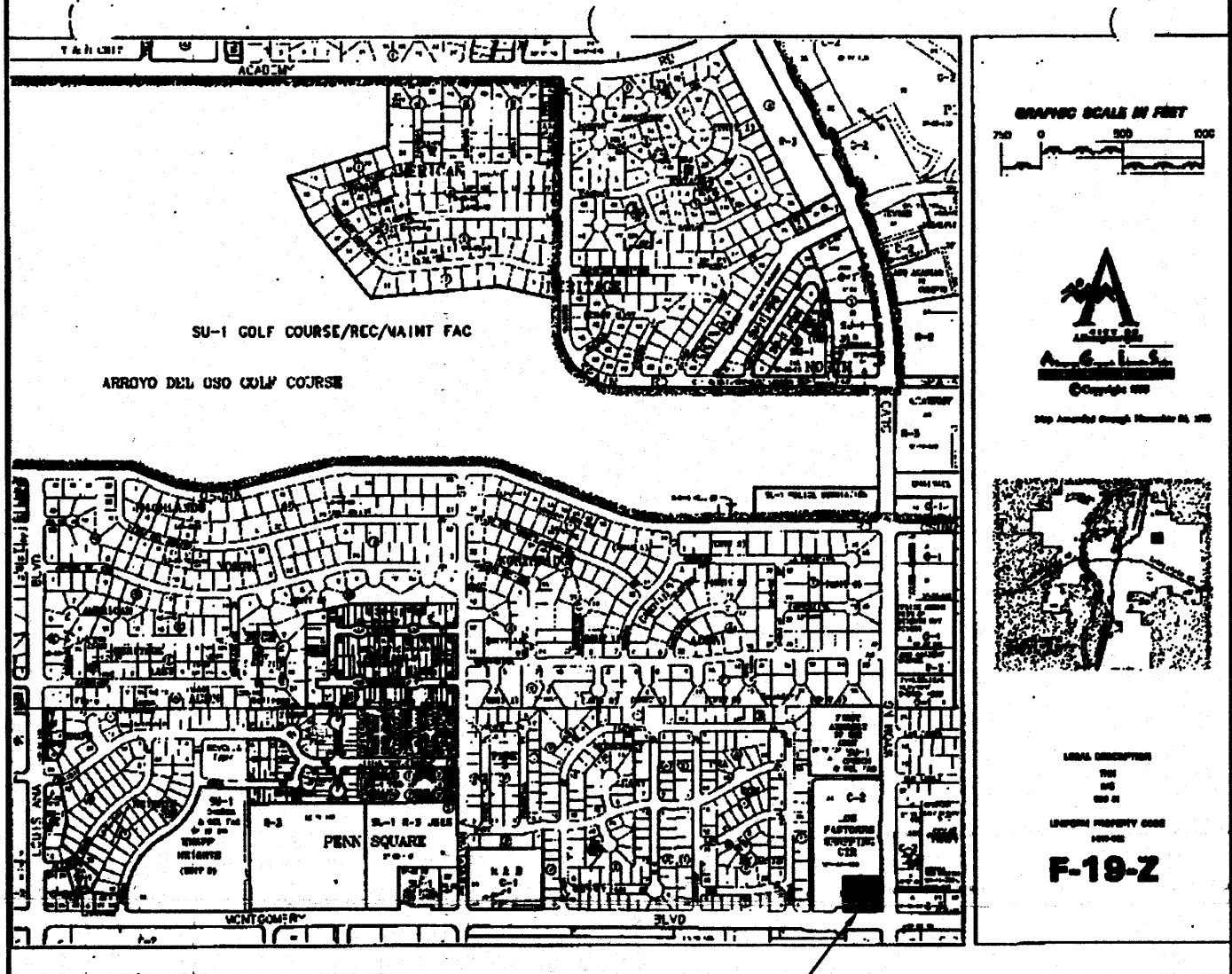


**PARKING ISLAND D5 C102**  
SCALE: 1/4"=1'-0"  
DETAIL: 10'-0"



PROJECT LOCATION:  
8333 MONTGOMERY BLVD. NE  
ALBUQUERQUE, NM 87109

**PROJECT LOCATION**

**LANDSCAPE AREA:**

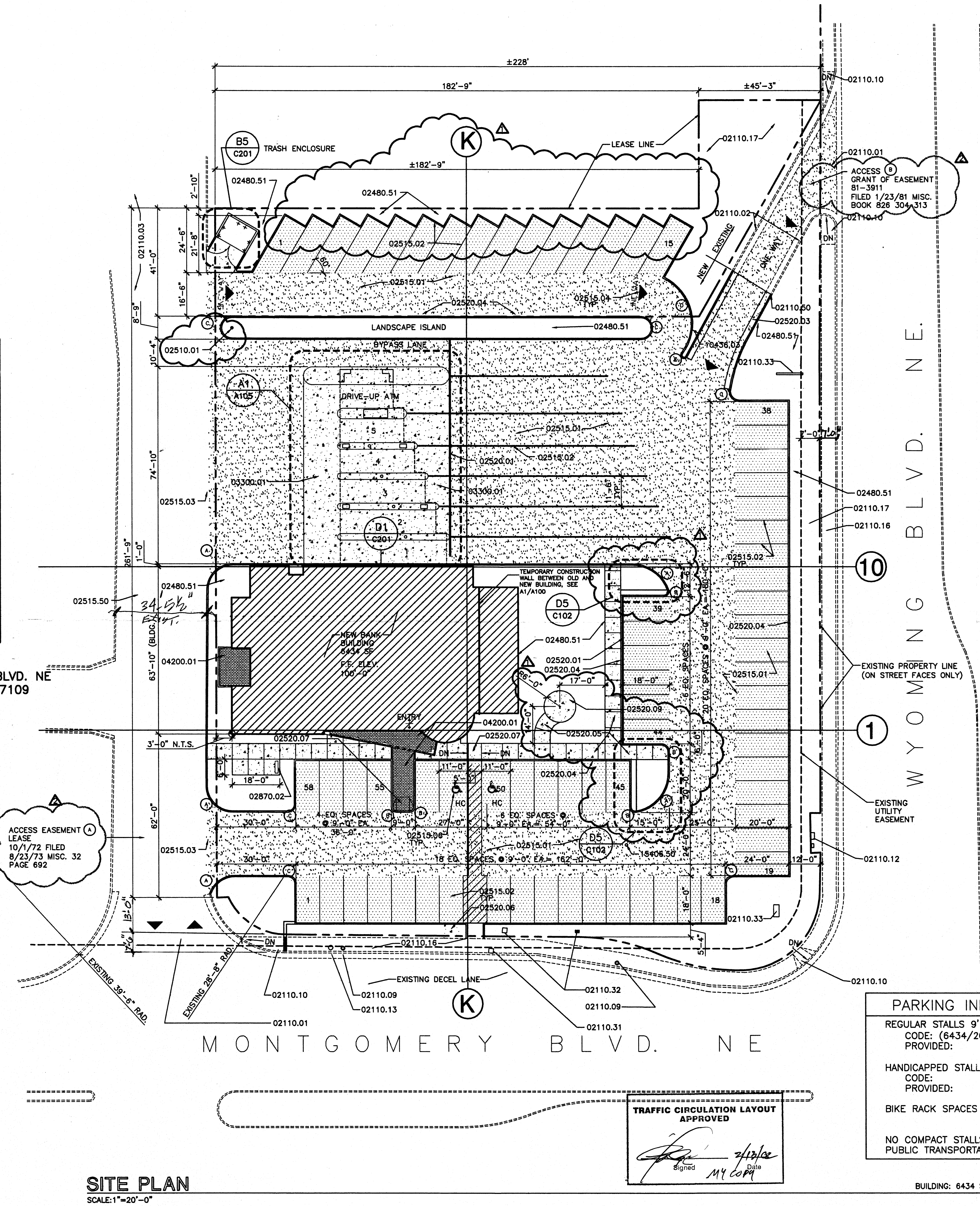
TOTAL LOT AREA=	65275 SF
MINUS BLDG.=	6434 SF
NET AREA=	58841 SF
LANDSCAPE REQUIRED: 15%=	8826 SF
LANDSCAPE PROVIDED: 22.5%=	13260 SF

**PAVEMENT LEGEND**

	CONCRETE
	4" ASPHALTIC CONCRETE OVER BASECOURSE
	3" ASPHALTIC CONCRETE OVER BASECOURSE

**RADIUS LEGEND**

(A)	15'-0"
(B)	2'-0"
(C)	3'-0"
(D)	20'-0"
(E)	1'-0"



**SITE PLAN**  
SCALE: 1"=20'-0"

**PARKING INFORMATION:**

REGULAR STALLS 9' X 20':	
CODE: (6434/200):	32
PROVIDED:	73
HANDICAPPED STALLS (VAN ACCESSIBLE):	
CODE:	2
PROVIDED:	2
BIKE RACK SPACES REQUIRED:	2
PROVIDED:	6
NO COMPACT STALLS OR REDUCTION FOR PUBLIC TRANSPORTATION	

TRAFFIC CIRCULATION LAYOUT APPROVED  
Signed: *[Signature]* Date: 4/13/02  
M4 0099

