

**From:** Patz, Logan W.  
**To:** ["Bob@desert-sky-designs.com"](mailto:Bob@desert-sky-designs.com)  
**Subject:** F18D059 Self Storage building addition 5310 San Mateo TCL Comments  
**Date:** Thursday, November 03, 2016 1:54:00 PM

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Hello Robert,

I have a few more concerns on the TCL. Please Address the following comments.

- Addressing the ADA in the notes is ok. I would like to see them in the Key Notes too.
- If you can show the words "No Parking" on the plan view in the proper location it will help the contractor.
- One of the Driveways on the San Mateo should be closed as well. You can make the remaining drive wider if you need.

Please contact me if you have any questions.

Thank you.

*Logan Patz*

Planning Department  
Transportation Development  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3630



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** SELF STORAGE BUILDING ADDITION Building Permit #: \_\_\_\_\_ City Drainage #: F180059  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: TRACT B LANDS OF HUDSON AND HUDSON  
 City Address: 5220 AND 5310 SAN MATEO BLVD NE - ALBUQUERQUE NM 87109

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** AA PROPERTIES LLC Contact: JOHN PETTY  
 Address: 5854 OSUNA ROAD NE ALBUQUERQUE NM 87109  
 Phone#: 505 883 7373 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** ROBERT MAZE Contact: ROBERT MAZE  
 Address: 3400 ALVARADO DR NE ALBUQUERQUE NM 87110  
 Phone#: 505 884 3304 Fax#: \_\_\_\_\_ E-mail: BOB@DESERT-SKY-DESIGNS.COM

**Other Contact:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 10/26/2016 By: ROBERT MAZE

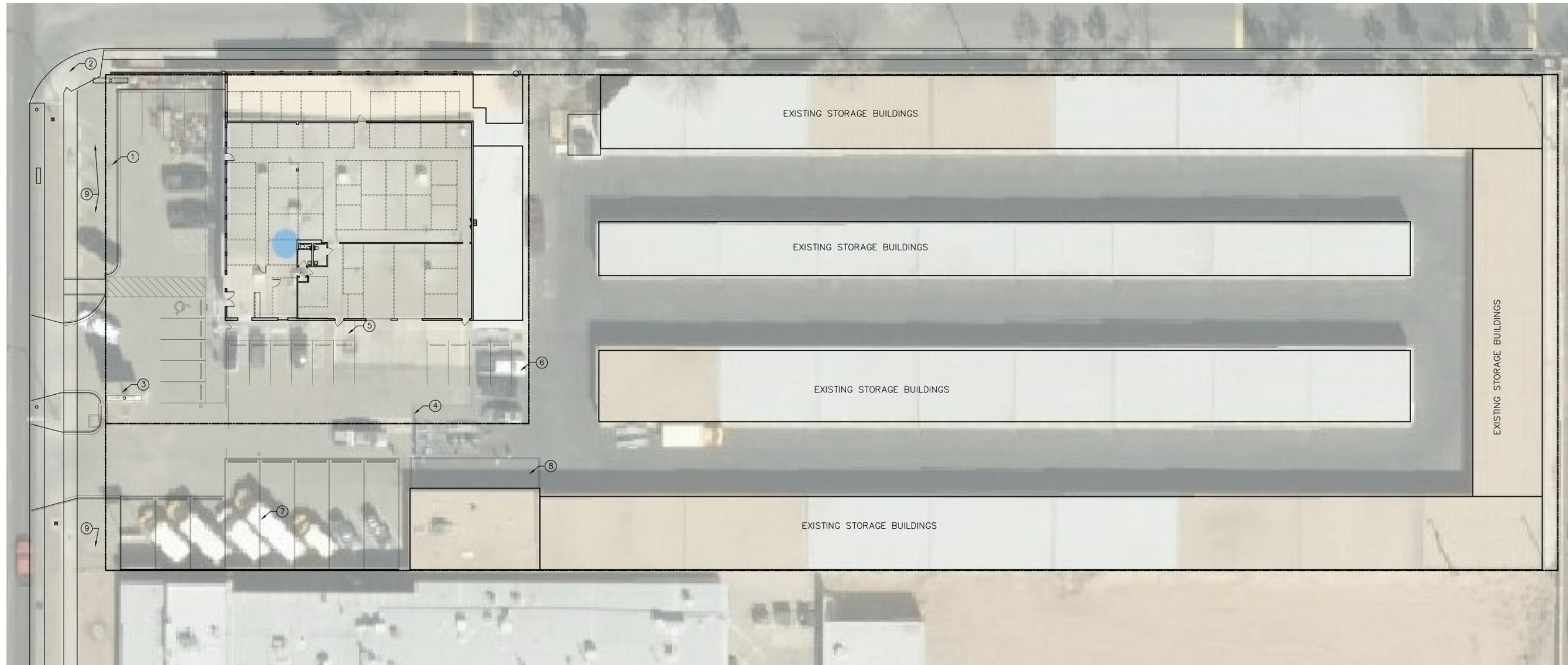
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

