

CITY OF ALBUQUERQUE



February 7, 2017

Richard J. Berry, Mayor

Marck Errichetti, P.E.
Sitewise Design PLLC
219 First Ave. S., Suite 401
Seattle, WA, 98104

RE: Starbucks at 4601 Wyoming Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date 2-1-2017 (File: F19D013C)

Dear Mr. Errichetti:

Based upon the information provided in your submittal received 2-7-2017, the above referenced Grading and Drainage Plan is approved for building permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3999.

Albuquerque

Sincerely,

New Mexico 87103

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov

MA/SB



City of Albuquerque

Planning Department
Development & Building Services Division

FAST RAX

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks at 4601 Wyoming Blvd NE **Building Permit #:** 2016-32291 **City Drainage #:** F19D013C
DRB#: 16DRB-70420 **EPC#:** 16EPC-40040 / project #1010550 **Work Order#:**
Legal Description: Lot 1 of Tract A-1, Redivision of TR A (now comprising TRS A1 & A2) Los Pastores Shopping Center EXC SLWY PORT & PORT out to r/w
City Address: 4601 Wyoming Blvd NE Albuquerque, NM 87109

Engineering Firm: Sitewise Design PLLC **Contact:** Marc Errichetti
Address: 219 First Avenue S Suite 401
Phone#: 2064024644 **Fax#:** **E-mail:** marc@sitewisepllc.com

Owner: Starbucks Coffee Company **Contact:** Bruce Beyerly
Address: 6380 S. Fiddlers Green Circle, Ste 450 Greenwood Village, CO 80111
Phone#: (303) 661-7624 **Fax#:** **E-mail:** bbeyerly@starbucks.com

Architect: the design COLLECTIVE **Contact:** James Blissett
Address: 2303 West Commodore Way Seattle, WA 98199
Phone#: 2062822730 **Fax#:** **E-mail:** colinb@thed-c.com

Other Contact: the design COLLECTIVE **Contact:** Colin Bott
Address: 2303 West Commodore Way Seattle, WA 98199
Phone#: 2062822730 **Fax#:** **E-mail:** colinb@thed-c.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

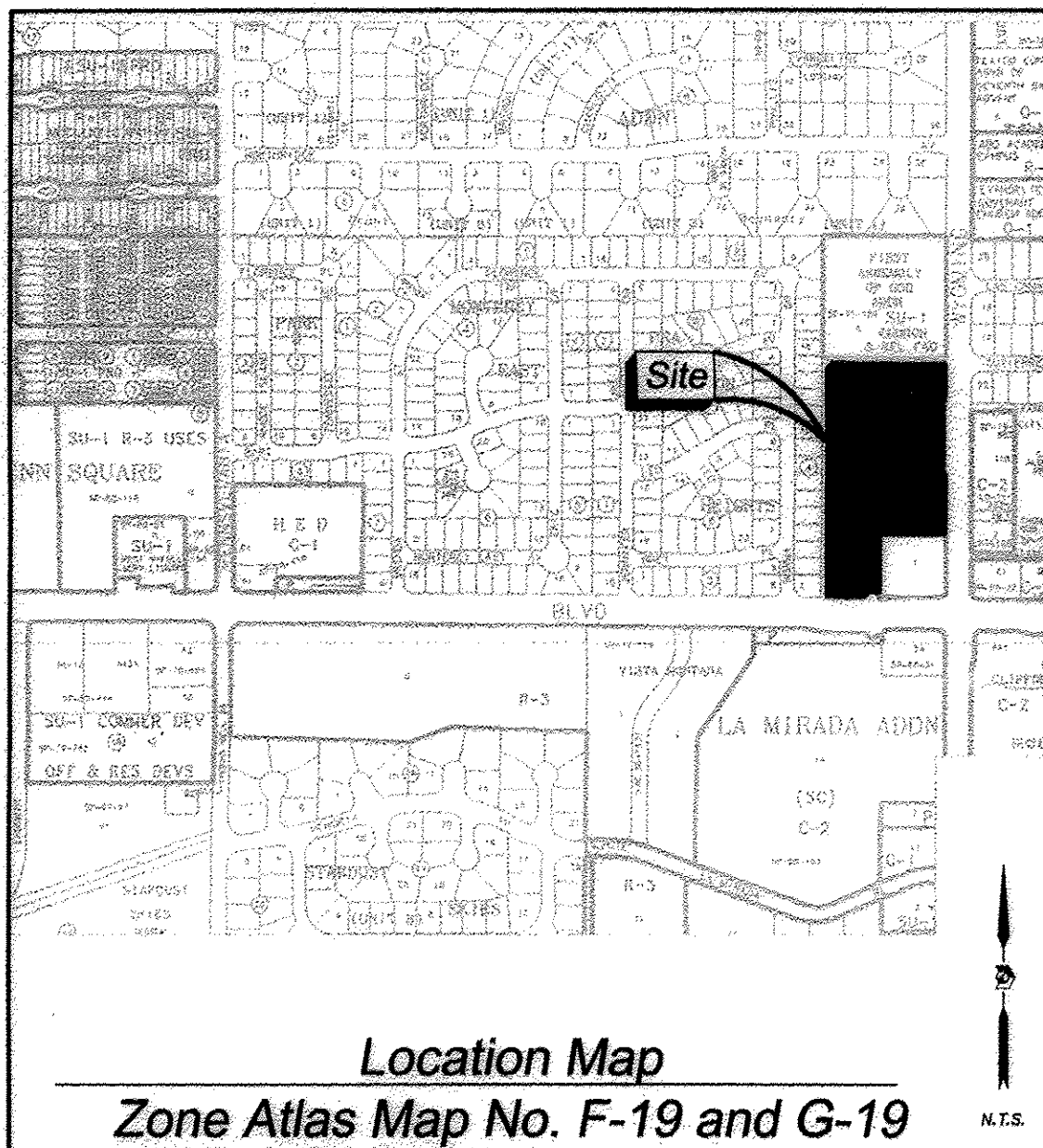
- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02/06/2017 By: Danielle Ross danieller@thed-c.com