**KEYNOTES**

- 02110.01 EXIST. CURB CUT/DRIVE PAD. PROVIDE NEW AC PAVING AS SHOWN
- 02110.02 EXIST. CURB TO REMAIN
- 02110.03 EXIST. ACCESS ROAD TO REMAIN
- 02110.09 EXIST. POWER POLE TO REMAIN
- 02110.10 EXIST. HANDICAP RAMP TO REMAIN
- 02110.12 EXIST. TRAFFIC SIGNAL EQUIP. TO REMAIN
- 02110.13 EXIST. FIRE HYDRANT TO REMAIN
- 02110.16 EXIST. CONCRETE SIDEWALK TO REMAIN
- 02110.17 EXIST. LANDSCAPING & IRRIGATION TO REMAIN-TIE INTO NEW
- 02110.31 EXISTING WATER METER TO REMAIN
- 02110.32 EXISTING IRRIGATION VALVES TO BE REMOVED CAPPED
- 02110.33 EXISTING SIGN N.I.C.
- 02110.50 CUT EXIST. CURB & GUTTER AT AN EXISTING CONTROL OR EXPANSION JOINT. REMOVE EXIST. CURB & GUTTER & POUR NEW TO AREA. SHOW ON DWGS. REMOVE ALL A.C. PAVING AND INSTALL NEW TO STREET.
- 02480.51 NEW LANDSCAPING-- SEE LANDSCAPING DRAWINGS, TYP.
- 02510.01 NEW FIRE HYDRANT PER CITY OF ABQ STANDARDS
- 02515.01 ASPHALTIC CONCRETE PAVING - SEE SPECS
- 02515.02 PAVING STRIPE (COLOR TO BE WHITE PER CITY OF ALB. STANDARDS)
- 02515.03 SAW CUT AT EXISTING PAVING AND TIE IN WITH NEW AC PAVING-- SEE CIVIL DRAWINGS.
- 02515.04 PAINTED ARROW ( COLOR TO BE WHITE-- SEE DTL. A3/C201)
- 02515.06 PAINTED HANDICAP SYMBOL. COLOR TO BE WHITE. SEE DTL. A3/C201
- 02515.50 PRIMARY BID: PATCH EXIST. A.C. PAVING AS REQUIRED OF ALL CRACKS AND POTHOLES. ALTERNATE BID: PROVIDE A NEW OVERLAY COAT OVER THE EXISTING PAVING FROM THE MONTGOMERY ENTRANCE NORTH TO EXTENT OF BANK'S LEASE AREA.
- 02520.01 TRENCH DRAIN-- SEE CIVIL DWGS.
- 02520.03 CONC. CURB & GUTTER - SEE DETL. D3/C201
- 02520.04 STANDING CONC. CURB. SEE C2/C201
- 02520.05 CONC. SIDEWALK - SEE SPECS & DETL. D5/C201
- 02520.06 CONC. SIDEWALK CONNECTION FROM EXIST. SIDEWALK TO NEW SIDEWALK
- 02520.07 CONC. HANDICAP CURB RAMP - SEE DETL. A4/C201
- 02520.08 NEW CONC. CULVERT & COVER; SEE CIVIL DWGS
- 02520.09 12'-0" DIAMETER CONC. PAVING
- 02870.02 BIKE RACK, SEE C1/C201
- 03300.01 CONC. SLAB, SEE STRUCTURAL
- 04200.01 BRICK PAVERS OVER CONC. SLAB. THIN SET BUTT JOINT-- RUNNING BOND PATTERN.
- 10436.03 STOP SIGN-- SEE A1/C201
- 15406.50 EXISTING CLEAN OUT.

**LEGAL DESCRIPTION:**  
LEASE PORTIONS OF:  
TRACT A-1  
LOS PASTORES SHOPPING CENTER

**NOTE:**  
INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.

- ▲ 01-30-02 BLDG. DEPT. CORRECTIONS
- ▲ 01-02-02 REVISED PARKING ISLANDS

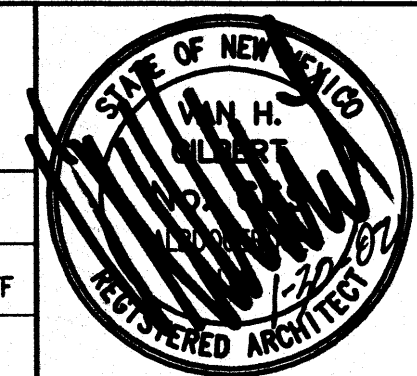
RECEIVED  
FEB 13 2002  
HYDROLOGY SECTION

**WELLS FARGO BANK**  
WYOMING & MONTGOMERY  
8333 MONTGOMERY BLVD.  
ALBUQUERQUE, NM

**Van H. Gilbert Architect PC**  
ARCHITECTURE PLANNING  
2428 BAYLOR DRIVE SE ALBUQUERQUE, NM 87106 505.247.9955  
PROJECT ARCHITECT

WGA JOB NO.:	982	COPYRIGHT ©	2001
DATE:	11/30/01	DRAWN BY:	STAFF
PLAT SCALE:		CHECKED BY:	

**SITE PLAN C102**  
SHEET OF



BUILDING: 6434 SF  
A1  
C102

Over counter Review, *[Signature]* App'd T.C.L.

**ALTA/ACSM LAND TITLE SURVEY  
WELLS FARGO LEASED SITE  
N.W. CORNER WYOMING BLVD. N.E.  
& MONTGOMERY BLVD. N.E.**

SECTION 31, RANGE 4 EAST,  
TOWNSHIP 11 NORTH  
NEW MEXICO PRINCIPAL MERIDIAN  
BERNALILLO COUNTY  
ALBUQUERQUE, NEW MEXICO  
JULY 2001

**NOTES:**

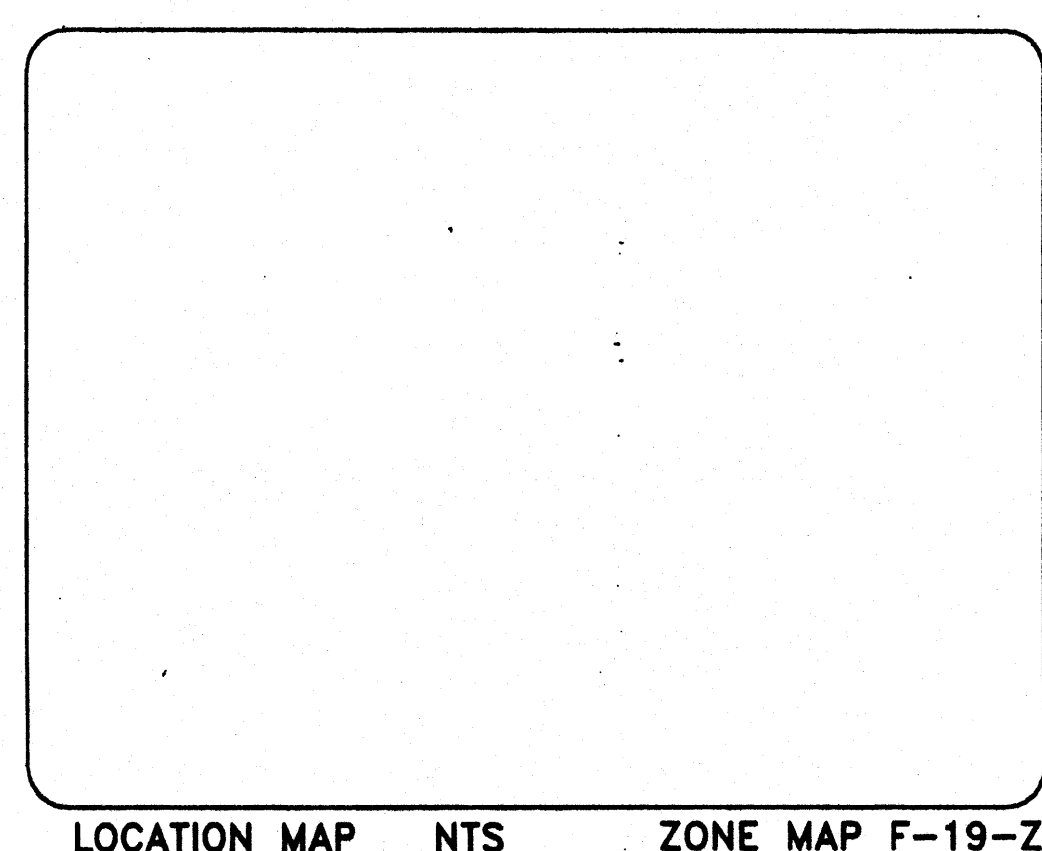
- A. THE BEARINGS AND DISTANCES IN PARENTHESES ARE RECORD; OTHERS ARE FIELD.
- B. BEARINGS ARE GRID.
- C. UNLESS OTHERWISE NOTED, SITE SURFACE TREATMENT IS ASPHALT.
- D. THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOOD ZONE AO (DEPTH 1'), ACCORDING TO FLOOD INSURANCE RATE MAP OF BERNALILLO COUNTY, NEW MEXICO AND UNINCORPORATED AREAS, PANEL NO. 35001C 0413D, SEPTEMBER 20, 1996
- E. THE SUBJECT PROPERTY IS ZONED C-2 BY THE CITY OF ALBUQUERQUE ZONING DEPARTMENT AND MEETS THE MINIMUM SETBACK REQUIREMENTS (5' FRONT AND 15' FROM RESIDENTIAL ZONE).

**KEYED DOCUMENTS OF RECORD**

- 1 PLAT OF TRACTS 1, 2 & 3 OF LOS PASTORES SHOPPING CENTER FILED 1/16/63 VOLUME C5 FOLIO 140
- 2 PLAT OF TRACTS A-1 AND A-2 OF LOS PASTORES SHOPPING CENTER FILED 11/6/90 VOLUME 90C FOLIO 275.
- 3 LEASE 10/1/72 FILED 8/23/73 MISC. 32 PAGE 675
- 4 LEASE 10/1/72 FILED 8/23/73 MISC. 32 PAGE 692
- 5 REPLAT OF REMAINDER OF LOS PASTORES SHOPPING CENTER INTO TRACT A FILED 5/22/78 DB-127
- 6 LEASE DATED 7/19/78; MEMO RECORDED AS DOCUMENT NO. 80-29260 AND 80-31451
- 7 QUITCLAIM DEED TO CITY 80-49697
- 8 QUITCLAIM DEED TO CITY 80-49698 FILED 8/29/80 D126 PAGE 786
- 9 QUITCLAIM DEED TO CITY 82-62531 FILED 11/30/82 D173A PAGE 471
- 10 QUITCLAIM DEED TO CITY 90 45636 FILED 6/13/90 90-10 P.176-180
- 11 QUITCLAIM DEED TO CITY 90 51075 FILED 7/2/90 90-11 P.2018-2019
- 12 GRANT OF EASEMENT 81-3911 FILED 1/23/81 MISC. BOOK 826 304-313
- 13 PNM & PHONE CO. EASEMENT 81-13148
- 14 PNM & PHONE CO. EASEMENT 82-67098