UPC: 101806101536720115  
 Owner: AA PROPERTIES LLC  
 Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109  
 Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109  
 Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC  
 Acres: 0.546

Designation: C3  
 Land Use Classification:  
 Category: COMMERCIAL

**SLA**  
**DEVELOPMENT**  
 515 Wyoming Blvd SE  
 Suite A-1  
 Albuquerque, NM 87123  
 www.sladevelopment.com

**DESERT SKY**  
**DESIGNS**  
 3400 Alvarado Dr NE  
 Albuquerque, NM  
 87110  
 884-3304  
 desert-sky-designs.com



**5310 SAN MATEO BLVD NE**  
 ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION  
**EXISTING SITE PLAN**



EXISTING PARKING  
 REQUIRED:  
 TOTAL BUILDING SQ FT = 8,000 GROSS  
 OFFICE/RETAIL = 8000 / 1 SPACE PER 200 SF / 40 SPACES REQUIRED  
 CARETAKER RESIDENCE / ONE BATHROOM / 1 SPACE REQUIRED  
 HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE  
 PROVIDED:  
 28 SPACES / 2 VAN ACCESSIBLE

- KEYED NOTES:
1. PARKING WITHIN ROAD EASEMENT SHALL BE CONVERTED TO LANDSCAPING
  2. USE OF EXISTING CORNER CURB CUT BY VEHICLES SHALL BE DISCONTINUED
  3. SIGN SHALL BE RELOCATED
  4. SECURITY GATE SHALL BE REMOVED
  5. PARKING ALONG SOUTH SIDE OF BUILDING SHALL BE MOVED TO 8' FROM BUILDING
  6. PARKING AT EXISTING SECURITY FENCE SHALL BE RECONFIGURED TO ALLOW BETTER VEHICLE CIRCULATION
  7. EXISTING DIAGONAL PARKING AT SOUTH PROPERTY LINE SHALL BE REMOVED
  8. ASPHALT PAVEMENT SHALL BE REMOVED AT CARETAKER RESIDENCE COURTYARD
  9. ASPHALT PAVEMENT SHALL BE REMOVED AT NEW STREET TREE WELLS - 30' O.C.

