



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: SELF STORAGE BUILDING ADDITION Building Permit #: _____ City Drainage #: F180059
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT B LANDS OF HUDSON AND HUDSON
City Address: 5220 AND 5310 SAN MATEO BLVD NE - ALBUQUERQUE NM 87109

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: AA PROPERTIES LLC Contact: JOHN PETTY
Address: 5854 OSUNA ROAD NE ALBUQUERQUE NM 87109
Phone#: 505 883 7373 Fax#: _____ E-mail: _____

Architect: ROBERT MAZE Contact: ROBERT MAZE
Address: 3400 ALVARADO DR NE ALBUQUERQUE NM 87110
Phone#: 505 884 3304 Fax#: _____ E-mail: BOB@DESERT-SKY-DESIGNS.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

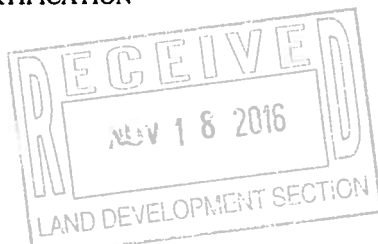
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11/18/2016 By: Robert Maze

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



November 22, 2016

Robert Maze
Desert Sky Designs
3400 Alvarado Dr NE
Albuquerque, NM 87110

Re: Self Storage Building Addition
5220 And 5310 San Mateo Blvd NE
Traffic Circulation Layout
Architect's Stamp dated 10-26-16 (F18-D0059)

Dear Mr. Maze,

The TCL submittal received 11-18-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

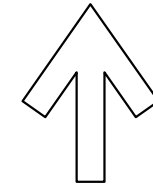
Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



SAM MATEO BLVD NE



PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

GENERAL NOTES:

PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED

PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING

PREMISE IDENTIFICATION SHALL BE MINIMUM 10" HIGH AND SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE VISIBLE FROM THE STREET - EACH BUILDING SHALL HAVE INDIVIDUAL PREMISE I.D.

PARKING CALCULATIONS

REQUIRED:

TOTAL BUILDING SQ FT = 8,000 GROSS
CLIMATE CONTROLLED STORAGE = 7409 / 1 SPACE PER 2,000 SF / 7 SPACES REQUIRED
OFFICE/RETAIL = 591 / 1 SPACE PER 200 SF / 3 SPACES REQUIRED
CARETAKER RESIDENCE / TWO BATHROOMS / 2 SPACES REQUIRED
HANDICAPPED SPACES REQUIRED = 1 SPACE TO INCLUDE 1 VAN ACCESSIBLE