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



RECEIVED
2-7-17



Subdivision Data:

ZONING: C-2
GROSS SUBDIVISION ACREAGE: 6.4485 ACRES±
ZONE ATLAS INDEX NO: F-19-Z AND G-19-Z
NO. OF TRACTS CREATED: 6
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: APRIL 2016

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ONE EXISTING TRACT INTO SIX NEW TRACTS, DEDICATED RIGHT OF WAY, AND GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN; NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

DOCM 2016097396

10/14/2016 10:19 AM Page: 1 of 3
PLAT R-225.00 B-2016C P-0124 M. Toulouse Oliver, Bernalillo Cou
MONUMENT 8_G20 BEARS S 26°13'12" E, A DISTANCE OF 3271.18 FEET;

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT "A-1" OF LOS PASTORES SHOPPING CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON NOVEMBER 06, 1990, IN VOLUME 90C, FOLIO 275, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NAD 1983) AND BY GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF WYOMING BOULEVARD N.E., MARKED BY A FOUND CHISELED "X", FROM WHENCE A TIE TO AGRS MONUMENT 8_G20 BEARS S 26°13'12" E, A DISTANCE OF 3271.18 FEET;

THENCE FROM SAID POINT OF BEGINNING N 89°30'13" W, A DISTANCE OF 230.04 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°06'33" W, A DISTANCE OF 204.34 FEET TO AN ANGLE POINT LYING ON THE NORTH RIGHT OF WAY LINE OF MONTGOMERY BOULEVARD N.E., MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT 5 COURSES S 89°59'33" W, A DISTANCE OF 0.45 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 86°25'32" W, A DISTANCE OF 36.78 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°59'58" W, A DISTANCE OF 7.00 FEET TO POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 43.45 FEET, A RADIUS OF 27.91 FEET, A DELTA ANGLE OF 89°11'33", A CHORD BEARING OF S 46°00'34" W, AND A CHORD LENGTH OF 39.19 FEET, TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH PLASTIC CAP (ILLEGIBLE);

