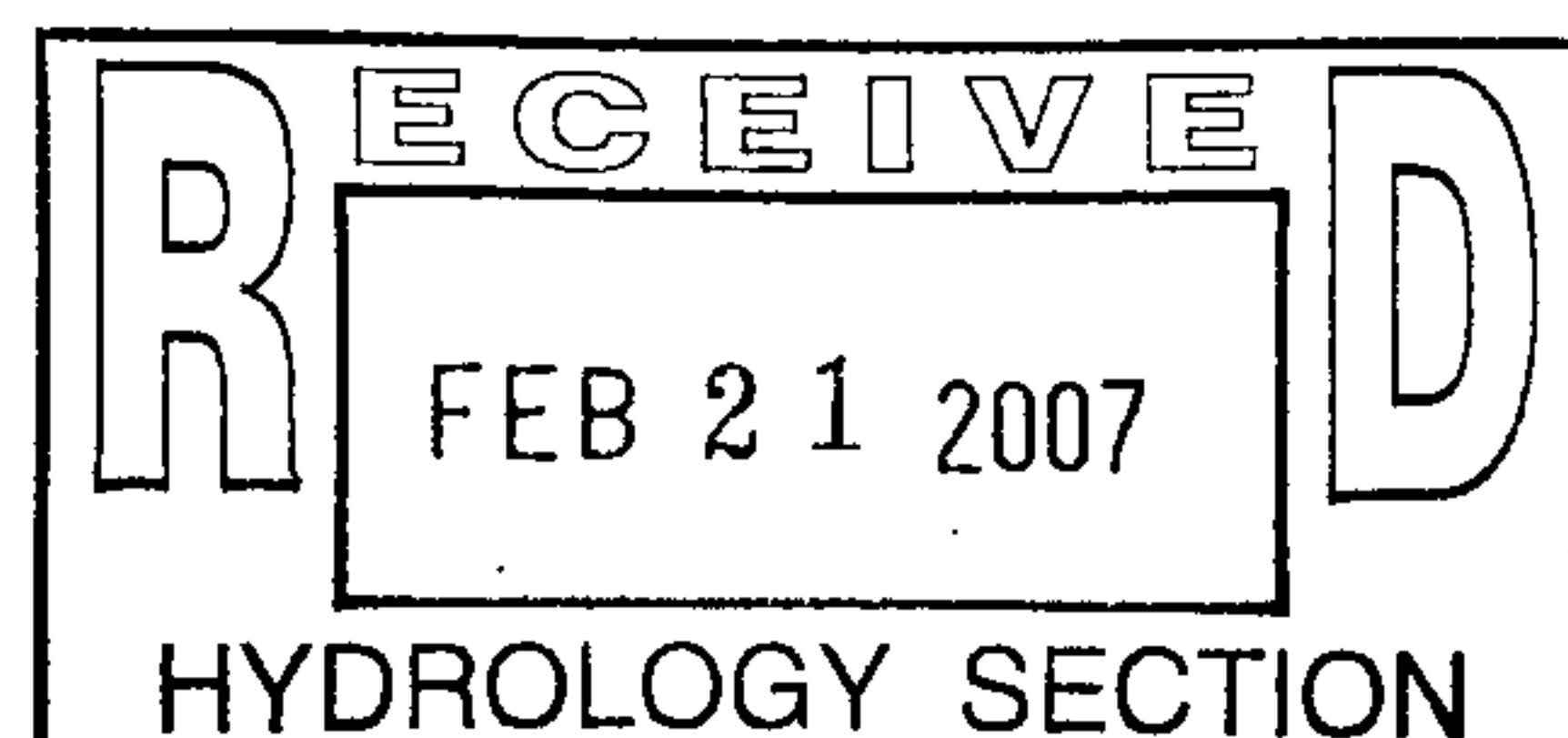
- ☐ YES  
☐ NO  
☐ COPY PROVIDED

Access off Montgomery  
 ok'd by WG

SUBMITTED BY: [Signature]DATE: 2/21/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more



02/13/2007 09:58

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GUIDOTTI AND LEE

PAGE 02/02

**GUIDOTTI AND LEE**

A PARTNERSHIP INCLUDING A PROFESSIONAL CORPORATION

ALDO P. GUIDOTTI, INC.  
CHARLES A. LEEATTORNEYS AT LAW  
ONE BATES BOULEVARD, SUITE 300  
OCHINDA, CALIFORNIA 94565  
TELEPHONE (925) 254-3450  
FAX (925) 254-6411RAYMOND E. MELLANA  
RETIRED

February 13, 2007

Via facsimile and U.S. MailCharles P. Price, III  
Myers, Oliver & Price, P.C.  
1401 Central Avenue, N.W.  
Albuquerque, NM 87104

Re: Republic Square Albuquerque, New Mexico


Dear Mr. Price:

This will acknowledge your letter of January 31, 2007, with reference to a proposed amendment to the 1968 Mutual Easement Agreement of record on the above property and your client's property.

Please be advised that the owners are not prepared to sign an amendment to the existing agreement. As I mentioned to you over the telephone, the owners would consider an abandonment of the easement.

Thank you for your courtesy in this matter.

