

From: Patz, Logan W.
To: ["Bob@desert-sky-designs.com"](mailto:Bob@desert-sky-designs.com)
Subject: F18D059 Self Storage building addition 5310 San Mateo TCL Comments
Date: Thursday, November 03, 2016 1:54:00 PM

Hello Robert,

I have a few more concerns on the TCL. Please Address the following comments.

- Addressing the ADA in the notes is ok. I would like to see them in the Key Notes too.
- If you can show the words "No Parking" on the plan view in the proper location it will help the contractor.
- One of the Driveways on the San Mateo should be closed as well. You can make the remaining drive wider if you need.

Please contact me if you have any questions.

Thank you.

Logan Patz

Planning Department
Transportation Development
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3630



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: SELF STORAGE BUILDING ADDITION **Building Permit #:** _____ **City Drainage #:** F180059
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT B LANDS OF HUDSON AND HUDSON
City Address: 5220 AND 5310 SAN MATEO BLVD NE - ALBUQUERQUE NM 87109

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: AA PROPERTIES LLC **Contact:** JOHN PETTY
Address: 5854 OSUNA ROAD NE ALBUQUERQUE NM 87109
Phone#: 505 883 7373 **Fax#:** _____ **E-mail:** _____

Architect: ROBERT MAZE **Contact:** ROBERT MAZE
Address: 3400 ALVARADO DR NE ALBUQUERQUE NM 87110
Phone#: 505 884 3304 **Fax#:** _____ **E-mail:** BOB@DESERT-SKY-DESIGNS.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 10/26/2016 **By:** ROBERT MAZE

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

UPC: 101806101536720115
Owner: AA PROPERTIES LLC
Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109
Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109
Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC
Acres: 0.546

Designation: C3
Land Use Classification:
Category: COMMERCIAL

SLA
DEVELOPMENT
515 Wyoming Blvd SE
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www.sladevelopment.com

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EXISTING SITE PLAN

SCALE: 1"=20'-0"

EXISTING PARKING

REQUIRED:

TOTAL BUILDING SQ. FT. = 8,000 GROSS
OFFICE/RETAIL = 8000 / 1 SPACE PER 200 SF / 40 SPACES REQUIRED
CARETAKER RESIDENCE / ONE BATHROOM / 1 SPACE REQUIRED
HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

PROVIDED:

28 SPACES / 2 VAN ACCESSIBLE

KEYED NOTES:

1. PARKING WITHIN ROAD EASEMENT SHALL BE CONVERTED TO LANDSCAPING
2. USE OF EXISTING CORNER CURB CUT BY VEHICLES SHALL BE DISCONTINUED
3. SIGN SHALL BE RELOCATED
4. SECURITY GATE SHALL BE REMOVED
5. PARKING ALONG SOUTH SIDE OF BUILDING SHALL BE MOVED TO 8' FROM BUILDING
6. PARKING AT EXISTING SECURITY FENCE SHALL BE RECONFIGURED TO ALLOW BETTER VEHICLE CIRCULATION
7. EXISTING DIAGONAL PARKING AT SOUTH PROPERTY LINE SHALL BE REMOVED
8. ASPHALT PAVEMENT SHALL BE REMOVED AT CARETAKER RESIDENCE COURTYARD
9. ASPHALT PAVEMENT SHALL BE REMOVED AT NEW STREET TREE WELLS - 30' O.C.

SHEET INDEX:

- C1 EXISTING SITE PLAN
- C2 PROPOSED SITE PLAN
- C3 SITE DETAILS

5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
EXISTING SITE PLAN

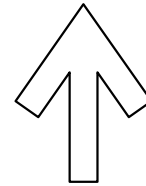


C1

10/26/2016



SAM MATEO BLVD NE



PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

GENERAL NOTES:

PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED

PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING

PREMISE IDENTIFICATION SHALL BE MINIMUM 10" HIGH AND SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE VISIBLE FROM THE STREET - EACH BUILDING SHALL HAVE INDIVIDUAL PREMISE I.D.