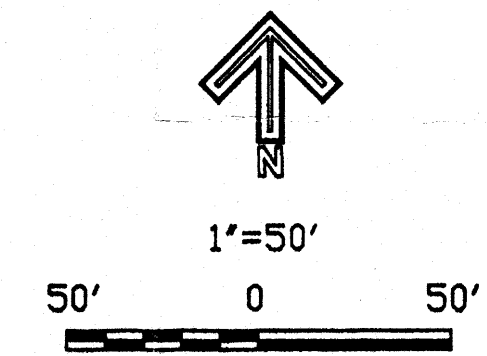
LINE DATA		
L#	FIELD	
	BEARING	DISTANCE
1	N45° 18' 45"E	28.19'
2	S00° 07' 11"W	93.36'
3	S10° 34' 48"W	46.82'
4	N89° 57' 34"E	8.48'
5	N89° 53' 22"W	3.63'
6	S01° 14' 33"E	15.22'
7	N86° 50' 59"E	3.63'
8	S00° 07' 11"E	14.78'
9	N89° 27' 52"W	1.48'
10	S89° 31' 21"E	111.22'
11	S89° 31' 44"E	7.04'
12	S86° 32' 59"E	44.14'
13	N35° 27' 59"E	35.36'

CURVE DATA				
C#	RADIUS	ARC LENGTH	DELTA	CHORD
1	30.00'	47.35'	90° 24' 52"	42.58'
2	75.00'	30.37'	23° 12' 13"	30.17'
3	75.00'	30.45'	23° 15' 39"	30.24'
4	23.00'	26.56'	66° 09' 54"	25.11'
5	27.91'	43.88'	90° 03' 34"	39.50'



ACS MON: 5-F19  
X=407500.87  
Y=1505787.86  
NAD 1927  
GROUND TO GRID  
FACTOR 0.9996530  
Δα=00° 10' 41"  
CENTRAL ZONE

ACS MON: 4-F19  
X=408754.20  
Y=1505428.95  
NAD 1927  
GROUND TO GRID  
FACTOR 0.9996511  
Δα=00° 10' 32"  
CENTRAL ZONE



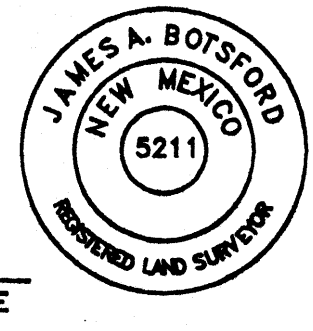
**LEGEND**

- SET PK NAIL W/TAG 12447
- SET #8 REBAR W/CAP 12447
- SET CHISELED 'X' ON CONCRETE
- FOUND #4 REBAR W/CAP 11993 (UNLESS OTHERWISE NOTED)
- CORNER NOT FOUND, NOT SET
- GM GAS METER
- EM ELECTRIC METER
- PP POWER POLE
- AN POWER POLE ANCHOR
- DHL OVERHEAD LINE
- MH MANHOLE
- WV WATER VALVE
- SV SIPHON VALVE
- LP LIGHT POLE
- CO CLEAN OUT
- IR IRRIGATION VALVE BOX
- WM WATER METER
- TL TRAFFIC LIGHT
- FH FIRE HYDRANT

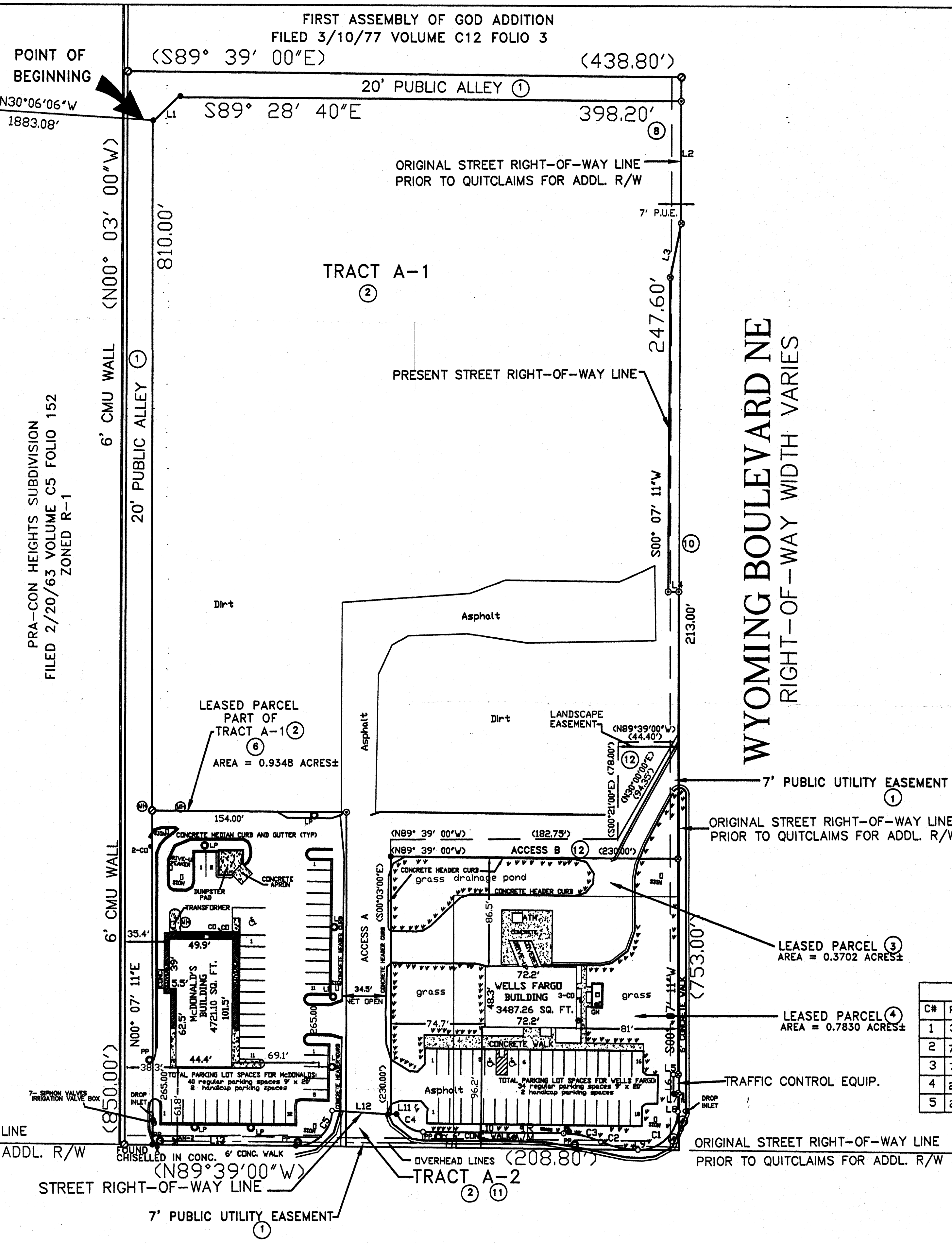
**SURVEYOR'S CERTIFICATE**

I, JAMES A. BOTSFORD, A DULY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO WELLS FARGO BANK OF NEW MEXICO, NATIONAL ASSOCIATION; ALBUQUERQUE TITLE COMPANY; AND LAWYER'S TITLE INSURANCE CORPORATION, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF A SURVEY CONDUCTED UNDER MY SUPERVISION; THAT SAID PLAT SHOWS ACCURATE DIMENSIONS AND LAND AREAS; ALL EASEMENTS OF PUBLIC RECORD OR MADE KNOWN TO ME BY THE LAND OWNER, UTILITY COMPANIES, OR AGENCIES EXPRESSING AN INTEREST; AND THAT THE SURVEY IS TRUE AND CORRECT; AND THAT THE SURVEY MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS.

I FURTHER CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MEDIUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1999 AND INCLUDES ITEMS 1-5, 7, 10 AND 11 OF TABLE A THEREOF, AND TO THE ACCURACY STANDARDS OF AN URBAN SURVEY.



JAMES A. BOTSFORD NMLS #5211 DATE



**MONTGOMERY BLVD. NE  
RIGHT-OF-WAY WIDTH VARIES**

INDEXING INFORMATION FOR  
COUNTY OF BERNALILLO  
SECTION 31, RANGE 4 EAST,  
TOWNSHIP 11 NORTH  
OWNER: WELLS FARGO BANK OF NEW MEXICO,  
NATIONAL ASSOCIATION  
SUBDIVISION: LOS PASTORES SHOPPING CENTER

ALTA/ACSM LAND TITLE SURVEY  
FOR INQUIRIES CONCERNING THIS SURVEY, CONTACT:

