

CITY OF ALBUQUERQUE



October 25, 2016

Robert Maze
3400 Alvarado Dr. NE
Albuquerque, NM 87109

Re: Self Storage Building Addition
5310 San Mateo Blvd. NE
Traffic Circulation Layout
Architect's Stamp 10-13-16 (F18-D059)

Dear Mr. Maze

Based upon the information provided in your submittal received 10-14-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the number of parking spaces required by the zoning code.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
3. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. Install an ADA curb ramp with detectable warning surface (truncated domes) at the corner. Add note: "Detectable warning surface shall be cast in place replaceable"
5. Change parking on North West side of the site to head-in parking.
6. Close one driveway curb cut.
7. Remove driveway on corner, unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
8. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-6330.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: SELF STORAGE BUILDING ADDITION Building Permit #: _____ City Drainage #: F18D059
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT B LANDS OF HUDSON & HUDSON
City Address: 5310 SAN MATEO BLVD NE - ALBUQUERQUE NM 87109

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: AA PROPERTIES LLC Contact: John Petty
Address: 5854 Osuna Road NE Albuquerque, NM 87109
Phone#: (505) 883-7373 Fax#: _____ E-mail: _____

Architect: Robert Maze Contact: Robert Maze
Address: 3400 Alvarado Dr NE Albuquerque NM 87110
Phone#: 505 884 3304 Fax#: _____ E-mail: bob@desert-sky-designs.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

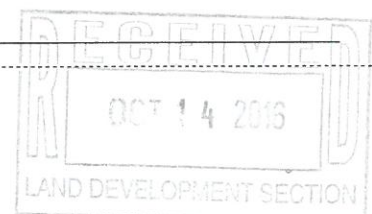
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

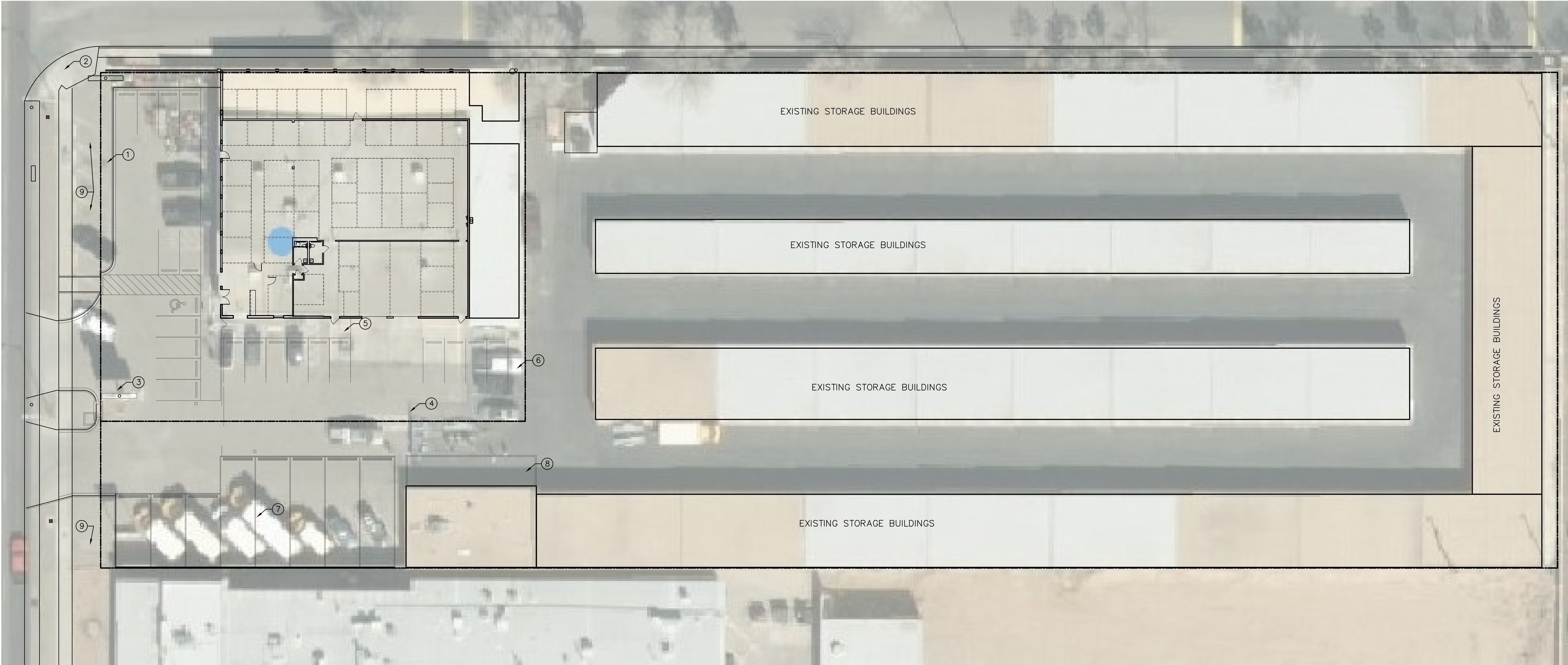
DATE SUBMITTED: 10/14/2016 By: Robert Maze