PARKING CALCULATIONS

REQUIRED:

TOTAL BUILDING SQ FT = 8,000 GROSS
CLIMATE CONTROLLED STORAGE = 7409 / 1 SPACE PER 2,000 SF / 7 SPACES REQUIRED
OFFICE/RETAIL = 591 / 1 SPACE PER 200 SF / 3 SPACES REQUIRED
CARETAKER RESIDENCE / TWO BATHROOMS / 2 SPACES REQUIRED
HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

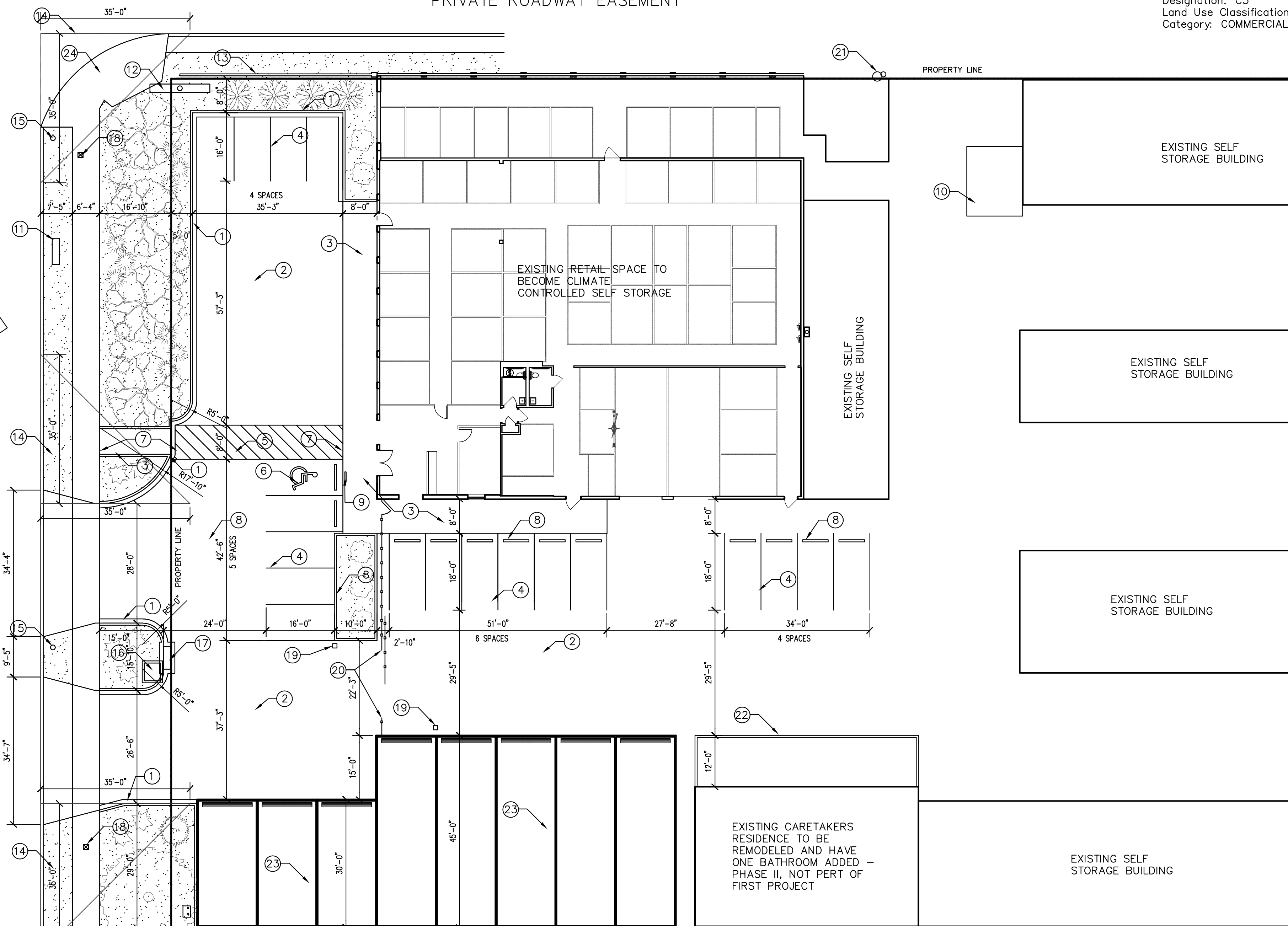
TOTAL SPACES REQUIRED PHASE II: 12 SPACES INC. ONE VAN ACCESSIBLE
TOTAL SPACES PROVIDED PHASE II: 19 SPACES INC. ONE VAN ACCESSIBLE