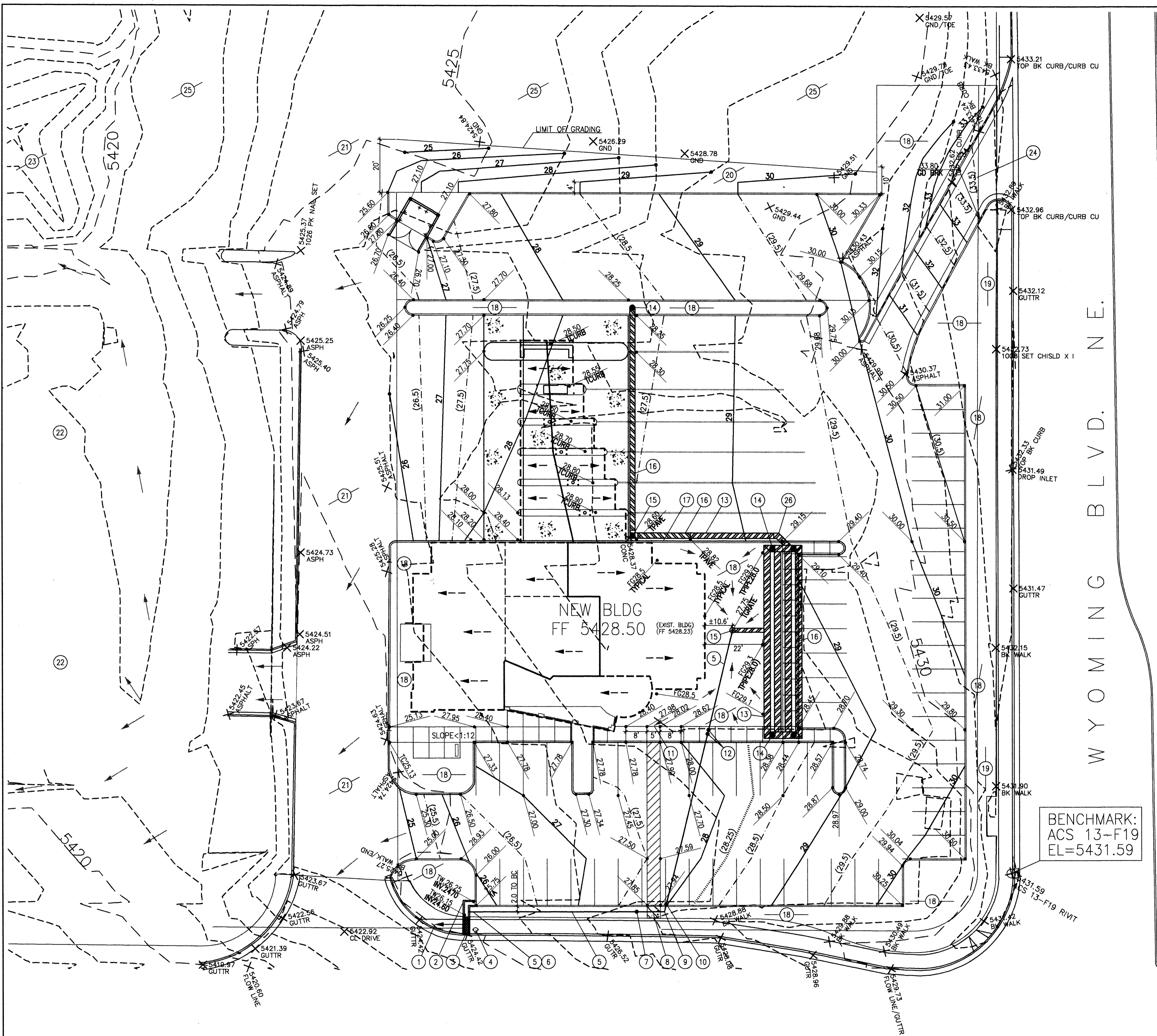
PREPARED BY: JAMES BOTSFORD, PLS  
RHOMBUS P.A., INC.  
2620 SAN MATEO BLVD. N.E. SUITE B  
ALBUQUERQUE, NM 87110  
(505) 881-8890 FAX (505) 881-8898

PREPARED FOR:  
WELLS FARGO BANK OF  
NEW MEXICO, NATIONAL ASSOC.  
ALBUQUERQUE TITLE COMPANY  
LAWYER'S TITLE INSURANCE CORPORATION

PROJECT LOCATION  
MONTGOMERY BLVD. &  
WYOMING BLVD. NE  
PROJECT ADDRESS  
12803 MONTGOMERY BLVD. NE  
PROJECT NAME  
D:\C2\2001\ALTA\C2-140

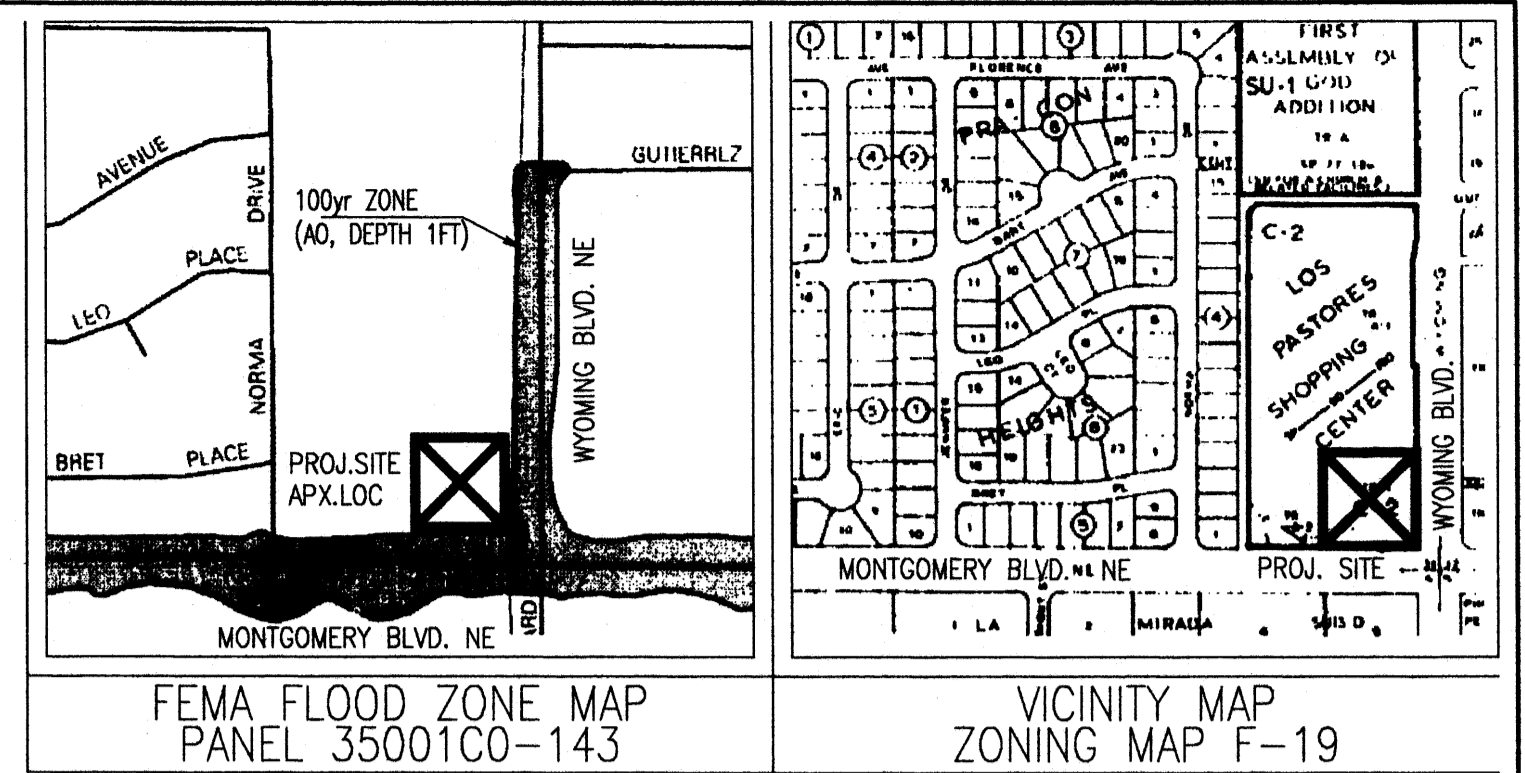
JOB ORDER NUMBER 0-C-2-140

FOR INFORMATION ONLY - NOT PART OF DRAWING PER SEE 11-7-01



**KEYED NOTES**

- 1 EXISTING HC RAMP TO REMAIN
- 2 CONCRETE CHANNEL 18" WIDE. SEE DETAIL
- 3 NEW SIDEWALK CULVERT W/ 18" CHANNEL, PER COA DWG 2236. REQUIRES SO-19 APPROVAL. SEE NOTE TO CONTRACTOR. INVERT OUT 0.04' (1/2") ABOVE EXIST. GUTTER.
- 4 EXISTING FIRE HYDRANT
- 5 6" PVC STORAGE OUTLET PIPE, EITHER SCH 40 OR AWWA C-900. SLOPE=0.4%
- 6 INVERT OUT=24.75. (1/2" MIN ABOVE CHANNEL)
- 7 CLEANOUT FOR UPSTREAM DIRECTION. 4" MIN OPENING AT GROUND.
- 8 5' WIDE, CONC. HC ACCESSIBLE WALK. MAX CROSS-SLOPE 2%. MAX LENGTH. SLOPE 1H:12V DEFLECT ±73.5'. INV=25.05
- 9 CLEANOUT FOR DOWNSTREAM DIRECTION. 4" MIN OPENING. TRAFFIC SAFE CAP.
- 10 DO NOT BLOCK POSSIBLE OVERFLOW PATH. DO NOT PUT CURB AT BACK OF SIDEWALK
- 11 DOUBLE CLEANOUT FLUSH W/ SIDEWALK. NO PROTRUSIONS. 4" MIN OPENING AT SURFACE
- 12 STORAGE PIPE SYSTEM. SEE DETAILS, NOTES, & GENERAL NOTES.
- 13 MANHOLE FLUSH W/ SIDEWALK OR GROUND. TOP OF 5 FOR STORAGE PIPE SYSTEM. SEE DETAILS
- 14 24" INLET. SEE STORAGE PIPE DETAILS
- 15 SLOTTED DRAIN ABOVE STORAGE PIPE.
- 16 CONC CURB PER ARCH'L, 6" HIGH, 6"-12" WIDE
- 17 LANDSCAPING: SEE LANDSCAPE PLAN
- 18 EXISTING UTILITY EASEMENT
- 19 MAINTAIN 4" LEVEL FROM BACK OF CURB, THEN TIE TO EXISTING GRADE AT 3H:1V OR FLATTER. SEED W/ NATIVE VEGETATION.
- 20 EXISTING ASPHALT ACCESS "ROAD" (NOT A CITY R.O.W.)
- 21 McDONALD'S RESTAURANT
- 22 APX LOCATION EXIST DRAINAGE POND NORTH OF McDONALD'S RESTAURANT
- 23 REBUILD ENTRANCE DRIVE. PROVIDE WATERBLOCK MIN 1.00 FT HIGH, AS SHOWN.
- 24 UNDEVELOPED LAND IN LOS PASTORES SHOPPING CENTER
- 25 45° BEND IN 24" CMP



