

# CITY OF ALBUQUERQUE



March 12, 2018

Ted Bustos  
COE & Peterson, LLC  
7001 Menaul Blvd. NE  
Albuquerque, NM 87110

**Re: 6001- 6027 Osuna, 6001 Osuna Rd. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 2-14-17 (F18D060)  
Certification dated 2-7-18

Dear Mr. Buston,

Based upon the information provided in your submittal received 3-12-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

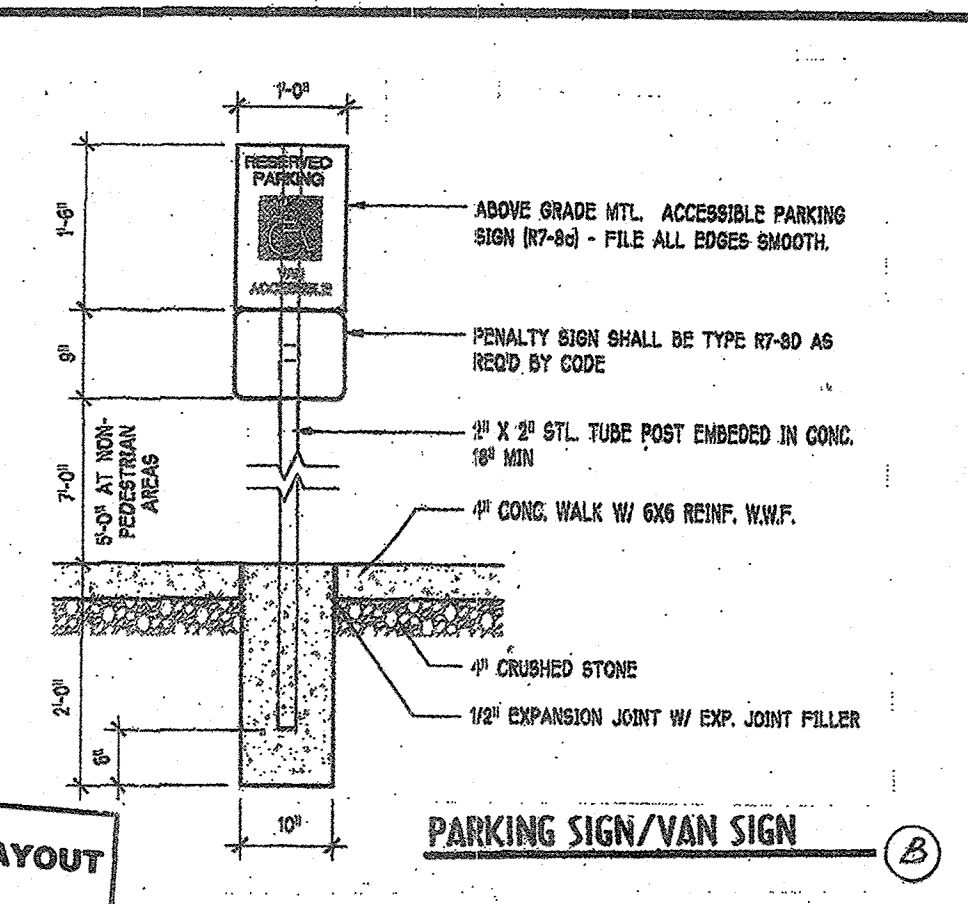
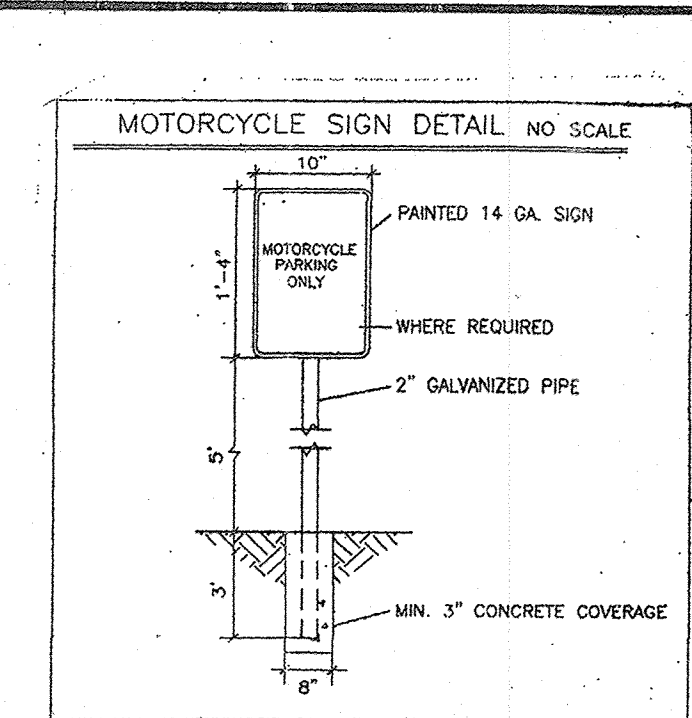