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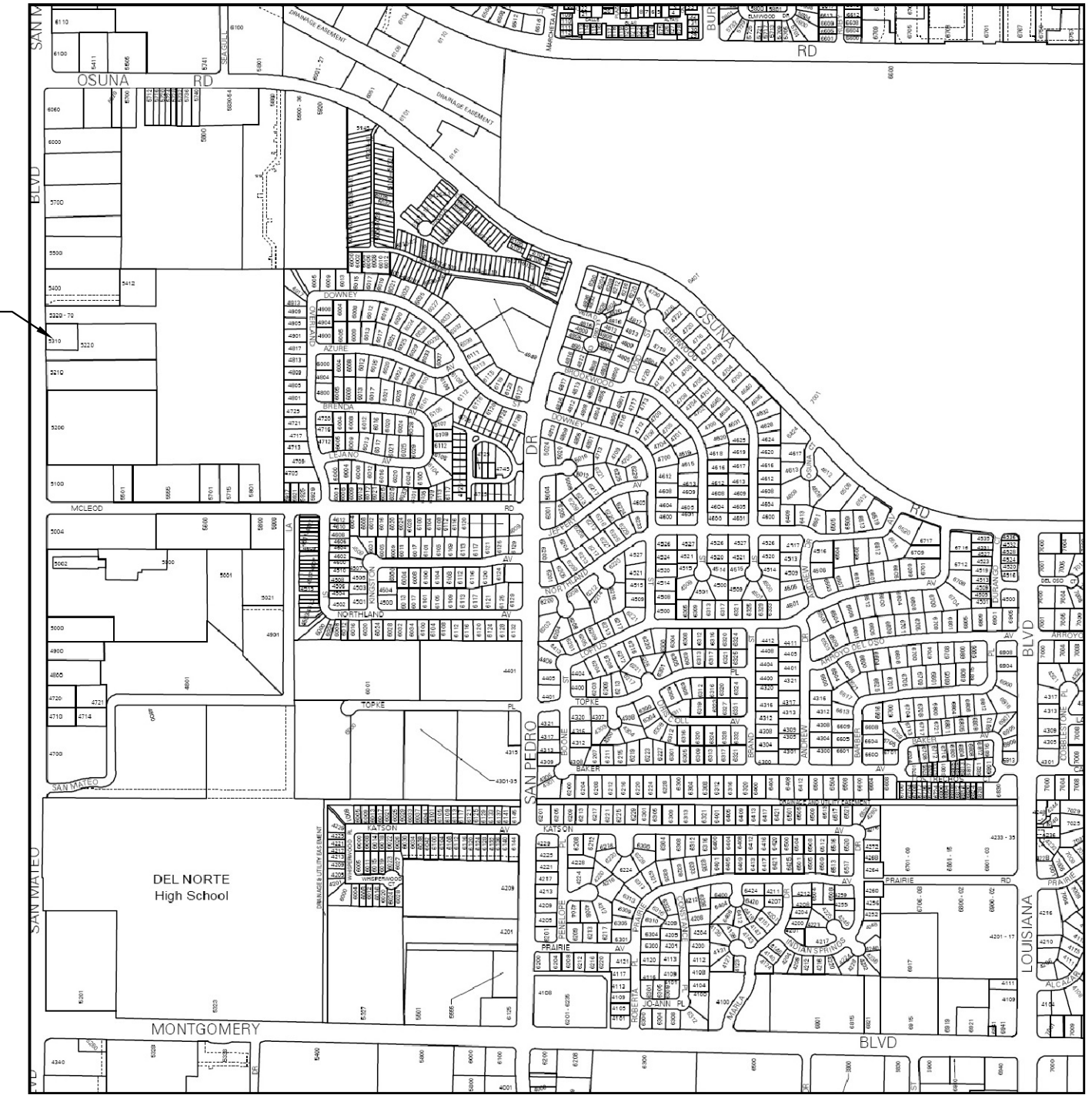
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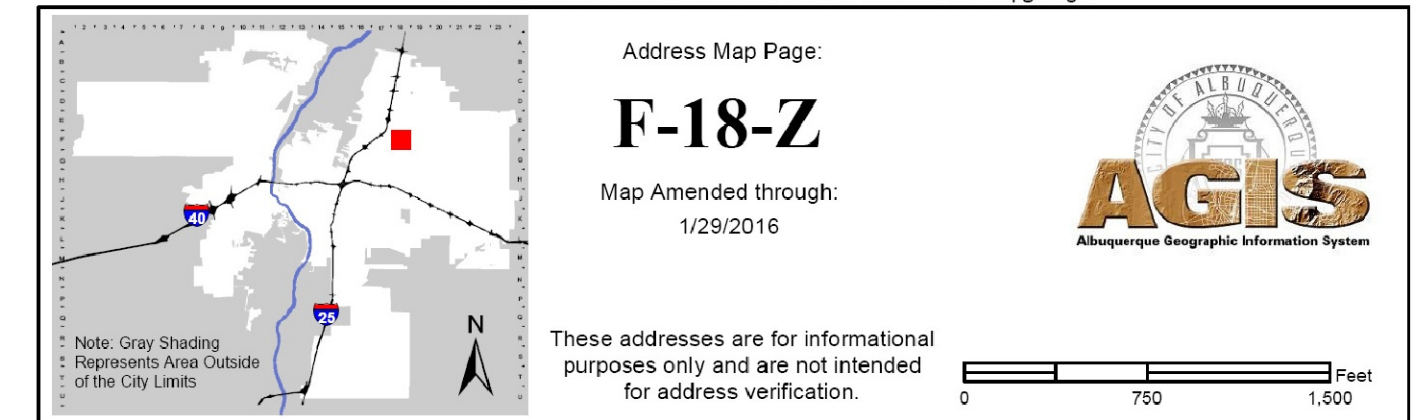