**GENERAL NOTES - READ THEM**

- A. DRAINAGE FOR THIS PROJECT IS DESIGNED TO MEET PRACTICAL AND REGULATORY CONSTRAINTS. THE GRADING SHOWN DETERMINES THE DRAINAGE BASINS ANALYZED, ON WHICH THE DETENTION PIPES ARE SIZED. SEE SEPARATE DRAINAGE REPORT (AT CITY OF ALBUQUERQUE PUBLIC WORKS DEPT.) FOR DRAINAGE BASINS, CALCULATIONS, TEXT, AND ADDITIONAL SLOTTED DRAIN INFORMATION.
- B. ALL ONSITE CURB TO BE 6" HEADER CURB, EXCEPT THAT CURBS ALONG SLOTTED DRAIN INLETS WILL BE COMBINED WITH THE CONCRETE ABOVE THE TOP OF THE SLOTTED DRAIN.
- C. SPOT ELEVATIONS ARE TYPICALLY TOP OF PAVEMENT; ADD 0.50' TO TP/TA TO GET TOP OF CURB (TC).
- D. SEE ARCH'L PLANS FOR PAVING SPECIFICATIONS, LOCATIONS, & TYPES (E.G. CONCRETE OR ASPHALT).
- E. UNDERGROUND STORAGE PIPES AND SLOTTED DRAINS TO BE ALUMINIZED STEEL CMP AS AVAILABLE FROM CONTECH, OR APPROVED EQUAL, INSTALLED IN ACCORD WITH MANUFACTURER'S SPECIFICATIONS. ALL JOINTS TO BE WATER-TIGHT. PROVIDE O-RING GASKETS AT PIPE JOINTS; VERIFY WELDED JOINTS. THE AREA NEAR THE DRAIN-UP BANKING ISLAND AND ADJACENT TO THE BANK BUILDING IS ESPECIALLY CRUCIAL. PROVIDE SHOP DRAWINGS OF SLOTTED DRAIN LAYOUT & DETAILS FOR APPROVAL PRIOR TO INSTALLATION. SEE DETAIL SHEET FOR MORE.
- F. EXISTING BANK (FF 5428.43) TO REMAIN IN OPERATION DURING CONSTRUCTION. EXISTING BANK, DRIVE-UPS, PARKING, & LANDSCAPE NOT SHOWN FOR CLARITY. SEE SEPARATE SHEET IN DRAINAGE REPORT.

**PUBLIC R.O.W. CONSTRUCTION NOTES**

1. ALL WORK DETAILED TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED AND PROVIDED FORTH HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION, 1986, THROUGH REVISION 6.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATION SERVICE (260-1990) FOR LOCATION OF EXISTING LINES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT OR LIKELY CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
4. BACKFILL COMPACTION SHALL BE ACCORDING TO THE SPECIFIED STREET USE, ARTERIAL OR COLLECTOR: ARTERIAL, FOR WORK IN MONTGOMERY BLVD R.O.W.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. APP APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

**LEGEND & ABBREVIATIONS**

EX	EXISTING ELECTRICITY	75	NEW CONTOUR
N	NEW NATURAL	75.4	NEW CONTOUR-PARTIAL
FF	FINISHED FLOOR	→	EXISTING CONTOURS
FG	FINISHED GRADE	→	FLOW DIRECTION
FL	FLOW LINE	→	NEW CURB AND GUTTER
G	GAS GRADE	→	EXISTING CURB AND GUTTER
INV	INVERT	→	NEW SPOT ELEVATION
PP/UP	POWER POLE, UTILITY POLE	→	(NEW) TOP OF CURB/SW
SAS	SANITARY SEWER	→	(NEW) TOP OF PAVING
SD	STORM DRAIN	→	EXISTING SPOT ELEVATION
SW	SIDEWALK	→	WATER
T	TELEPHONE	→	WATER VALVE
TA	TOP OF ASPHALT	→	FIRE HYDRANT
TW	TOP OF WALL	→	
TC	TOP OF CURB, CONCRETE	→	
TP	TOP OF PAVING	→	
W	WATER	→	
X	WATER VALVE	→	
Q	FIRE HYDRANT	→	

S.O. 19 APPROVALS FOR WORK IN CITY R.O.W.

APPROVALS	NAME	DATE
INSPECTOR		
PERMIT NO.		MAP NO.

R DATE

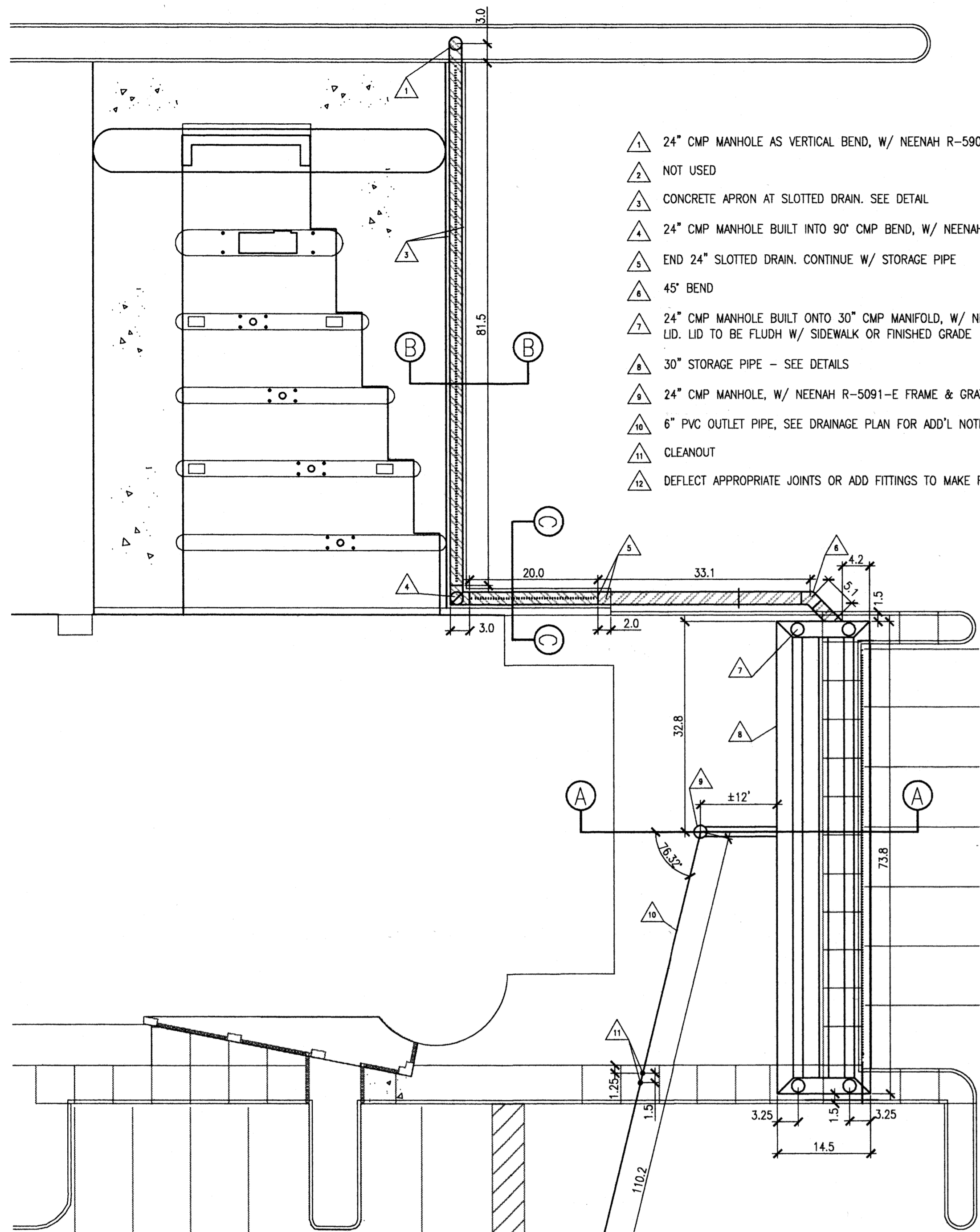

**Van H. Gilbert Architect P.C.**  
 ARCHITECTURE INTERIORS PLANNING  
 2428 baylor drive se albuquerque, nm 87106  
 tel 505 . 247 . 9955 fax 505 . 247 . 1826

Drawn By: \_\_\_\_\_ VHGA Project No: \_\_\_\_\_  
 Checked By: \_\_\_\_\_ Date: \_\_\_\_\_