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



UPC: 101806101536720115
Owner: AA PROPERTIES LLC
Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109
Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109
Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC
Acres: 0.546

Designation: C3
Land Use Classification:
Category: COMMERCIAL



EXISTING SITE PLAN

SCALE: 1"=20'-0"

EXISTING PARKING

REQUIRED:

TOTAL BUILDING SQ. FT. = 8,000 GROSS
OFFICE/RETAIL = 8000 / 1 SPACE PER 200 SF / 40 SPACES REQUIRED
CARETAKER RESIDENCE / ONE BATHROOM / 1 SPACE REQUIRED
HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

PROVIDED:

28 SPACES / 2 VAN ACCESSIBLE

KEYED NOTES:

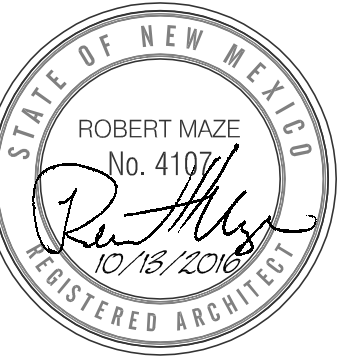
1. PARKING WITHIN ROAD EASEMENT SHALL BE CONVERTED TO LANDSCAPING
2. USE OF EXISTING CORNER CURB CUT BY VEHICLES SHALL BE DISCONTINUED
3. SIGN SHALL BE RELOCATED
4. SECURITY GATE SHALL BE REMOVED
5. PARKING ALONG SOUTH SIDE OF BUILDING SHALL BE MOVED TO 8' FROM BUILDING
6. PARKING AT EXISTING SECURITY FENCE SHALL BE RECONFIGURED TO ALLOW BETTER VEHICLE CIRCULATION
7. EXISTING DIAGONAL PARKING AT SOUTH PROPERTY LINE SHALL BE REMOVED
8. ASPHALT PAVEMENT SHALL BE REMOVED AT CARETAKER RESIDENCE COURTYARD
9. ASPHALT PAVEMENT SHALL BE REMOVED AT NEW STREET TREE WELLS - 30' O.C.

SHEET INDEX:

- C1 EXISTING SITE PLAN
C2 PROPOSED SITE PLAN

5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
EXISTING SITE PLAN



C1

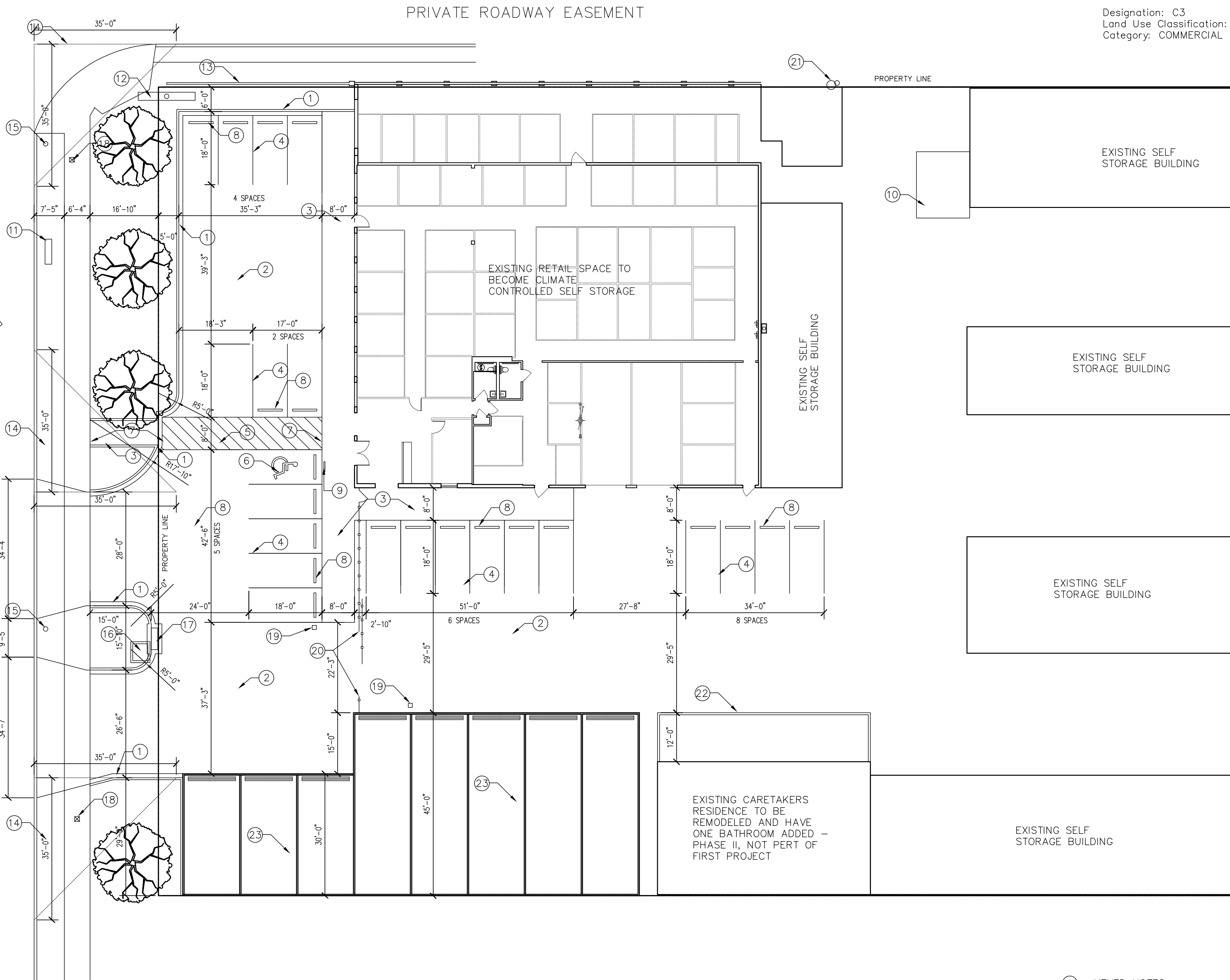
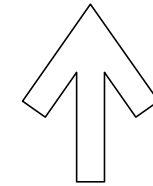
10/13/2016



PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

SAN MATEO BLVD NE



GENERAL NOTES:

PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED

PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING

PREMISE IDENTIFICATION SHALL BE MINIMUM 10" HIGH AND SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE VISIBLE FROM THE STREET - EACH BUILDING SHALL HAVE INDIVIDUAL PREMISE I.D.

PARKING CALCULATIONS

REQUIRED:

TOTAL BUILDING SQ FT = 8,000 GROSS
CLIMATE CONTROLLED STORAGE = 7409 / 1 SPACE PER 2,000 SF / 7 SPACES REQUIRED
OFFICE/RETAIL = 591 / 1 SPACE PER 200 SF / 3 SPACES REQUIRED
CARETAKER RESIDENCE / TWO BATHROOMS / 2 SPACES REQUIRED
HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

PROVIDED:

21 SPACES / 1 VAN ACCESSIBLE

KEYED NOTES:

1. CONSTRUCT 6" CONCRETE CURB AND GUTTER
2. EXISTING ASPHALT PAVEMENT WITH TOP COAT
3. CONSTRUCT CONCRETE SIDEWALK
4. 4" WIDE WHITE PARKING STRIPE AS SHOWN PER LOCAL CODE AND GUIDELINES
5. 8'-0" WIDE HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CODE AND GUIDELINES
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE
7. ASPHALT PAVING AND H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS
8. INSTALL CONCRETE WHEEL STOP
9. INSTALL HANDICAP PARKING SIGNAGE
10. EXISTING DUMPSTER LOCATION
11. EXISTING BUS STOP
12. PROPOSED FREE STANDING SIGN TO BE PERMITTED SEPARATELY
13. EXISTING CMU RETAINING WALL
14. CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCES AND SIGNAGE BETWEEN 3 AND 8 FEET ABOVE GUTTER PAN SHALL NOT VIOLATE
15. EXISTING STREET LIGHT
16. EXISTING DRAINAGE INLET TO BE COVERED WITH PLATE STEEL ACCESS PANEL
17. PROPOSED NEW CURB INLET TO EXISTING DRAINAGE INLET
18. EXISTING WATER METER
19. PROPOSED GATE CONTROL TERMINAL
20. PROPOSED 16' WIDE SLIDING GATE
21. EXISTING POWER POLE, END OF LINE, FED FROM EAST
22. PROPOSED 6' HIGH CMU PRIVACY WALL FOR RESIDENCE - PHASE II
23. PROPOSED METAL RV STORAGE UNITS - PHASE II