CONSTRUCTION PHASING:
PHASE I: INTERIOR RENOVATION OF EXISTING BUILDING
PHASE II: CONSTRUCTION OF RV STORAGE STRUCTURE AND
REMODEL OF CARETAKER'S RESIDENCE
STRIPING, PAVING, LANDSCAPING

PROPERTY
LOCATION



For more current information and details visit: www.cabq.gov/gis

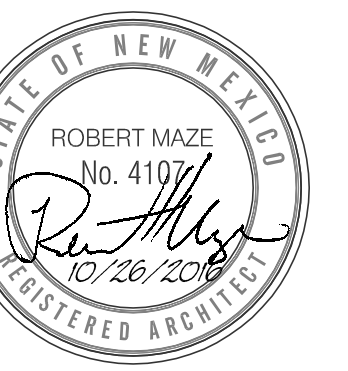


KEYED NOTES:

1. CONSTRUCT 6" CONCRETE CURB AND GUTTER
2. EXISTING ASPHALT PAVEMENT WITH TOP COAT
3. CONSTRUCT CONCRETE SIDEWALK
4. 4" WIDE WHITE PARKING STRIPE AS SHOWN PER LOCAL CODE AND GUIDELINES - SEE NOTE SHEET C3
5. 8'-0" WIDE HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CODE AND GUIDELINES
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE - SEE NOTE SHEET C3
7. ASPHALT PAVING AND H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS
8. INSTALL CONCRETE WHEEL STOP
9. INSTALL HANDICAP PARKING SIGNAGE - SEE DETAIL SHEET C3
10. EXISTING DUMPSTER LOCATION
11. EXISTING BUS STOP
12. PROPOSED FREE STANDING SIGN TO BE PERMITTED SEPARATELY
13. EXISTING CMU RETAINING WALL
14. CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCES AND SIGNAGE BETWEEN 3 AND 8 FEET ABOVE GUTTER PAN SHALL NOT VIOLATE
15. EXISTING STREET LIGHT
16. EXISTING DRAINAGE INLET TO BE COVERED WITH PLATE STEEL ACCESS PANEL
17. PROPOSED NEW CURB INLET TO EXISTING DRAINAGE INLET
18. EXISTING WATER METER
19. PROPOSED GATE COLTROL TERMINAL
20. PROPOSED 16' WIDE SLIDING GATE
21. EXISTING POWER POLE, END OF LINE, FED FROM EAST
22. PROPOSED 6' HIGH CMU PRIVACY WALL FOR RESIDENCE - PHASE II
23. PROPOSED METAL RV STORAGE UNITS - PHASE II
24. REMOVE EXISTING DRIVE PAD AND INSTALL NEW ADA CORNER PER ALBUQUERQUE REQ'S - SEE SHEET C3

5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
PROPOSED SITE PLAN



C2

10/26/2016

UPC: 101806101536720115
Owner: AA PROPERTIES LLC
Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109
Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109
Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC
Acres: 0.546