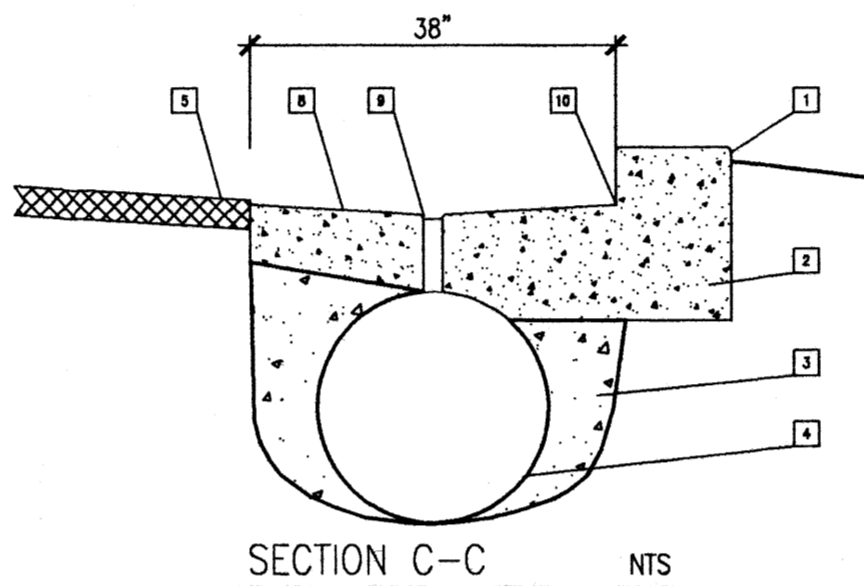
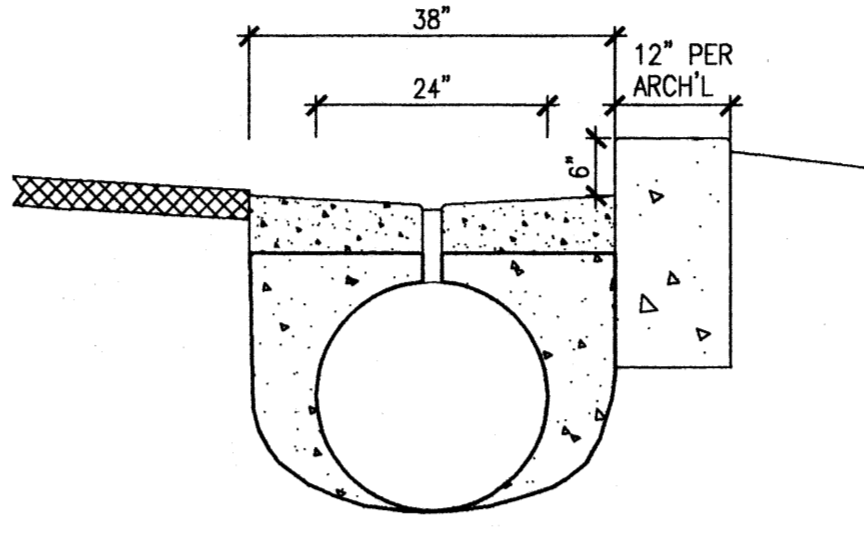
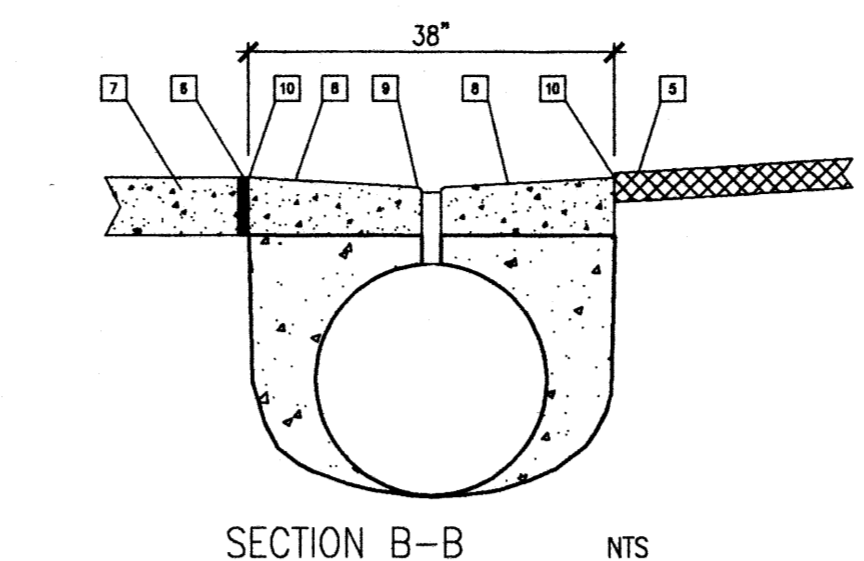
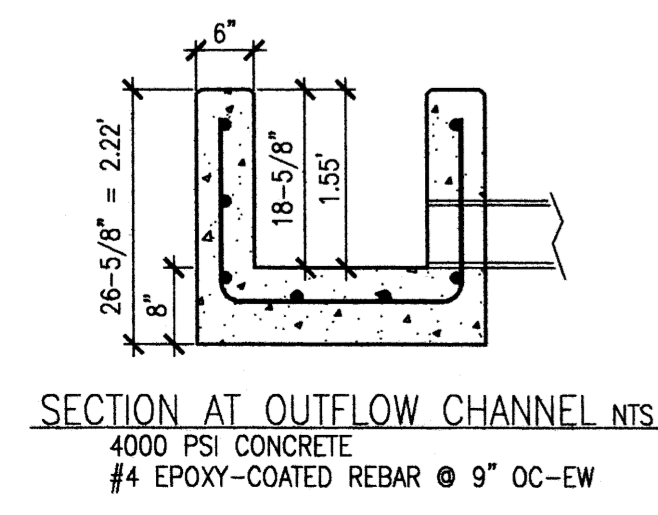
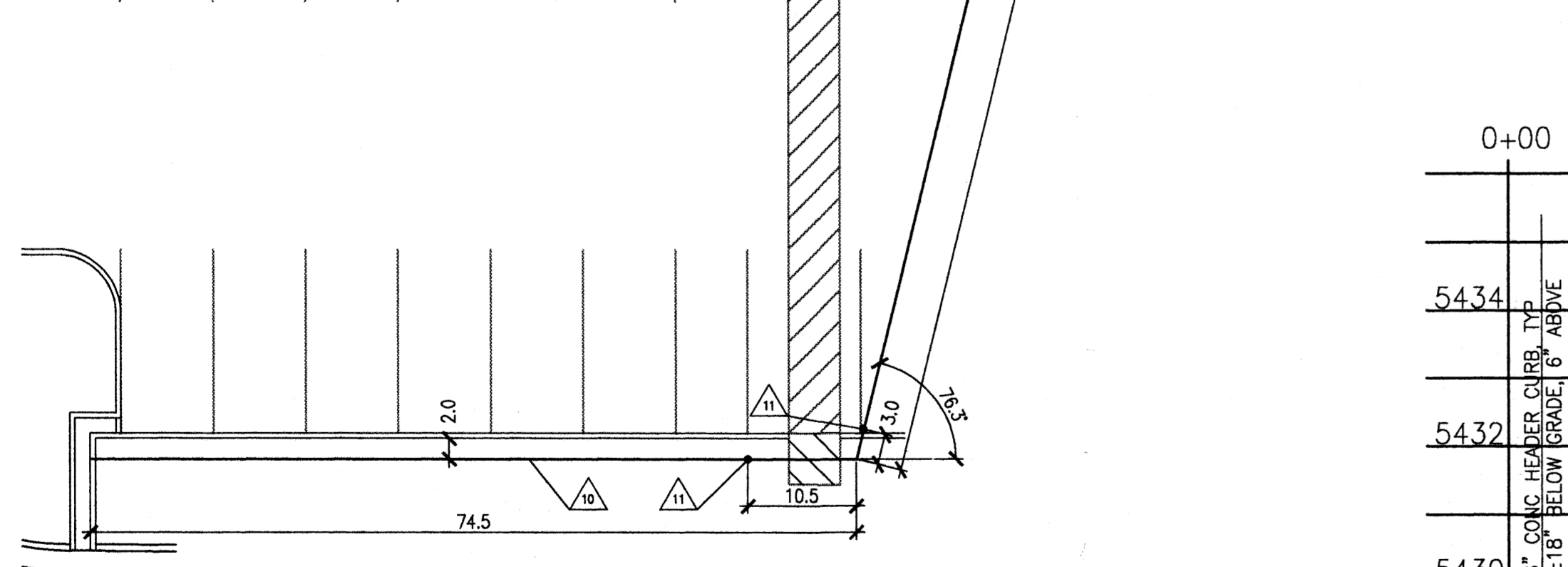
**TUCKER H. GREEN**  
 10731  
 GRADING & DRAINAGE PLAN  
**PER SE ENGINEERING**  
*Drainage, Utilities, and Site Design*  
 905 Palomas NE Albuquerque NM 87108  
 (505) 232-9394

WELLS FARGO BANK REMODEL  
 8333 MONTGOMERY BLVD. NE, ALBUQUERQUE, NM

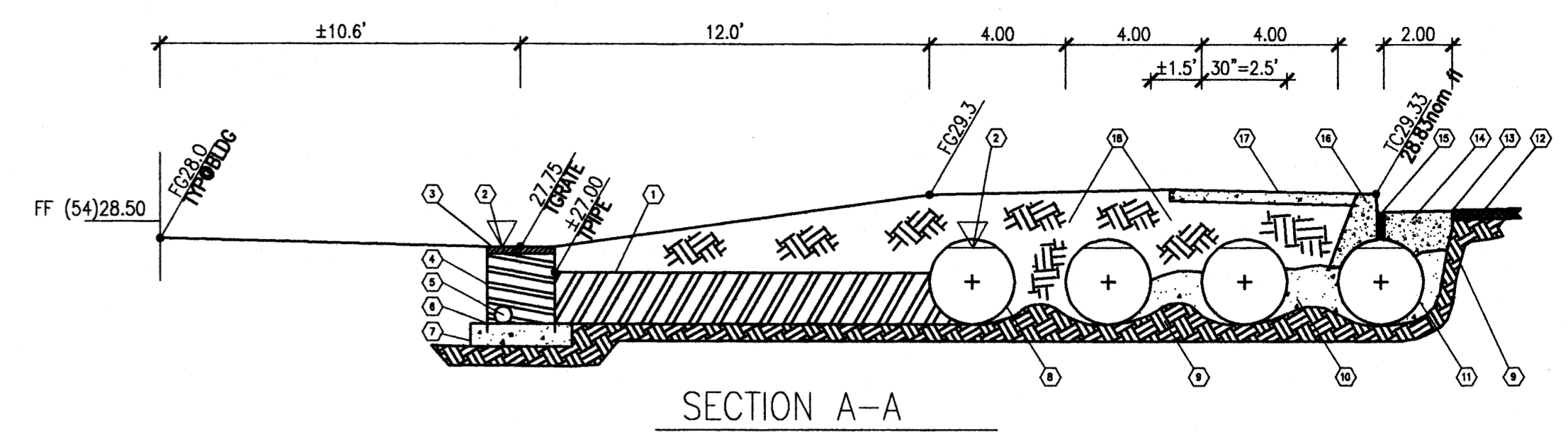
11-07-2001  
 SHEET DR1 of 2



- △ 24" CMP MANHOLE AS VERTICAL BEND, W/ NEENAH R-5900-E SOLID LID
- △ NOT USED
- △ CONCRETE APRON AT SLOTTED DRAIN. SEE DETAIL
- △ 24" CMP MANHOLE BUILT INTO 90° CMP BEND, W/ NEENAH R-5901-E FRAME & GRATE
- △ END 24" SLOTTED DRAIN. CONTINUE W/ STORAGE PIPE
- △ 45° BEND
- △ 24" CMP MANHOLE BUILT ONTO 30" CMP MANIFOLD, W/ NEENAH R-5900-E FRAME & SOLID LID. LID TO BE FLUSH W/ SIDEWALK OR FINISHED GRADE
- △ 30" STORAGE PIPE - SEE DETAILS
- △ 24" CMP MANHOLE, W/ NEENAH R-5901-E FRAME & GRATE. SEE DETAILS
- △ 6" PVC OUTLET PIPE, SEE DRAINAGE PLAN FOR ADD'L NOTES.
- △ CLEANOUT
- △ DEFLECT APPROPRIATE JOINTS OR ADD FITTINGS TO MAKE REQUIRED BEND.