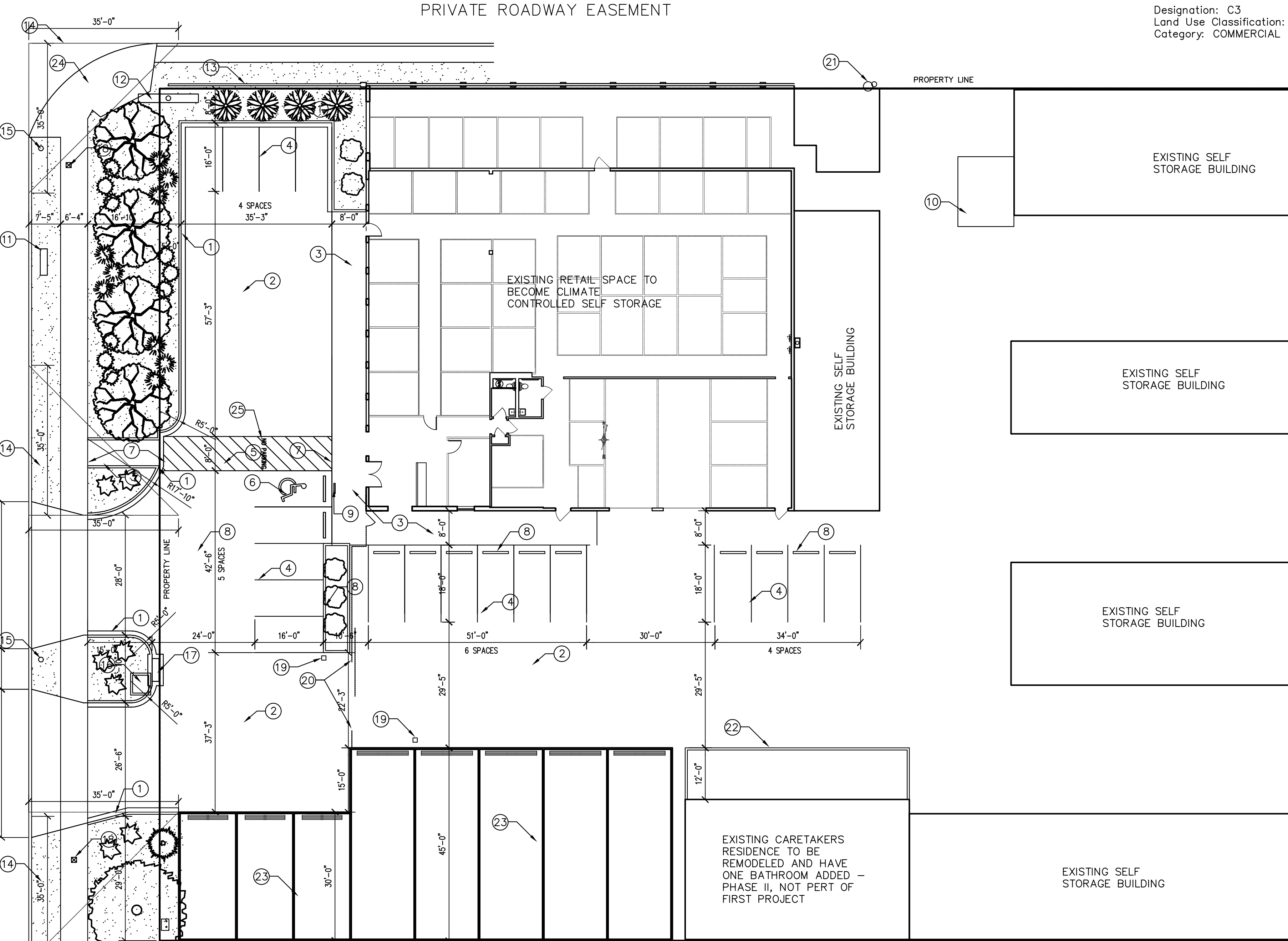
TOTAL SPACES REQUIRED PHASE II: 12 SPACES INC. ONE VAN ACCESSIBLE
TOTAL SPACES PROVIDED PHASE II: 19 SPACES INC. ONE VAN ACCESSIBLE

UPC: 101806101536720115
Owner: AA PROPERTIES LLC
Owner Address: 5854 OSUNA RD NE ALBUQUERQUE NM 87109
Site Address: 5310 SAN MATEO BLVD NE ALBUQUERQUE NM 87109
Legal Description: TRACT B LANDS OF HUDSON & HUDSON CONT 0.546 AC
Acres: 0.546