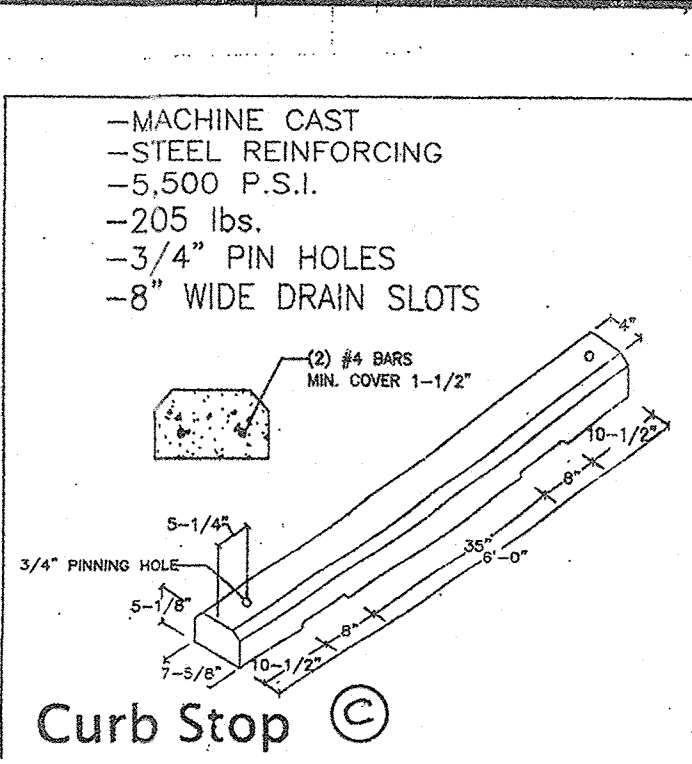
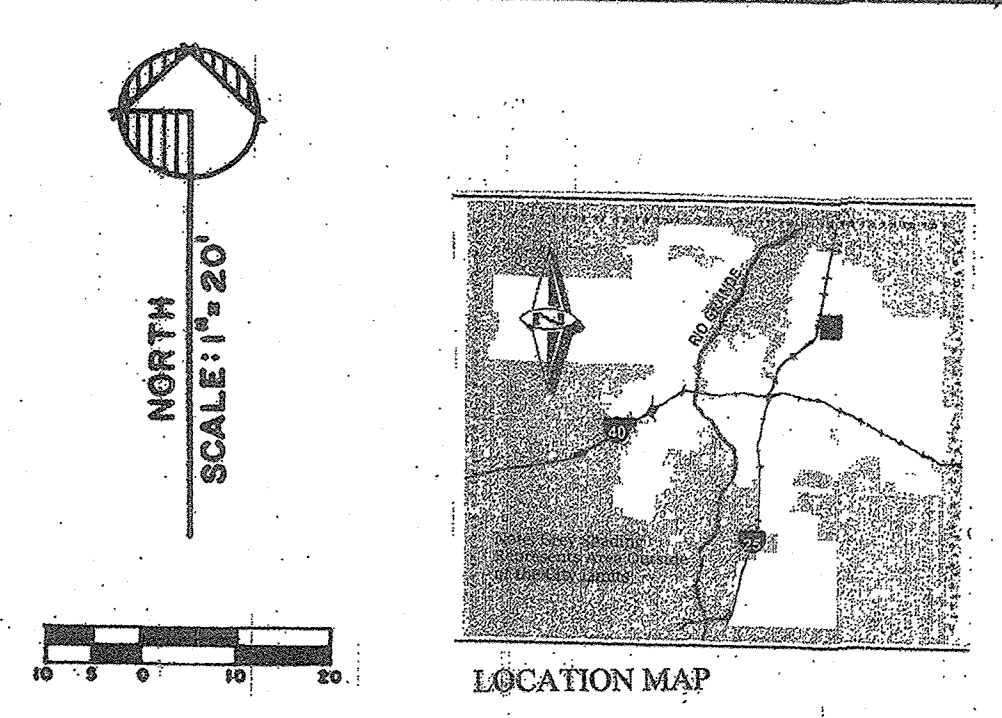
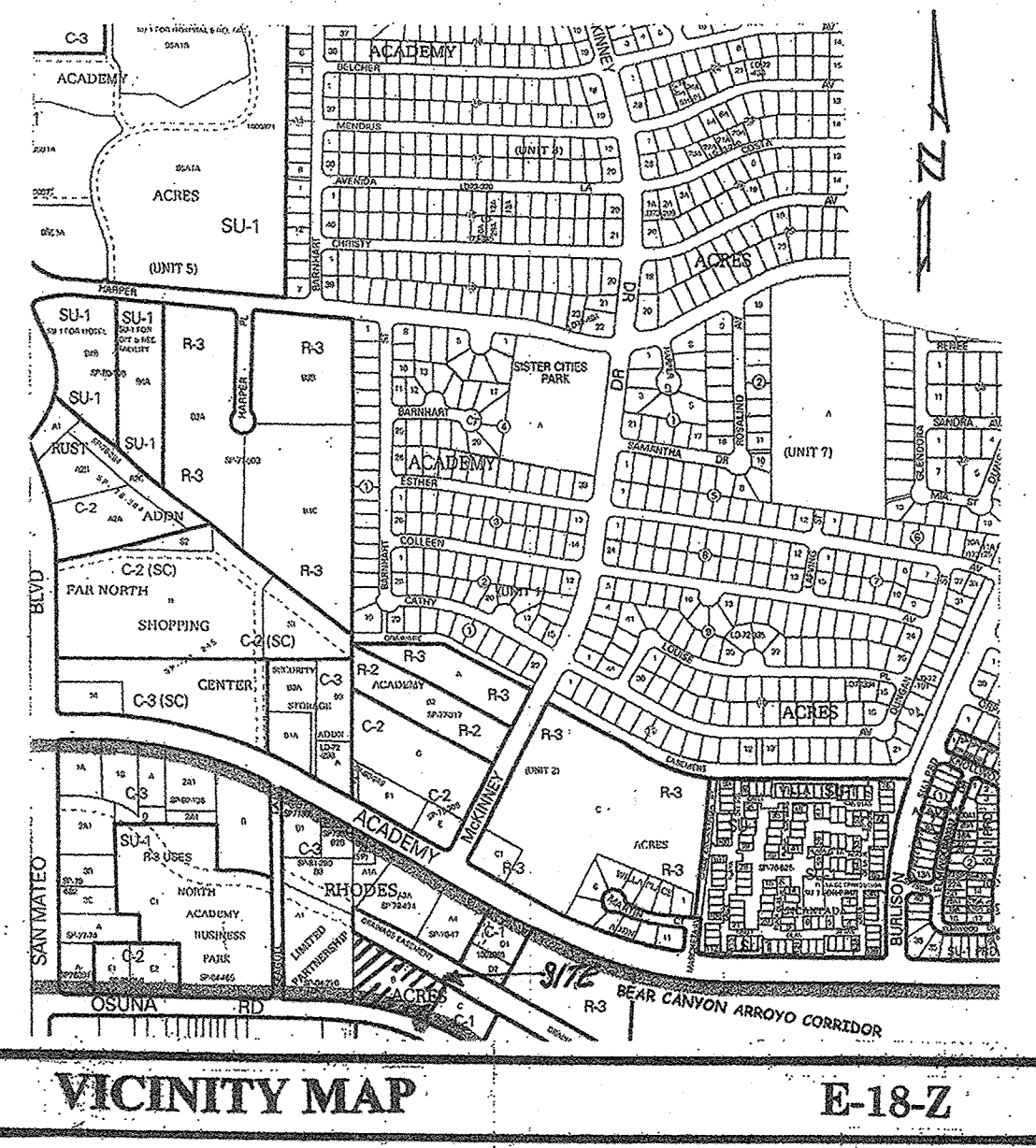
If you have any questions, please contact me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