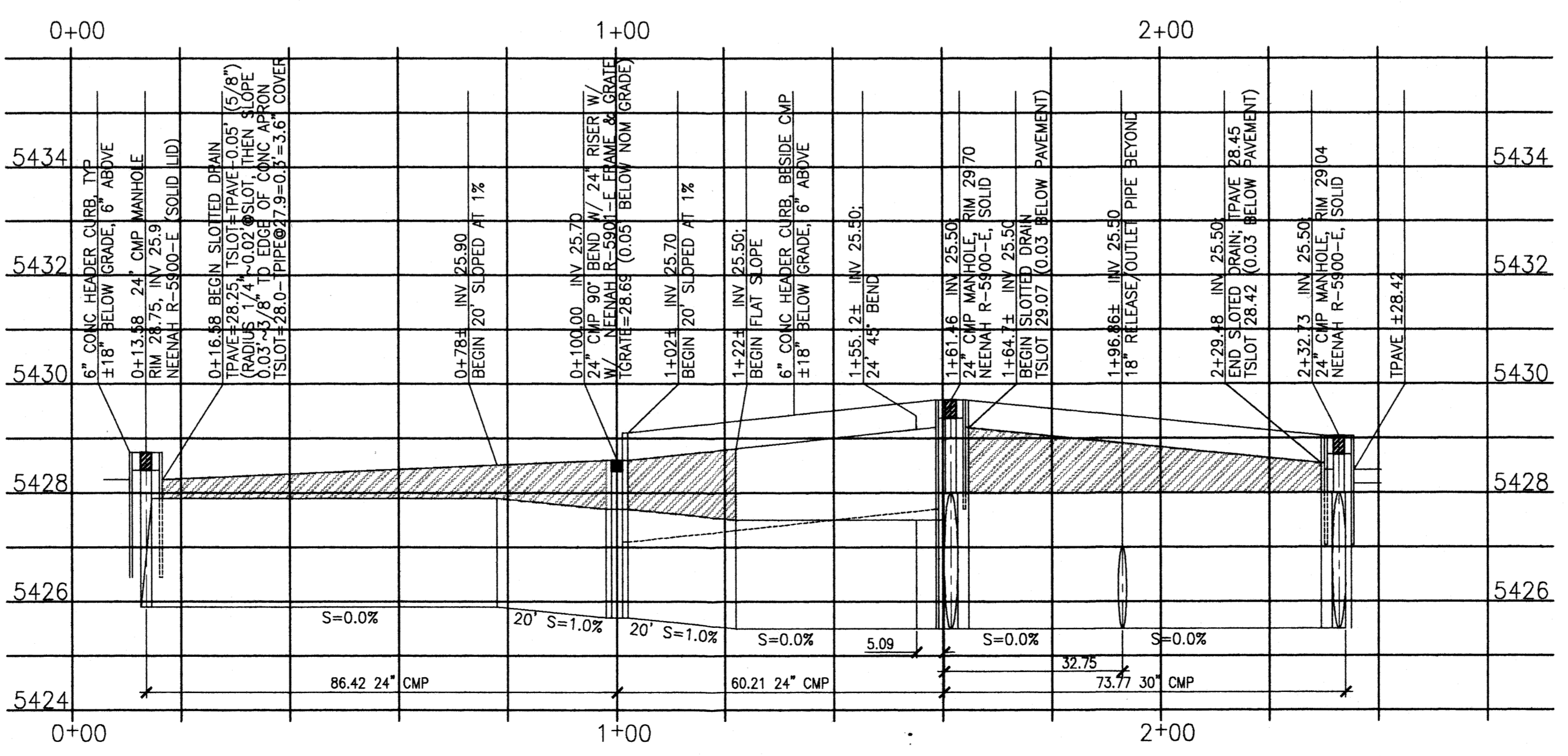


- KEYED NOTES □ :**
- CURB ADJACENT TO BANK AT DRIVE-UP EXTENDED
  - 4000 PSI CONC AT SLOTTED DRAIN
  - HIGH-SLUMP CONCRETE, LEAN FILL, OR GROUT. 1500 PSI MIN.
  - 24" STORAGE PIPE W/ VARIABLE HEIGHT SLOTTED DRAIN. SEE PROFILE
  - ASPHALT PAVING - SEE ARCH'L PLANS FOR THICKNESS AND SPECIFICATIONS. TOP OF ASPHALT TO BE APPX 1/4" HIGHER THAN TOP OF CONCRETE
  - 1/2 BITUMINOUS EXPANSION JOINT. OMIT IF CONCRETE FOR DRIVE-UP ISLANDS IS POURED AT SAME TIME AS THE TOP CONCRETE FOR THE SLOTTED DRAIN
  - CONCRETE PAVING AT DRIVE-UP ISLANDS.
  - 4000 PSI CONC APRON, OUTER EDGE 7" MIN THICKNESS, FORM UPPER 5"
  - TSLOT=PROFILE GRADE-0.05, TYP. NOTE 1/4" RADIUS/CHAMFER
  - PROFILE GRADE, BASED ON SPOT ELEVATIONS ON DRAINAGE PLAN



- KEYED NOTES ○ :**
- 18" CMP, ZERO SLOPE, INVERT=25.50
  - 100-YR 6-HR WATER CALCULATED WATER SURFACE=27.75. TYP
  - NEENAH R-5901-E FRAME & GRATE FOR CMP MANHOLE
  - 24" CMP MANHOLE, SET 3" INTO CONCRETE BASE, W/ STUBS FOR 18" CMP & 6" PVC OUTLET PIPE.
  - STUB FOR 6" PVC OUTLET PIPE. LENGTH=18", INVERT=25.50. CONTRACTOR TO TELL PIPE FABRICATOR WHAT KIND OF OUTLET PIPE TO MATCH (SCH 40 OR ANMA C-100)
  - ALL INVERTS 25.50 AT FLOW LINE
  - 8"-THICK CONCRETE BASE ON COMPACTED SUBGRADE. BASE TO EXTEND 6" MIN BEYOND CMP. ENSURE THAT 6" STUB CAN BE CONNECTED TO OUTLET PIPE
  - 30" CMP STORAGE PIPE - TYP
  - COMPACTED SUBGRADE, 6" MIN THICK, HIGHER BETWEEN PIPES OK.
  - HIGH-SLUMP CONCRETE, LEAN FILL, OR GROUT. 1500 PSI MIN.
  - 30" STORAGE PIPE W/ VARIABLE HEIGHT SLOTTED DRAIN. SEE PROFILE THIS SHEET.
  - ASPHALT PAVING - SEE ARCH'L PLANS FOR THICKNESS AND SPECIFICATIONS. TOP OF ASPHALT TO BE APPX 1/4" HIGHER THAN TOP OF CONCRETE
  - GRADE= PROFILE GRADE+0.05' (5/8")
  - 4000 PSI CONC APRON, OUTER EDGE 7" MIN THICKNESS, FORM UPPER 5"
  - TSLOT=PROFILE GRADE-0.05'. HERE TSLOT APPX 28.78, PROFILE 28.83, TCURB 29.33
  - 4000 PSI CONC CURB AT SLOTTED DRAIN. SLOPE BACK & EXTEND 3" MIN BEYOND EDGE OF PIPE.
  - CONC SIDEWALK, PER ARCH'L
  - COMPACTED EARTH. IN LANDSCAPE AREAS, OK FOR UPPER 1.25' TO BE LOOSER TO FACILITATE PLANT GROWTH.

- GENERAL NOTES: CMP & SLOTTED DRAINS**
- A. ALL STORAGE PIPE AND SLOTTED DRAIN THIS PROJECT TO BE ALUMINIZED STEEL PER CONTECH, OR APPROVED EQUAL, INSTALLED IN ACCORD WITH THE MANUFACTURER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER ARE MORE STRINGENT. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.
  - B. MOST OF THE PIPES THIS PROJECT TO BE INSTALLED FLAT (ZERO SLOPE).
  - C. ALL JOINTS TO BE WATER-TIGHT AT LOW HEAD. PROVIDE O-RING GASKETS AT PIPE JOINTS; VERIFY WELDED JOINTS. THE AREA NEAR THE DRIVE-UP BANKING ISLAND AND ADJACENT TO THE BANK BUILDING IS ESPECIALLY CRUCIAL.
  - D. BACKFILL AND COMPACTION TO BE 95% (MIN) OF MODIFIED PROCTOR (ASTM D-1557). COMPACT BOTTOM ALL TRENCHES 6" BEFORE INSTALLING PIPE. EXISTING SITE SOILS IN SOME AREAS MAY BE UNSUITABLE AND NEED TO BE OVEREXCAVATED AND REPLACED. FOLLOW THE RECOMMENDATIONS OF THE SOILS ENGINEER.
  - E. ALL CMP IN TRAFFIC, PARKING, AND SIDEWALK AREAS TO BE CONSTRUCTED USING HIGH SLUMP CONCRETE OR LEAN FILL PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM COMPRESSIVE STRENGTH 1500 PSI AT 28 DAYS. CMP'S IN LANDSCAPE AREAS TO BE CONSTRUCTED WITH COMPACTED BACKFILL INSTEAD OF CONCRETE.



S.O. 19 APPROVALS FOR WORK IN CITY R.O.W.

APPROVALS	NAME	DATE
INSPECTOR		
PERMIT NO.	MAP NO.	