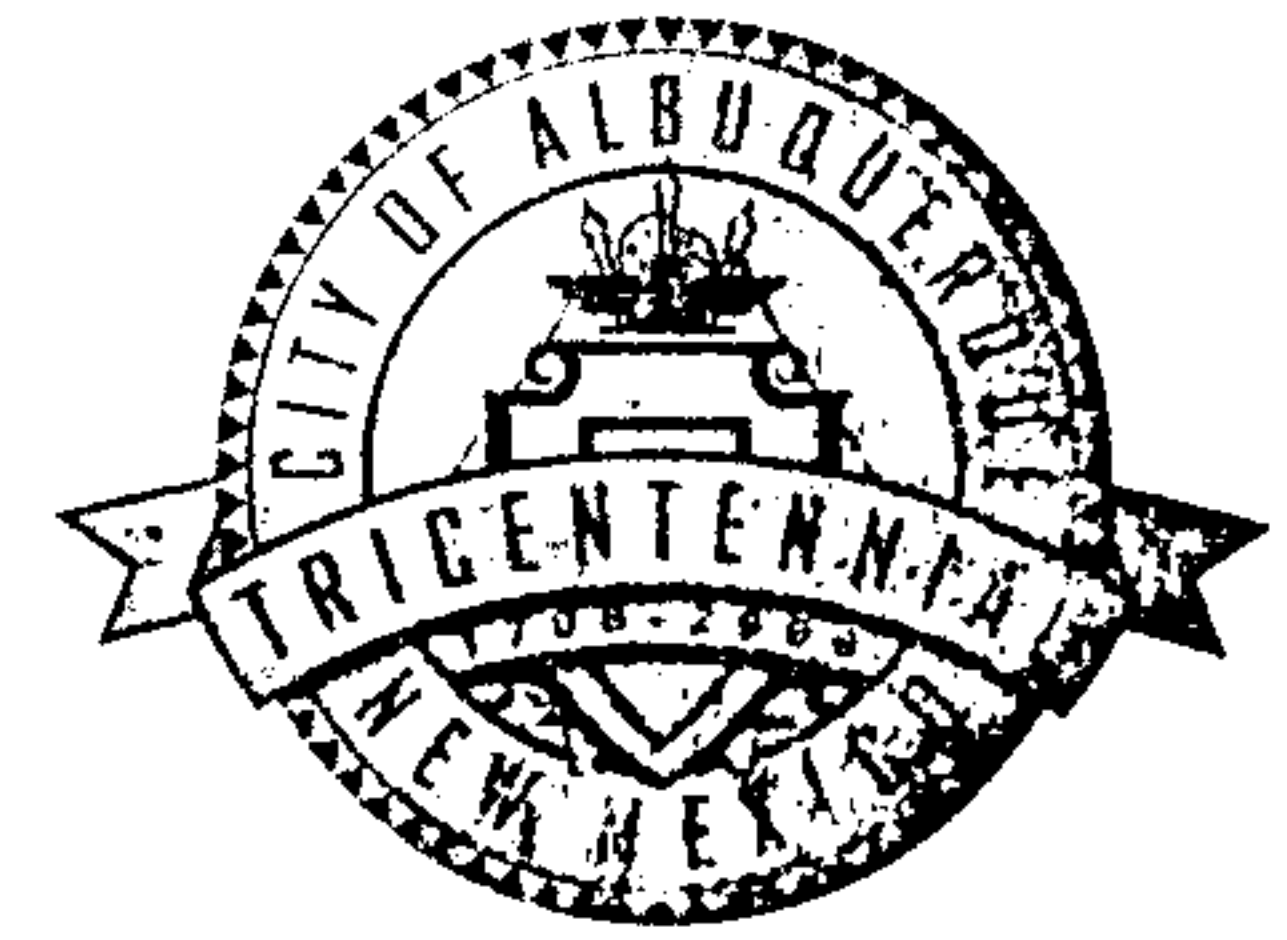
Sincerely,

By   
Aldo P. Guidotti

APG:m



# CITY OF ALBUQUERQUE



January 22, 2007

William McConnell, R.A.  
3011 Jane Pl. NE # 205  
Albuquerque, NM 87111

**Re: San Pedro Center – Shell Only, 6125 Montgomery Blvd NE,  
Traffic Circulation Layout  
Architect's Stamp undated (F18-D58)**

Dear Mr. McConnell,

Based upon the information provided in your submittal received 1-18-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Revise keyed note 15. Instead of existing median, this note should call out concrete bumpers.
2. List radii for all curves shown.
3. Provide a copy of the cross lot access easement.
4. A five-foot keyway is required for deadend parking aisles.
5. Keyed note 3 refers to an incorrect City Standard. Please revise this note to refer to City Standard Drawing Number 2430.
6. Show all wheelchair ramps on the plan. - Flush w/point at bldg
7. Based on the information provided, I assume you're placing unidirectional wheelchair ramps within the right-of-way. Note that City Standards 2426 and 2420 should not be referenced here. Revise keyed note 2 to specify this and call out the maximum slope, which is 1 (vertical) to 12 (horizontal).
8. Concrete bumpers cannot be placed within a parking stall that is only 18 feet in length. A standard parking space may have a minimum length of 18 feet with a 2-foot overhang, or a minimum length of 20 feet with bumpers. In addition, be sure to protect the light fixture (as called out in keyed note 25) from vehicle overhang.
9. The architect's stamp should be dated, as well as stamped and signed, to help us track approved design sheets.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

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