MA/RM      via: email  
C:      CO Clerk, File





# ADA NOTES:

THE ADA ACCESSIBLE PARKING SIGN MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".

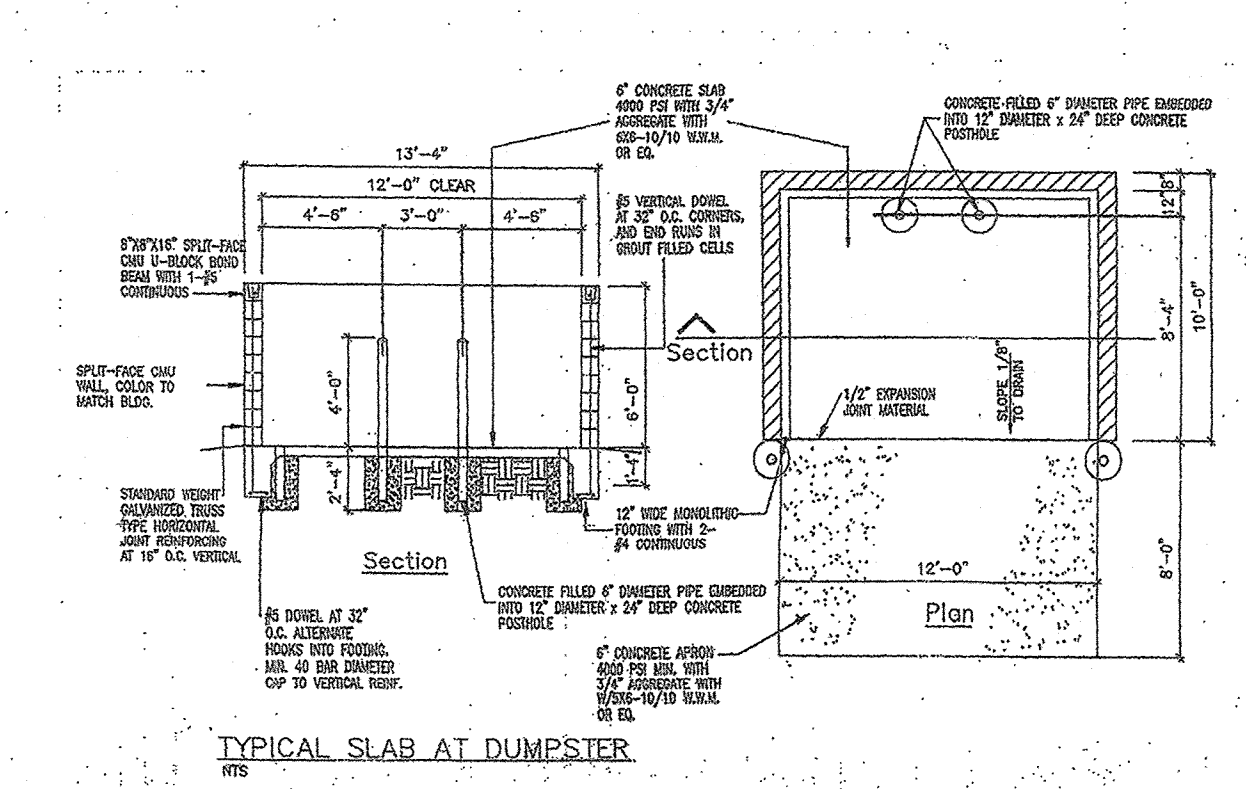
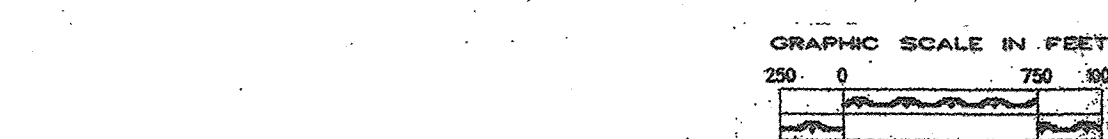
THE ADA ACCESSIBLE AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-4.1.B NMSA 1978).