R	DATE	DESCRIPTION

**Van H. Gilbert Architect P.C.**  
 ARCHITECTURE INTERIORS PLANNING  
 2428 boylor drive se albuquerque, nm 87106  
 tel 505 . 247 . 9955 fax 505 . 247 . 1826

Drawn By: \_\_\_\_\_ VHGA Project No: \_\_\_\_\_  
 Checked By: \_\_\_\_\_ Date: \_\_\_\_\_

**LUCKER H. GREEN**  
 10731  
 GRADING & DRAINAGE DETAILS  
**PER SE ENGINEERING**  
*Drainage, Utilities, and Site Design*  
 905 Palomas NE Albuquerque NM 87108  
 (505) 232-9394

WELLS FARGO BANK REMODEL  
 8333 MONTGOMERY BLVD. NE, ALBUQUERQUE, NM

SHEET  
 11-7-01  
 DR 2 of 2

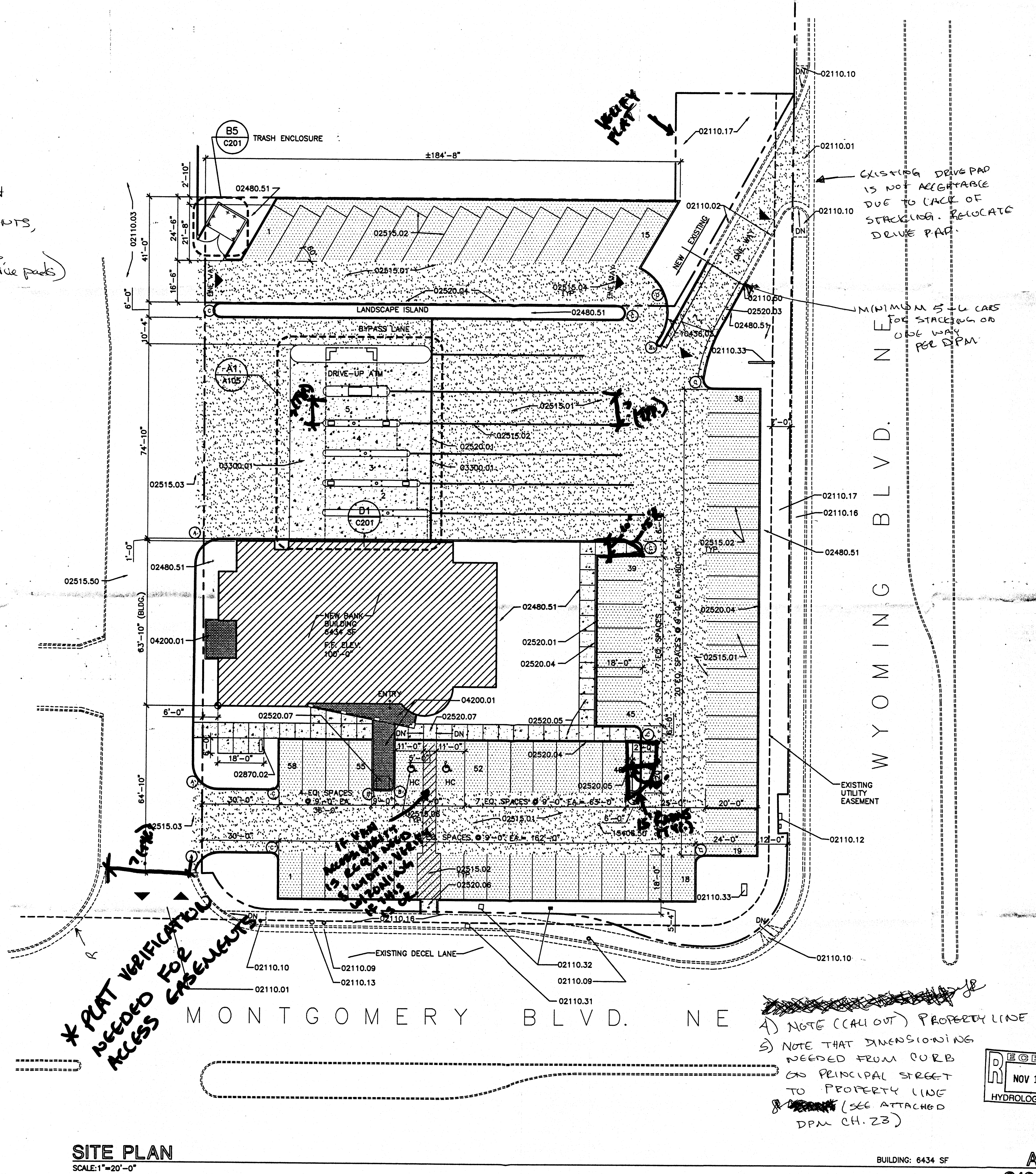
- 1) ZONE ATLAS MAP (VICINITY MAP) Showing location of development
- 2) Dimensioning req'd for all access easements, driveways, etc. Please submit detail dwgs for Handicap ramps, parking, etc. (Curb cuts & drive pads)

LANDSCAPE AREA:	
TOTAL LOT AREA=	65275 SF
MINUS BLDG.=	6434 SF
NET AREA=	58841 SF
LANDSCAPE REQUIRED: 15%=	8826 SF
LANDSCAPE PROVIDED: 22.5%=	13260 SF

PARKING INFORMATION:	
REGULAR STALLS 9' X 20':	
CODE: (6434/200):	32
PROVIDED:	73
HANDICAPPED STALLS (VAN ACCESSIBLE):	
CODE:	2
PROVIDED:	2
BIKE RACK SPACES PROVIDED:	11
NO COMPACT STALLS OR REDUCTION FOR PUBLIC TRANSPORTATION	

RADIUS LEGEND	
(A)	10'-0" 15'-0"
(B)	2'-0"
(C)	3'-0"
(D)	20'-0"
(E)	1'-0"

PAVEMENT LEGEND	
	CONCRETE
	4" ASPHALTIC CONCRETE OVER BASECOURSE
	3" ASPHALTIC CONCRETE OVER BASECOURSE



**\* PLAT VERIFICATION NEEDED FOR ACCESS EASEMENTS**

A) NOTE (CALL OUT) PROPERTY LINE  
 S) NOTE THAT DIMENSIONING NEEDED FROM CURB OR PRINCIPAL STREET TO PROPERTY LINE  
 (SEE ATTACHED DPM CH. 23)

- ### KEYNOTES
- 02110.01 EXIST. CURB CUT/DRIVE PAD. PROVIDE NEW AC PAVING AS SHOWN
  - 02110.02 EXIST. CURB TO REMAIN
  - 02110.03 EXIST. ACCESS ROAD TO REMAIN
  - 02110.09 EXIST. POWER POLE TO REMAIN
  - 02110.10 EXIST. HANDICAP RAMP TO REMAIN
  - 02110.12 EXIST. TRAFFIC SIGNAL EQUIP. TO REMAIN
  - 02110.13 EXIST. FIRE HYDRANT TO REMAIN
  - 02110.16 EXIST. CONCRETE SIDEWALK TO REMAIN
  - 02110.17 EXIST. LANDSCAPING & IRRIGATION TO REMAIN-TIE INTO NEW
  - 02110.31 EXISTING WATER METER TO REMAIN
  - 02110.32 EXISTING IRRIGATION VALVES TO BE REMOVED CAPPED
  - 02110.33 EXISTING SIGN N.I.C.
  - 02110.50 CUT EXIST. CURB & GUTTER AT AN EXISTING CONTROL OR EXPANSION JOINT. REMOVE EXIST. CURB & GUTTER & POUR NEW TO AREA SHOWN ON DWGS. REMOVE ALL A.C. PAVING AND INSTALL NEW TO STREET.
  - 02480.51 NEW LANDSCAPING- SEE LANDSCAPING DRAWINGS, TYP.
  - 02515.01 ASPHALTIC CONCRETE PAVING - SEE SPECS
  - 02515.02 PAVING STRIPE (COLOR TO BE WHITE PER CITY OF ALB. STANDARDS)
  - 02515.03 SAW CUT AT EXISTING PAVING AND TIE IN WITH NEW AC PAVING- SEE CIVIL DRAWINGS.
  - 02515.04 PAINTED ARROW (COLOR TO BE WHITE- SEE DTL. A3/C201)
  - 02515.06 PAINTED HANDICAP SYMBOL. COLOR TO BE WHITE. SEE DTL. A3/C201
  - 02515.50 PRIMARY BID: PATCH EXIST. A.C. PAVING AS REQUIRED OF ALL CRACKS AND POTHOLES. ALTERNATE BID: PROVIDE A NEW OVERLAY COAT OVER THE EXISTING PAVING FROM THE MONTGOMERY ENTRANCE NORTH TO EXTENT OF BANK'S LEASE AREA.
  - 02520.01 TRENCH DRAIN- SEE CIVIL DWGS.
  - 02520.03 CONC. CURB & GUTTER - SEE DETL. D3/C201
  - 02520.04 STANDING CONC. CURB. SEE C2/C201
  - 02520.05 CONC. SIDEWALK - SEE SPECS & DETL. D5/C201
  - 02520.06 CONC. SIDEWALK CONNECTION FROM EXIST. SIDEWALK TO NEW SIDEWALK
  - 02520.07 CONC. HANDICAP CURB RAMP - SEE DETL. A4/C201
  - 02870.02 BIKE RACK, SEE C1/C201
  - 03300.01 CONC. SLAB, SEE STRUCTURAL
  - 04200.01 BRICK PAVERS OVER CONC. SLAB. THIN SET BUTT JOINT- RUNNING BOND PATTERN.
  - 10436.03 STOP SIGN- SEE A1/C201
  - 15406.50 EXISTING CLEAN OUT

**FILE COPY**

**LEGAL DESCRIPTION:**  
 LEASE PORTIONS OF:  
 TRACT A-1  
 LOS PASTORES SHOPPING CENTER

**NOTE:**  
 INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.

**WELLS FARGO BANK**  
 WYOMING & MONTGOMERY  
 8333 MONTGOMERY BLVD.  
 ALBUQUERQUE, NM

**Van H. Gilbert Architect PC**  
 ARCHITECTURE PLANNING  
 2428 BAYLOR DRIVE SE ALBUQUERQUE, NM 87106 505.247.9955

PROJECT ARCHITECT

RECEIVED  
 NOV 13 2001  
 HYDROLOGY SECTION

DATE: 11/12/01  
 DRAWN BY: STAFF  
 CHECKED BY:

**SITE PLAN** **C102**

**SITE PLAN**  
 SCALE: 1"=20'-0"

BUILDING: 6434 SF

A1  
 C102