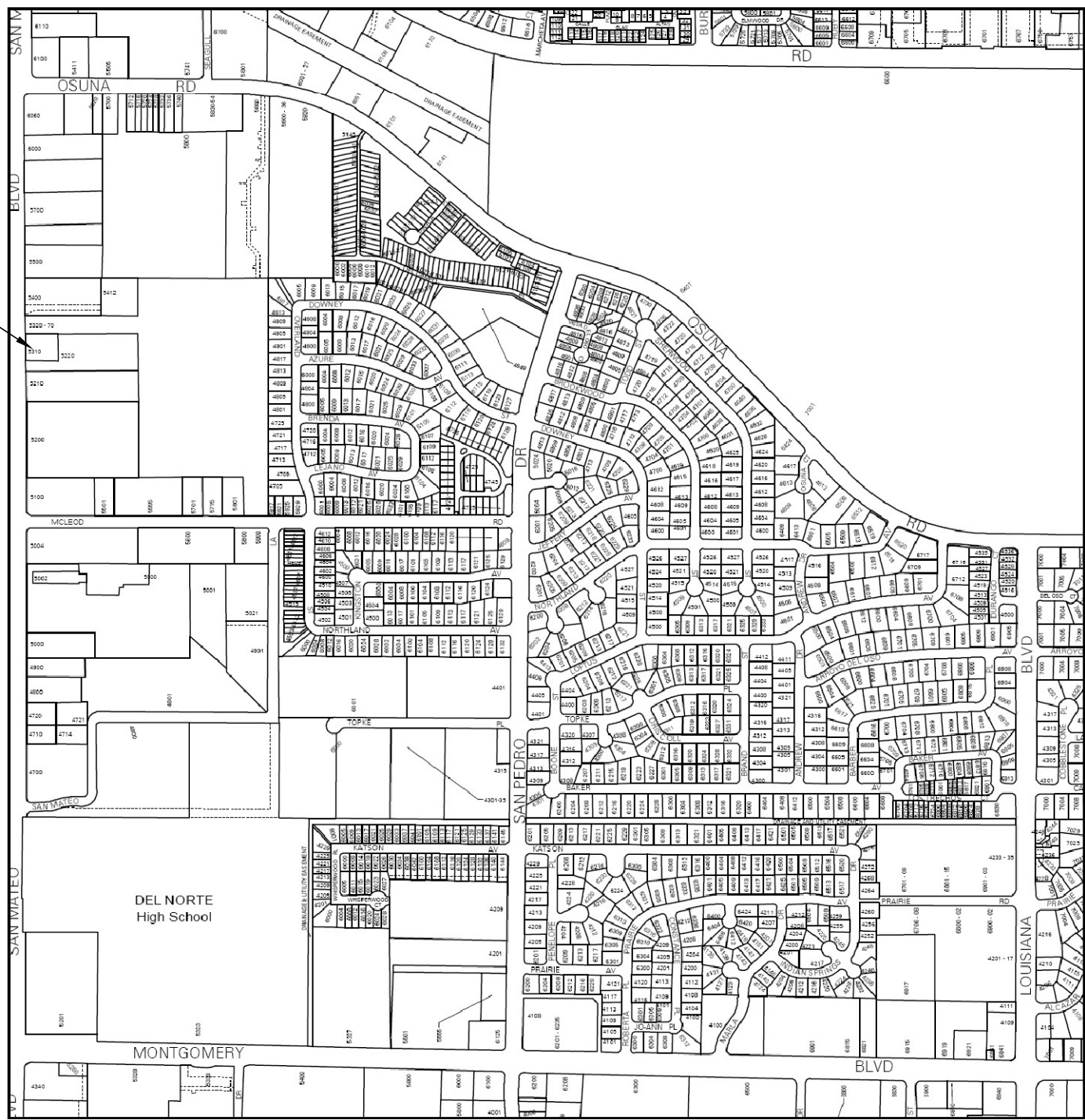
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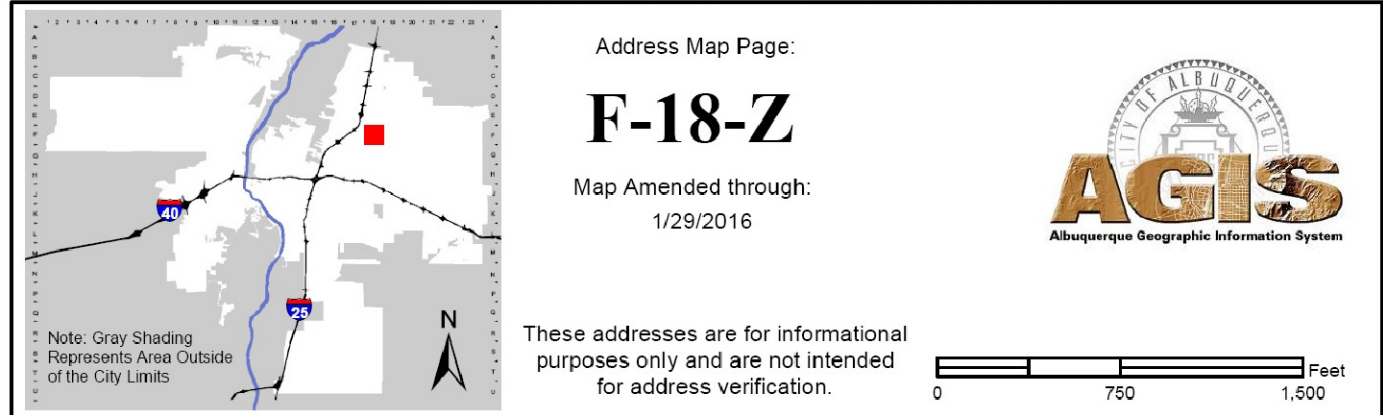
SLA
DEVELOPMENT
515 Wyoming Blvd SE
Suite A-1
Albuquerque, NM 87123
www.sladevelopment.com

DESERT SKY
DESIGNS
3400 Alvarado Dr NE
Albuquerque, NM
87110
884-3304
desert-sky-designs.com

PROPERTY LOCATION

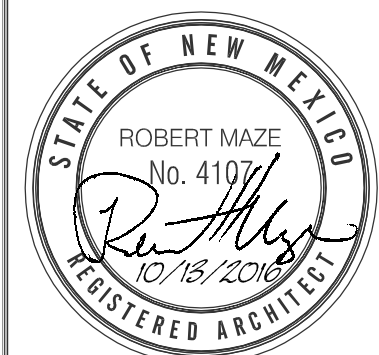


For more current information and details visit: www.cabq.gov/gis



5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
PROPOSED SITE PLAN



C2

10/13/2016