## NOTES:

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- PROVIDE NEW SIDEWALK (STD.DWG.# 2430).
- PROVIDE NEW CURB AND GUTTER (STD.DWG.# 2415-A).
- PROVIDE NEW CURB CUT - DRIVEPAD (STD. DWG.# 2425)
- PROVIDE H.C. WHEEL CHAIR RAMPS (STD. DWG. # 2441).

## CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.  
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
Plant beds shall achieve 75% live ground cover at maturity.  
Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Emitter systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.  
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.  
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.  
Location of controller to be field determined and power source for controller to be provided by others.  
Irrigation maintenance shall be the responsibility of the Property Owner.  
Water and Power source shall be the responsibility of the Developer/Builder.

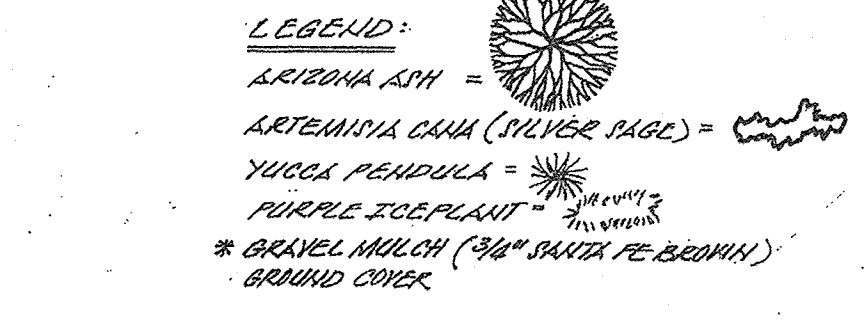
## SHRUB PLANTING DETAIL

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

## TREE PLANTING DETAIL

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
**CONSTRUCTION NOTES:**  
A. TREE.  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

**NOTE:** LANDSCAPING PLAN SHALL BE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, POLLUTION, AND WASTE WATER ORDINANCE.



**NOTE:** "FL" = FIRE LINE, CURBS PAINTED RED.

H.C. SPACES REQ. & PROVIDED = 4  
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SITE AREA = 84,338.0 SQ. FT. (1.94 ACRE)

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED COMES.