Designation: C3
Land Use Classification:
Category: COMMERCIAL

SLA

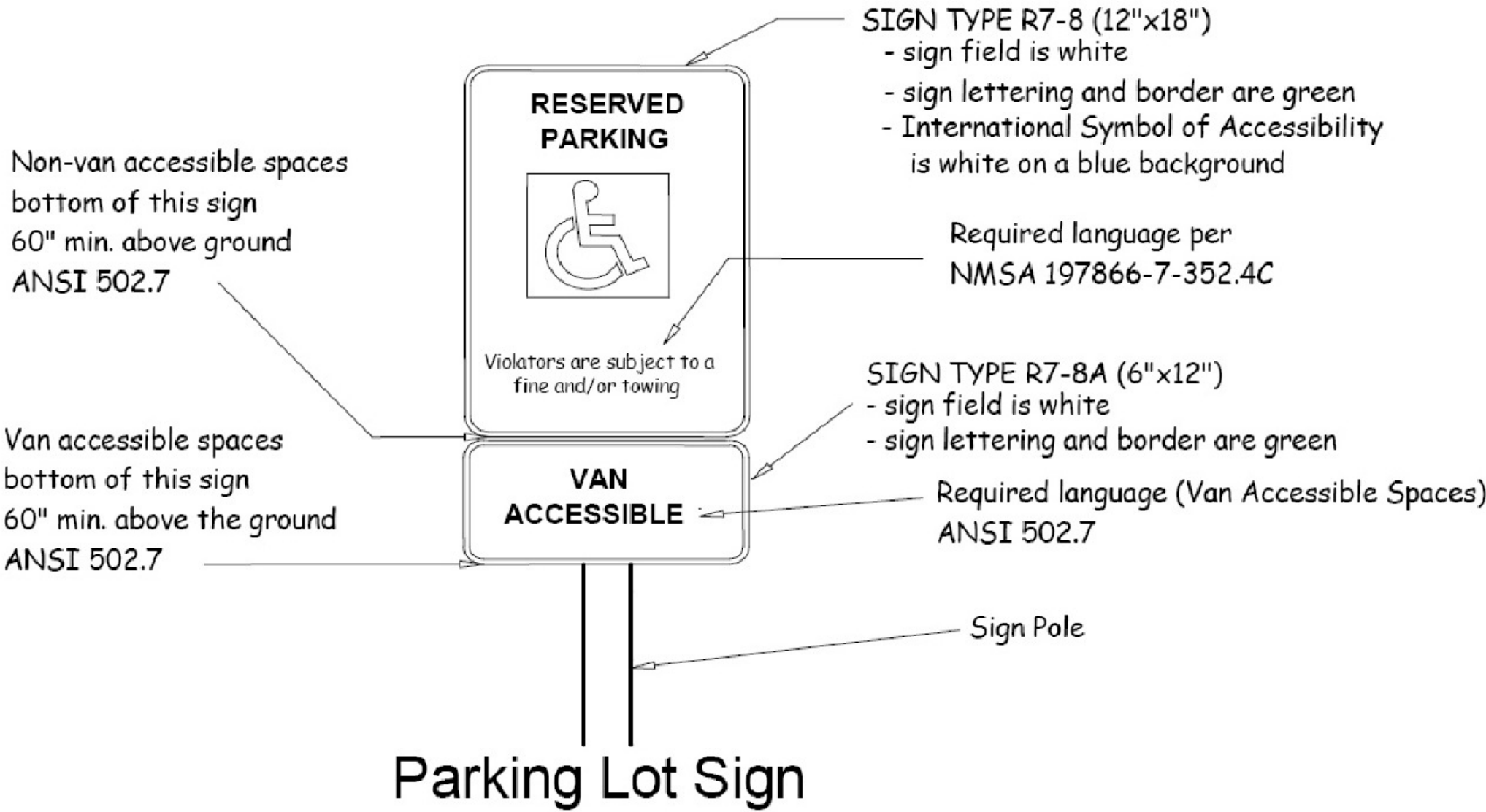