Designation: C3
Land Use Classification:
Category: COMMERCIAL

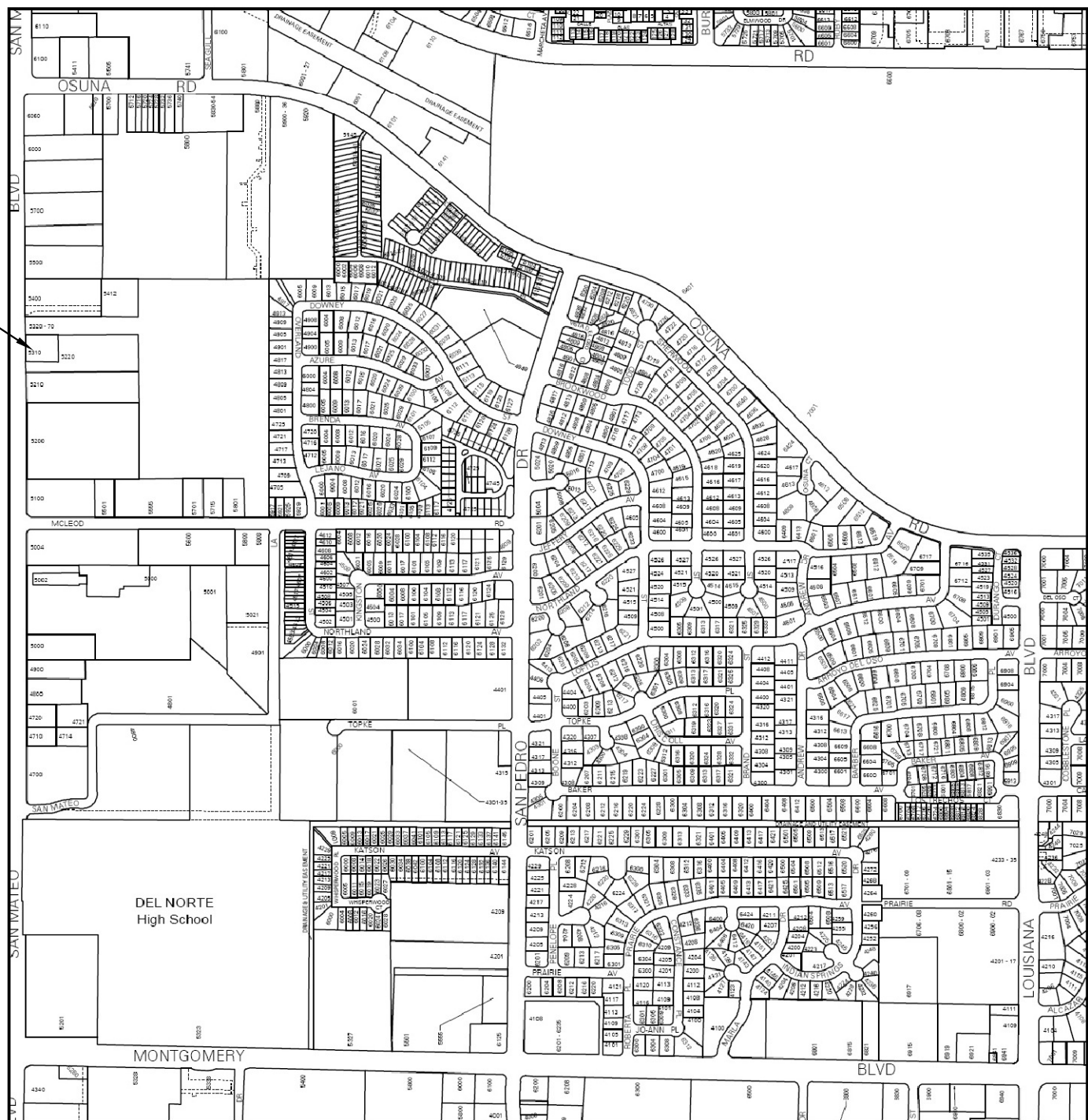
SLA
DEVELOPMENT
515 Wyoming Blvd SE
Suite A-1
Albuquerque, NM 87123
www.sladevelopment.com

DESERT SKY
DESIGNS
3400 Alvarado Dr NE
Albuquerque, NM
87110
884-3304
desert-sky-designs.com