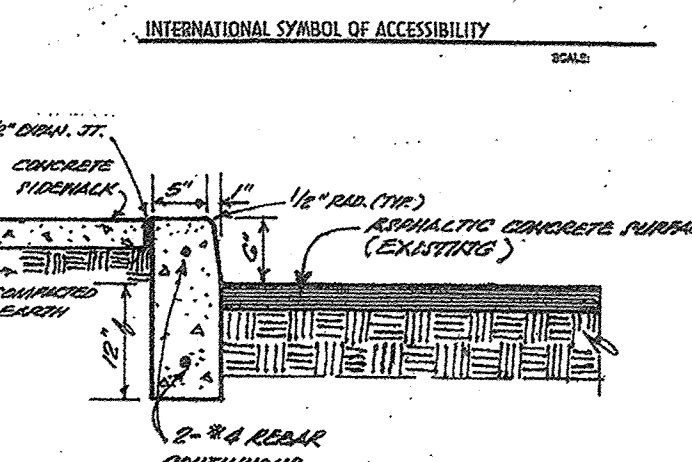
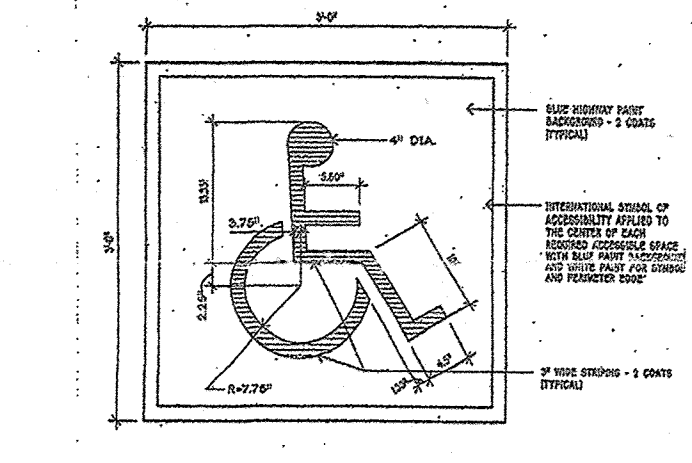
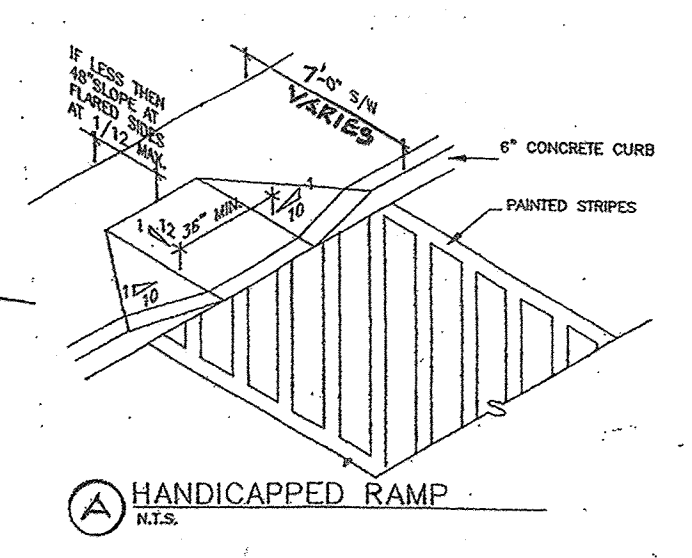
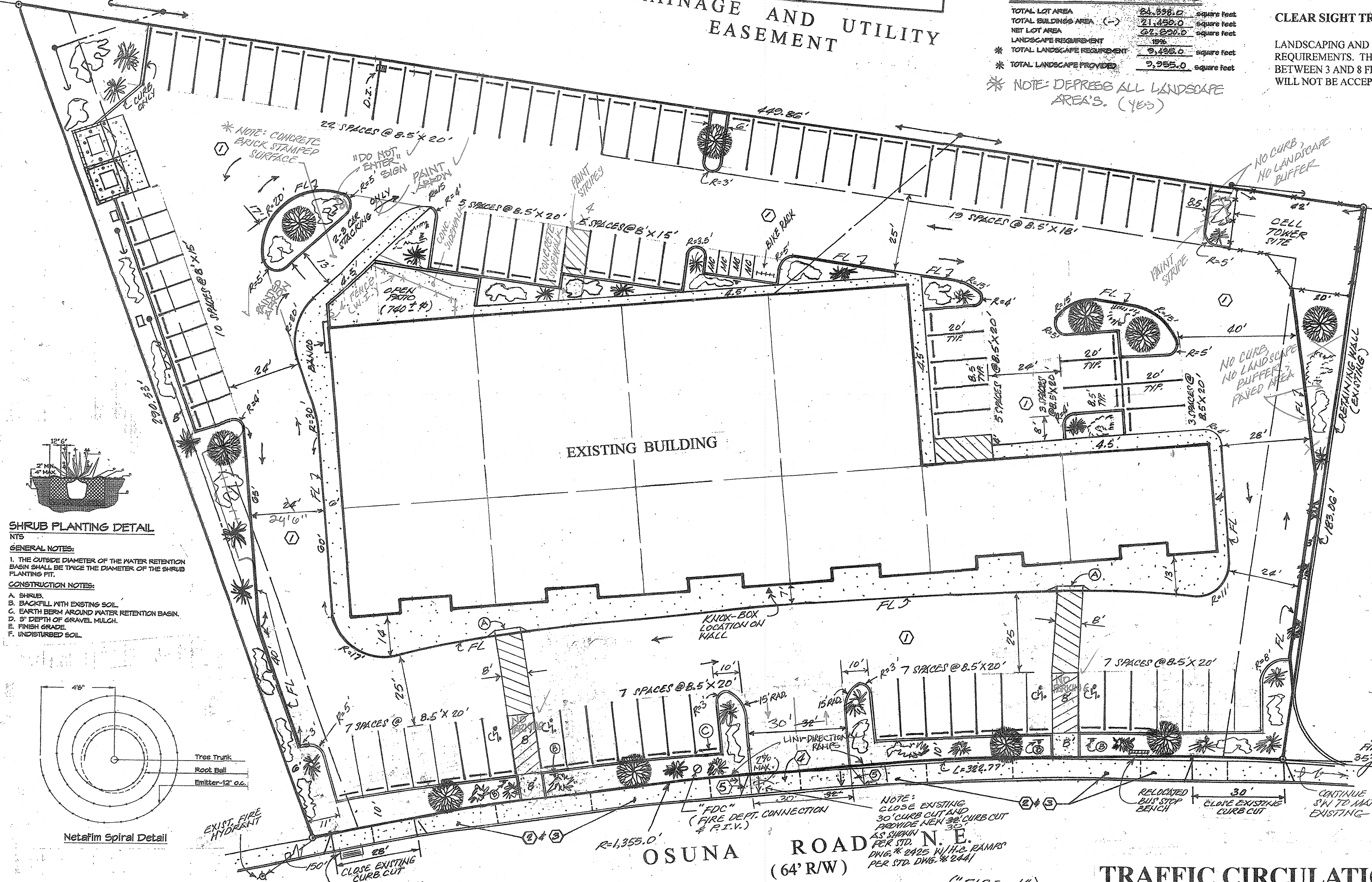
## DRAINAGE AND UTILITY EASEMENT