DEVELOPMENT

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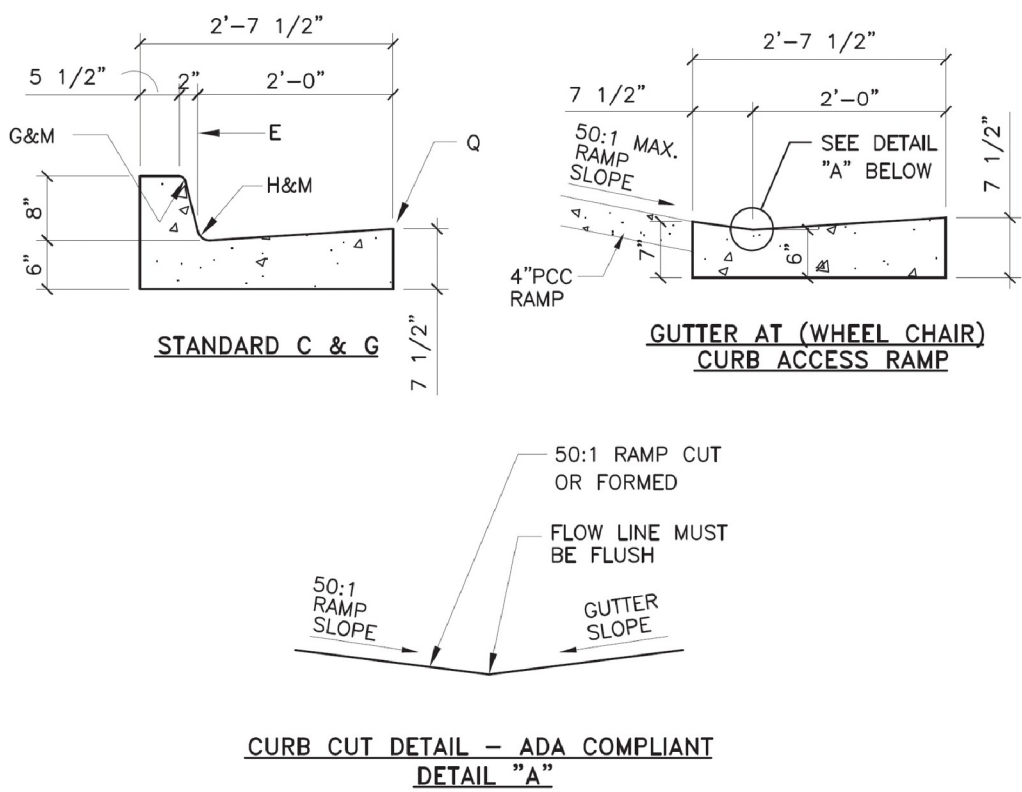
DESERT SKY