SHEET INDEX:  
 C1 EXISTING SITE PLAN  
 C2 PROPOSED SITE PLAN  
 C3 SITE DETAILS



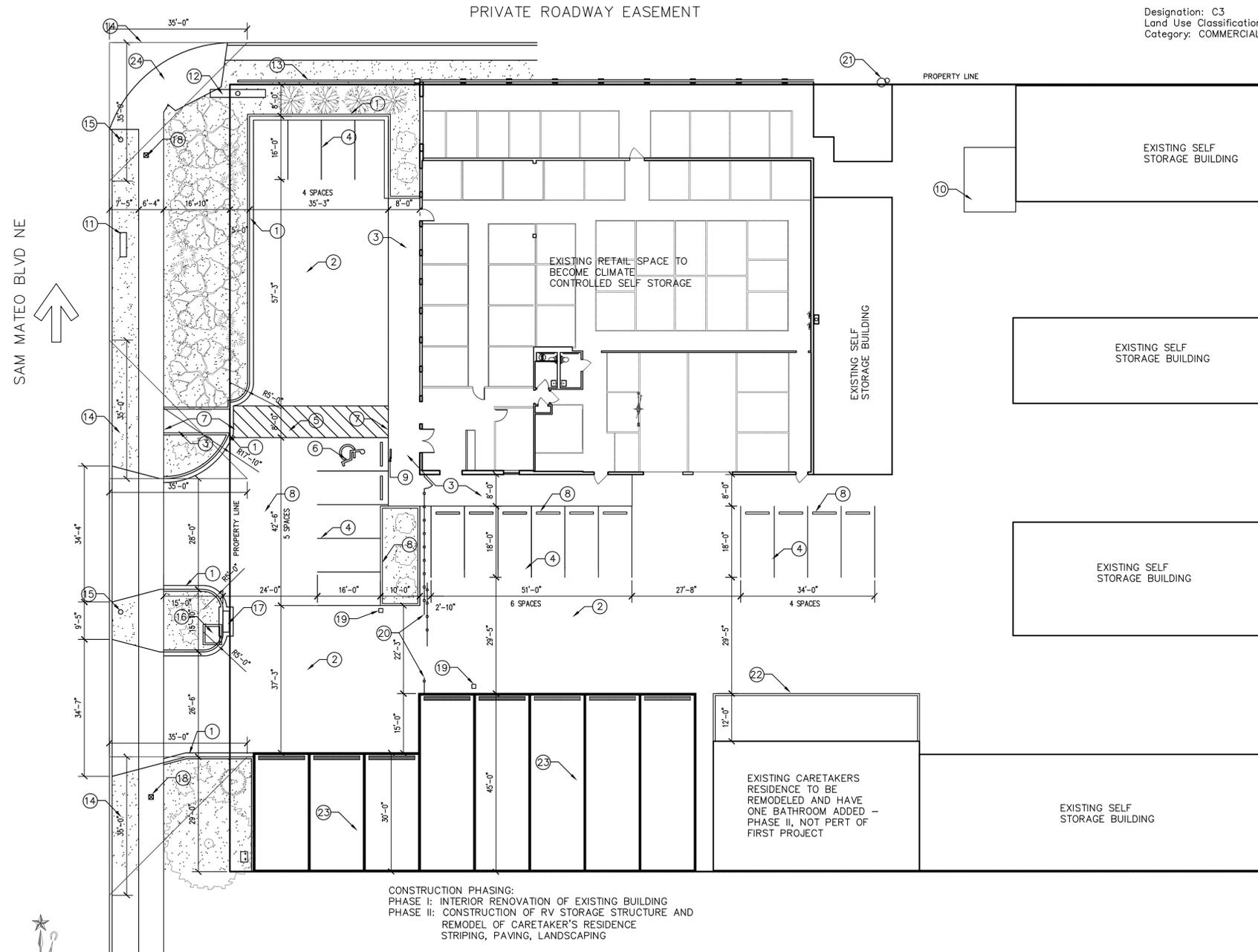
**C1**  
 10/26/2016

UPC: 101806101536720115  
 Owner: AA PROPERTIES LLC  
 Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109  
 Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109  
 Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC  
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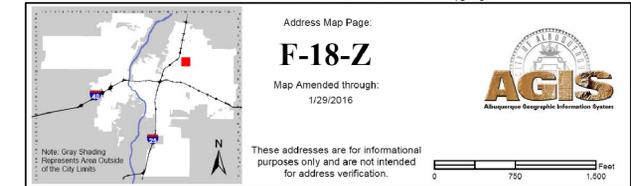
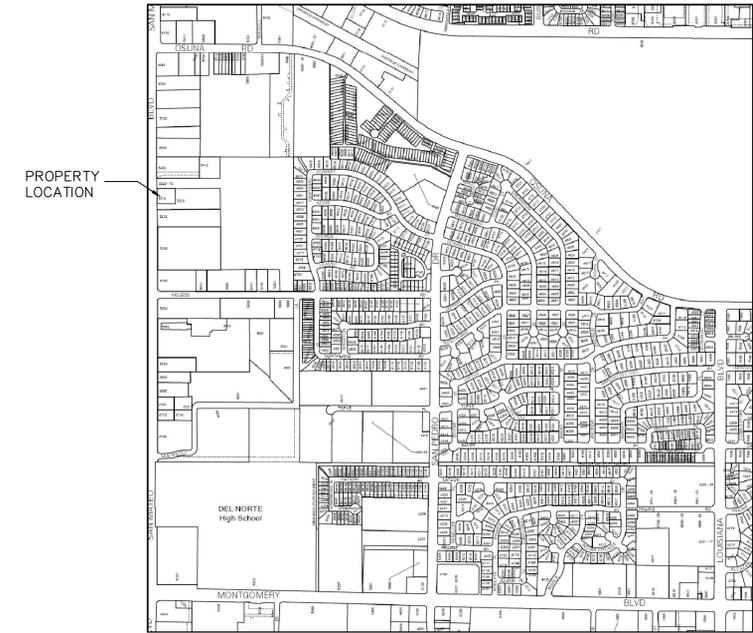
Designation: C3  
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CONSTRUCTION PHASING:  
 PHASE I: INTERIOR RENOVATION OF EXISTING BUILDING  
 PHASE II: CONSTRUCTION OF RV STORAGE STRUCTURE AND  
 REMODEL OF CARETAKER'S RESIDENCE  
 STRIPING, PAVING, LANDSCAPING



**PROPOSED SITE PLAN**  
 SCALE: 1/16"=1'-0"

**GENERAL NOTES:**

PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED

PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING

PREMISE IDENTIFICATION SHALL BE MINIMUM 10" HIGH AND SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE VISIBLE FROM THE STREET - EACH BUILDING SHALL HAVE INDIVIDUAL PREMISE I.D.