TRAFFIC CIRCULATION LAYOUT APPROVED  
Signed: [Signature]  
Date: 3/28/17

## LANDSCAPE CALCULATIONS

|                             |          |             |
|-----------------------------|----------|-------------|
| TOTAL LOT AREA              | 84,338.0 | square feet |
| TOTAL BUILDING AREA (-)     | 21,450.0 | square feet |
| NET LOT AREA                | 62,888.0 | square feet |
| LANDSCAPE REQUIREMENT       | 12%      |             |
| TOTAL LANDSCAPE REQUIREMENT | 7,546.6  | square feet |
| TOTAL LANDSCAPE PROVIDED    | 7,555.0  | square feet |

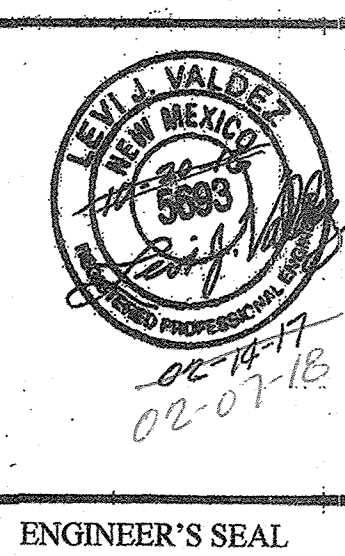
\* NOTE: DEPRESS ALL LANDSCAPE AREAS. (YES)



**NOTE:** PAINT DIRECTIONAL ARROWS. (YES, PAINTED)

LEGAL DESCRIPTION: LOT LETTERED 'B', OF RHODES ACRES, ALBUQUERQUE, NEW MEXICO.

PARKING REQUIREMENTS:  
BUILDING AREA = 21,450.0 SQ. FT. / 200 = 107 SPACES REQUIRED  
MINUS 10% BUS ROUTE = 11 SPACES CREDIT  
PARKING SPACES REQUIRED = 96 SPACES NET  
PARKING SPACES PROVIDED = 100 SPACES



## TRAFFIC CIRCULATION LAYOUT PLAN

(T.C.L. CERTIFICATION: 02-07-18)

A DEVELOPMENT PLAN  
FOR  
6001 THRU 6027 OSUNA ROAD N.E.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2016  
(REVISED: FEBRUARY, 2017)