DESIGNS

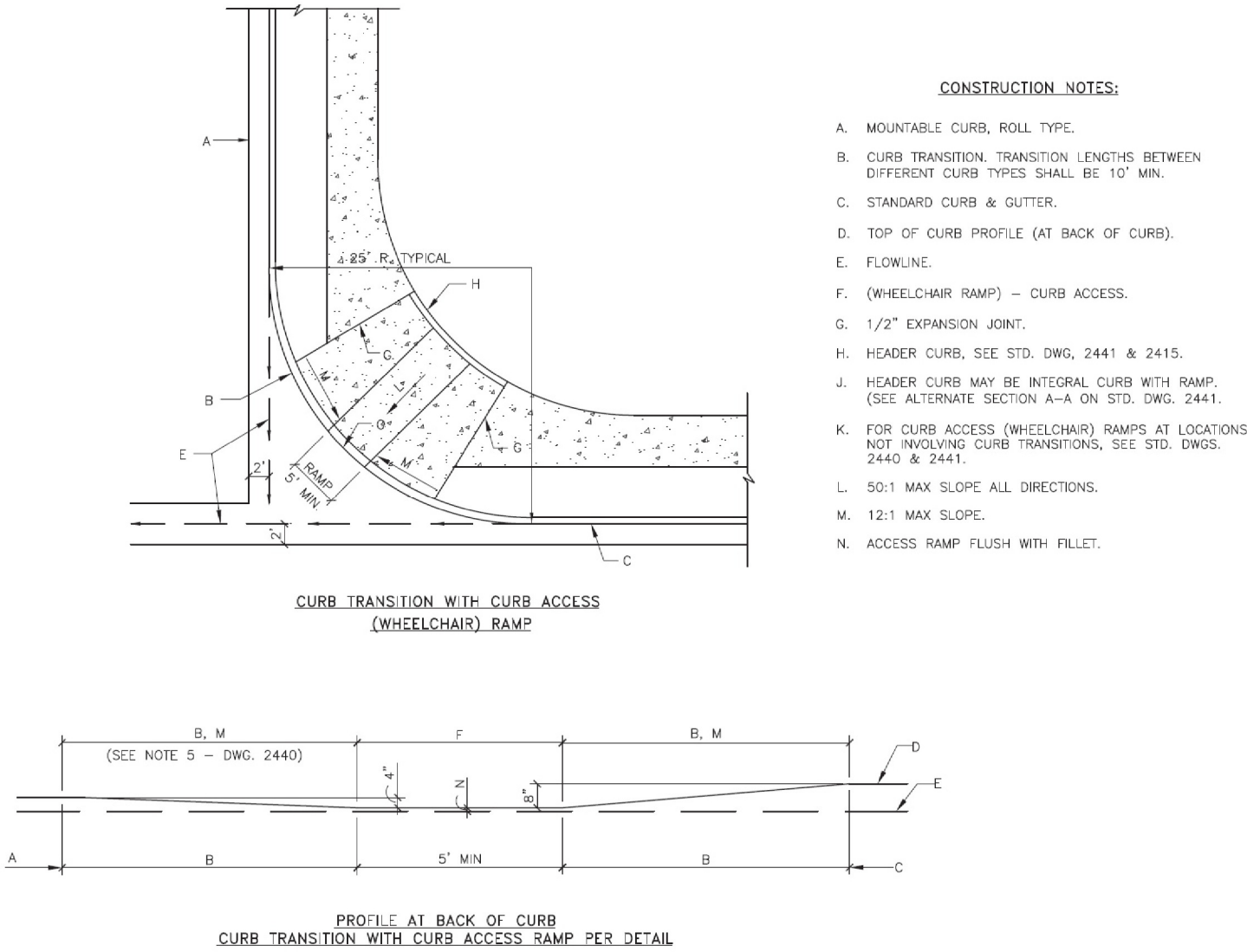
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- ADA PARKING NOTES:
- Surface slopes at parking and access isle shall not exceed 1:48
 - Parking space shall have a clearly visible, blue, International Symbol of Accessibility painted on the pavement at rear of the space (66-1-4.1.E NMSA 1978) or MUTCD recommends a white symbol on a blue background.
 - GCD recommends the parking space lines be painted blue
 - Access aisle shall have blue, diagonal striping. (66-1-4.1.B NMSA 1978).
 - Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



- GENERAL NOTES:
- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
 - FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
 - FOR ALL OTHER C & G CUT-OFF WALL, PROVIDE CONTRACTION JOINTS AT 10' MAX. SPACING, 1/2" EXP. JTS. AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
 - FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 - STANDARD C & G SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
 - REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
 - ADA = AMERICANS WITH DISABILITY ACT.
- CONSTRUCTION NOTES:
SEE C04 DRAWING 2415B



- GENERAL NOTES:
- All broken or cracked sidewalk must be replaced with sidewalk and curb and gutter.
 - Provide Detectable Warnings at Curb Ramps -
 - Detectable warning surface shall be cast in place and replaceable
 - Area Covered. Detectable warnings shall be 24 inches minimum in the direction of travel and extend the full width of the curb ramp or flush surface.
 - Location. the detectable warning shall be located so the edge nearest the curb line is 6 inches to 8 inches from the curb line.
 - Detectable warning surfaces shall have Truncated Domes complying with the following:
 - Size. Truncated domes shall have a base diameter of 0.9 inch (23 mm) minimum to 1.4 inch (36 mm) maximum, and a top diameter of 50 percent minimum to 65 percent maximum of the base diameter.
 - Height. Truncated domes shall have a height of 0.2 inch (5.1 mm).
 - Spacing. Truncated domes shall have a center-to-center spacing of 1.6 inches (41 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (16.5 mm) minimum, measured between the most adjacent
 - Alignment. Truncated domes shall be aligned in a square grid pattern.

CURB CUT DETAILS

SCALE: 1/2"=1'-0"

from StandardSpecks2011Vol2062811reduced
City of Albuquerque DWG 2415A

CURB CUT DETAILS - ADA CORNER RAMP

SCALE: 1/16"=1'-0"

from StandardSpecks2011Vol2062811reduced
City of Albuquerque DWG 2418

5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
SITE DETAILS



C3

10/26/2016