**PARKING CALCULATIONS**

REQUIRED:

TOTAL BUILDING SQ FT = 8,000 GROSS  
 CLIMATE CONTROLLED STORAGE = 7409 / 1 SPACE PER 2,000 SF / 7 SPACES REQUIRED  
 OFFICE/RETAIL = 591 / 1 SPACE PER 200 SF / 3 SPACES REQUIRED  
 CARETAKER RESIDENCE / TWO BATHROOMS / 2 SPACES REQUIRED  
 HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

TOTAL SPACES REQUIRED PHASE II: 12 SPACES INC. ONE VAN ACCESSIBLE  
 TOTAL SPACES PROVIDED PHASE II: 19 SPACES INC. ONE VAN ACCESSIBLE

**KEYED NOTES:**

- CONSTRUCT 6" CONCRETE CURB AND GUTTER
- EXISTING ASPHALT PAVEMENT WITH TOP COAT
- CONSTRUCT CONCRETE SIDEWALK
- 4" WIDE WHITE PARKING STRIPE AS SHOWN PER LOCAL CODE AND GUIDELINES - SEE NOTE SHEET C3
- 8'-0" WIDE HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CODE AND GUIDELINES
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE - SEE NOTE SHEET C3
- ASPHALT PAVING AND H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS
- INSTALL CONCRETE WHEEL STOP
- INSTALL HANDICAP PARKING SIGNAGE - SEE DETAIL SHEET C3
- EXISTING DUMPSTER LOCATION
- EXISTING BUS STOP
- PROPOSED FREE STANDING SIGN TO BE PERMITTED SEPARATELY
- EXISTING CMU RETAINING WALL
- CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCES AND SIGNAGE BETWEEN 3 AND 8 FEET ABOVE GUTTER PAN SHALL NOT VIOLATE
- EXISTING STREET LIGHT
- EXISTING DRAINAGE INLET TO BE COVERED WITH PLATE STEEL ACCESS PANEL
- PROPOSED NEW CURB INLET TO EXISTING DRAINAGE INLET
- EXISTING WATER METER
- PROPOSED GATE COLTRON TERMINAL
- PROPOSED 16' WIDE SLIDING GATE
- EXISTING POWER POLE, END OF LINE, FED FROM EAST
- PROPOSED 6' HIGH CMU PRIVACY WALL FOR RESIDENCE - PHASE II
- PROPOSED METAL RV STORAGE UNITS - PHASE II
- REMOVE EXISTING DRIVE PAD AND INSTALL NEW ADA CORNER PER ALBUQUERQUE REQ'S - SEE SHEET C3

**5310 SAN MATEO BLVD NE**  
 ALBUQUERQUE NM 87109

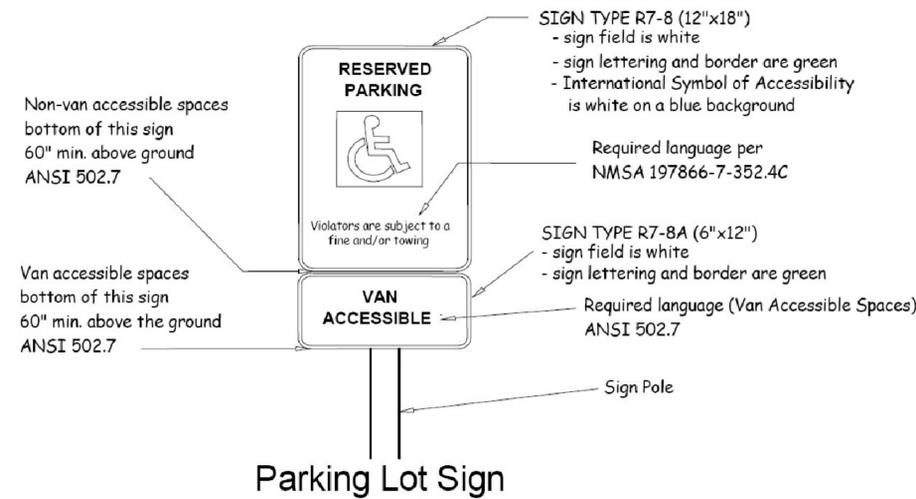
COMMERCIAL RENOVATION  
**PROPOSED SITE PLAN**