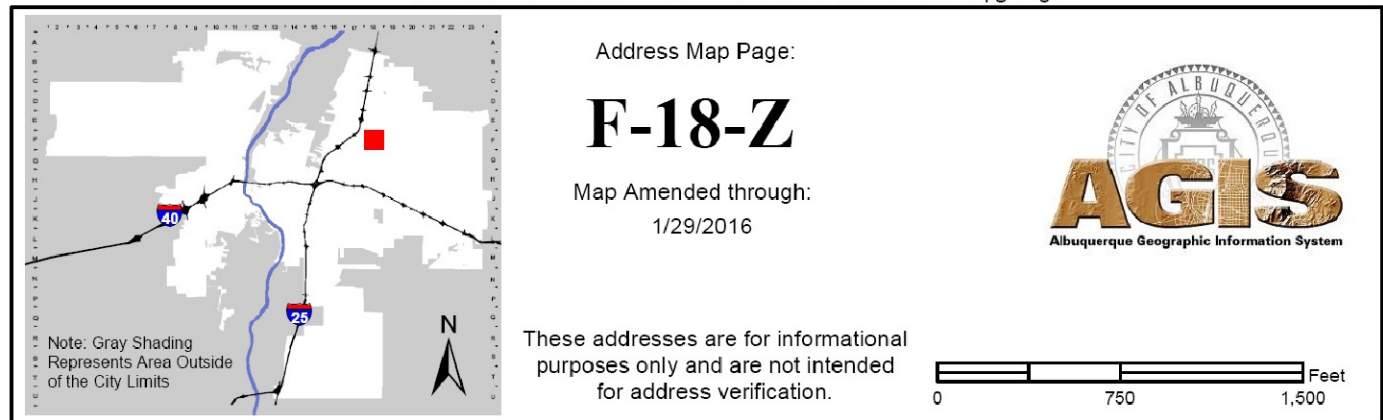


CONSTRUCTION PHASING:
PHASE I: INTERIOR RENOVATION OF EXISTING BUILDING
PHASE II: CONSTRUCTION OF RV STORAGE STRUCTURE AND
REMODEL OF CARETAKER'S RESIDENCE
STRIPING, PAVING, LANDSCAPING

PROPERTY
LOCATION



For more current information and details visit: www.cabq.gov/gis

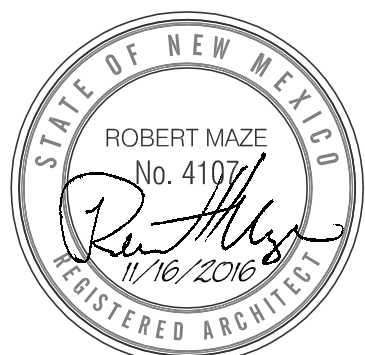


KEYED NOTES:

1. CONSTRUCT 6" CONCRETE CURB AND GUTTER
2. EXISTING ASPHALT PAVEMENT WITH TOP COAT
3. CONSTRUCT CONCRETE SIDEWALK
4. 4" WIDE WHITE PARKING STRIPE AS SHOWN PER LOCAL CODE AND GUIDELINES - SEE NOTE SHEET C3
5. 8'-0" WIDE HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CODE AND GUIDELINES
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE - SEE NOTE SHEET C3
7. ASPHALT PAVING AND H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS
8. INSTALL CONCRETE WHEEL STOP
9. INSTALL HANDICAP PARKING SIGNAGE - SEE DETAIL SHEET C3
10. EXISTING DUMPSTER LOCATION
11. EXISTING BUS STOP
12. PROPOSED FREE STANDING SIGN TO BE PERMITTED SEPARATELY
13. EXISTING CMU RETAINING WALL
14. CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCES AND SIGNAGE BETWEEN 3 AND 8 FEET ABOVE GUTTER PAN SHALL NOT VIOLATE
15. EXISTING STREET LIGHT
16. EXISTING DRAINAGE INLET TO BE COVERED WITH PLATE STEEL ACCESS PANEL
17. PROPOSED NEW CURB INLET TO EXISTING DRAINAGE INLET
18. EXISTING WATER METER
19. PROPOSED GATE COLTROL TERMINAL
20. PROPOSED 16' WIDE SLIDING GATE
21. EXISTING POWER POLE, END OF LINE, FED FROM EAST
22. PROPOSED 6' HIGH CMU PRIVACY WALL FOR RESIDENCE - PHASE II
23. PROPOSED METAL RV STORAGE UNITS - PHASE II
24. REMOVE EXISTING DRIVE PAD AND INSTALL NEW ADA CORNER PER ALBUQUERQUE REQ'S - SEE SHEET C3
25. 2" MIN. THK X 12" TALL 'NO PARKING' PAINTED ON PAVEMENT - SEE GENERAL NOTES ON SHEET C3

5310 SAN MATEO BLVD NE
ALBUQUERQUE NM 87109

COMMERCIAL RENOVATION
PROPOSED SITE PLAN



C2

11/17/2016