**C2**  
 10/26/2016

UPC: 101806101536720115  
 Owner: AA PROPERTIES LLC  
 Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109  
 Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109  
 Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC  
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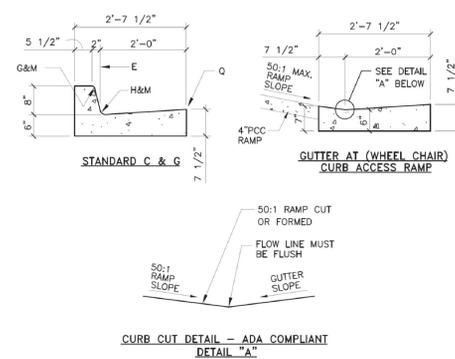
Designation: C3  
 Land Use Classification:  
 Category: COMMERCIAL



**ADA PARKING NOTES:**

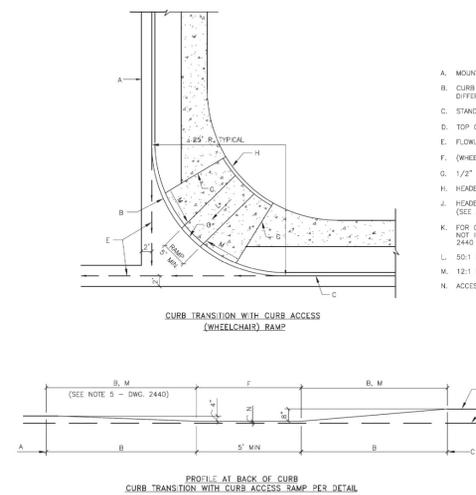
1. Surface slopes at parking and access aisle shall not exceed 1:48
2. Parking space shall have a clearly visible, blue, International Symbol of Accessibility painted on the pavement at rear of the space (66-1-4.1.E NMSA 1978) or MUTCD recommends a white symbol on a blue background.
3. GCD recommends the parking space lines be painted blue
4. Access aisle shall have blue, diagonal striping. (66-1-4.1.B NMSA 1978).
5. Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

from 2003 NEW MEXICO ACCESSIBLE PARKING CHECKLIST  
<http://www.gcd.state.nm.us/uploads/FileLinks/8d3b546d2e2347dbbe904b4d15e44a1e/parkcheck.pdf>



- GENERAL NOTES:**
1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
  2. FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
  3. FOR ALL OTHER C & G CUT-OFF WALL, PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXP. JOIS. AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
  4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
  5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
  6. STANDARD C & G SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
  7. REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
  8. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
  9. ADA = AMERICANS WITH DISABILITY ACT.

**CONSTRUCTION NOTES:**  
 SEE CSA DRAWING 2415B



**CURB CUT DETAILS - ADA CORNER RAMP**

SCALE: 1/16"=1'-0"  
 from StandardSpecks2011Vol2062811reduced  
 City of Albuquerque DWG 2418

**CURB CUT DETAILS**

SCALE: 1/2"=1'-0"  
 from StandardSpecks2011Vol2062811reduced  
 City of Albuquerque DWG 2415A

**GENERAL NOTES:**

1. All broken or cracked sidewalk must be replaced with sidewalk and curb and gutter.
2. Provide Detectable Warnings at Curb Ramps -
3. Detectable warning surface shall be cast in place and replaceable
4. Area Covered. Detectable warnings shall be 24 inches minimum in the direction of travel and extend the full width of the curb ramp or flush surface.
5. Location. the detectable warning shall be located so the edge nearest the curb line is 6 inches to 8 inches from the curb line.
6. Detectable warning surfaces shall have Truncated Domes complying with the following:
  7. Size. Truncated domes shall have a base diameter of 0.9 inch (23 mm) minimum to 1.4 inch (36 mm) maximum, and a top diameter of 50 percent minimum to 65 percent maximum of the base diameter.
  8. Height. Truncated domes shall have a height of 0.2 inch (5.1 mm).
  9. Spacing. Truncated domes shall have a center-to-center spacing of 1.6 inches (41 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (16.5 mm) minimum, measured between the most adjacent
  10. Alignment. Truncated domes shall be aligned in a square grid pattern.