THENCE N 89°30'13" W, A DISTANCE OF 116.57 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF SAID NORTH RIGHT OF WAY LINE AND THE EAST RIGHT OF WAY LINE OF A 20' PUBLIC ALLEY, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 00°06'33" E, A DISTANCE OF 265.00 FEET TO AN ANGLE POINT; MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 89°29'27" E, A DISTANCE OF 10.00 FEET TO AN ANGLE POINT SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°06'33" E, A DISTANCE OF 547.87 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 45°40'15" E, A DISTANCE OF 17.00 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°30'25" E, A DISTANCE OF 199.02 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 80°25'06" E, A DISTANCE OF 106.73 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°29'46" E, A DISTANCE OF 80.61 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 12.74 FEET, A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 36°29'42", A CHORD BEARING OF S 71°14'55" E, AND A CHORD LENGTH OF 12.52 FEET, TO THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF WYOMING BOULEVARD N.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°06'33" W, A DISTANCE OF 67.49 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";

THENCE S 10°29'14" W, A DISTANCE OF 46.78 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";

THENCE S 00°06'33" W, A DISTANCE OF 247.66 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL;

THENCE S 89°42'55" E, A DISTANCE OF 8.43 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL;

THENCE S 00°06'33" W, A DISTANCE OF 212.99 FEET TO THE POINT OF BEGINNING, CONTAINING 6.4483 ACRES (280,886 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D, A-1-E AND A-1-F.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

SEE SHEET 2 OF 3 FOR FREE CONSENT AND DEDICATION

Acknowledgment

SEE SHEET 2 OF 3 FOR ACKNOWLEDGEMENT

Subdivision Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F Los Pastores Shopping Center

Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico
April 2016

Project No. **1010550**

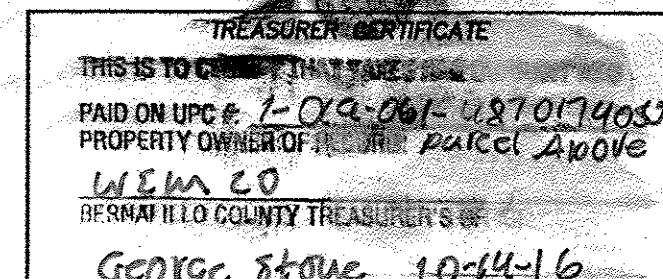
Application No. **16DRB-70167**

Utility Approvals

<i>Elena Gallegos</i>	10-5-16
PNM	DATE
<i>Ali Salgado</i>	10-13-16
NEW MEXICO GAS COMPANY	DATE
<i>[Signature]</i>	10/11/2016
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<i>[Signature]</i>	10/13/16
COMCAST	DATE

City Approvals

<i>Elena Gallegos</i>	5/9/16
CITY SURVEYOR	DATE
<i>Rogelio M. Mendez</i>	10/5/16
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>[Signature]</i>	10/05/16
A.B.C.W.U.A.	DATE
<i>Carl S. Dumont</i>	10-5-16
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	10-5-16
AMAFCA	DATE
<i>[Signature]</i>	10-5-16
CITY ENGINEER	DATE
<i>[Signature]</i>	10-14-16
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 4/29/16
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE

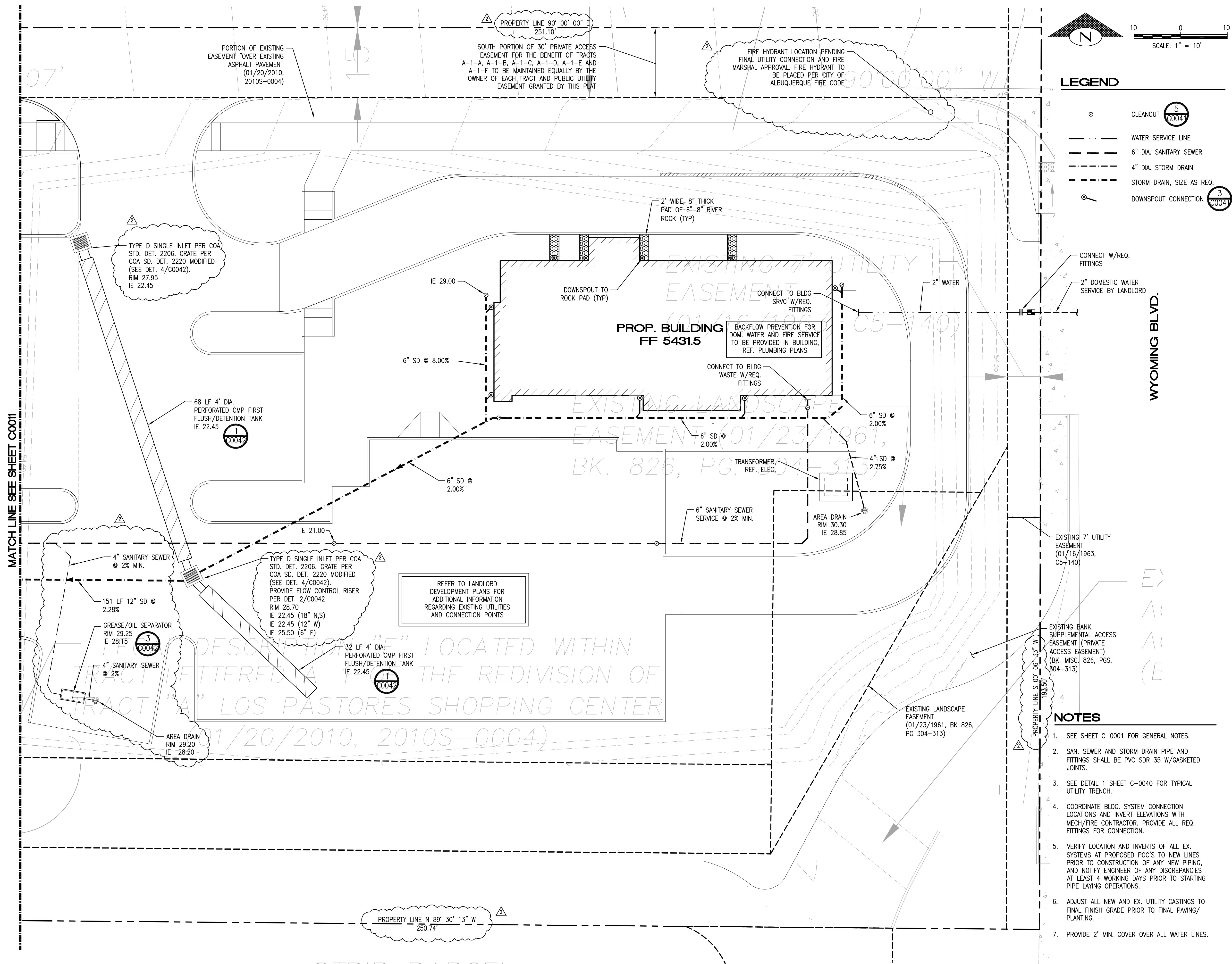


**PRECISION
SURVEYS, INC.**

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER W & M CO. A NEW MEXICO GENERAL PARTNERSHIP
OWNER G & L INVESTMENT CO. A NEW MEXICO CORPORATION
SECTION 31, TOWNSHIP 11 N, RANGE 4 E,
SUBDIVISION LOS PASTORES SHOPPING CENTER

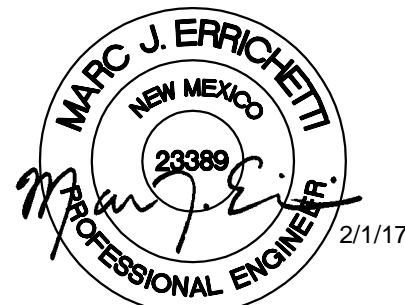


STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

THESE DRAWINGS AND SPECIFICATIONS ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION 12015-10-23

sitewise
design PLLC
A CIVIL ENGINEERING COMPANY
219 First Avenue S., Suite 401
Seattle WA 98104
206-402-4644



PROJECT NAME:
MONTGOMERY & WYOMING

PROJECT ADDRESS:

4601 WYOMING BLVD. NE
ALBUQUERQUE, NEW MEXICO
87109

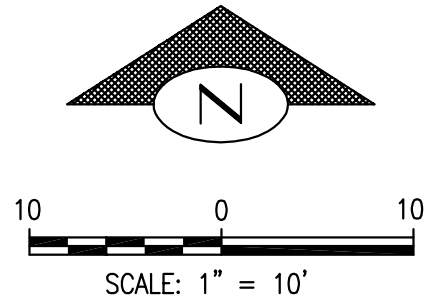
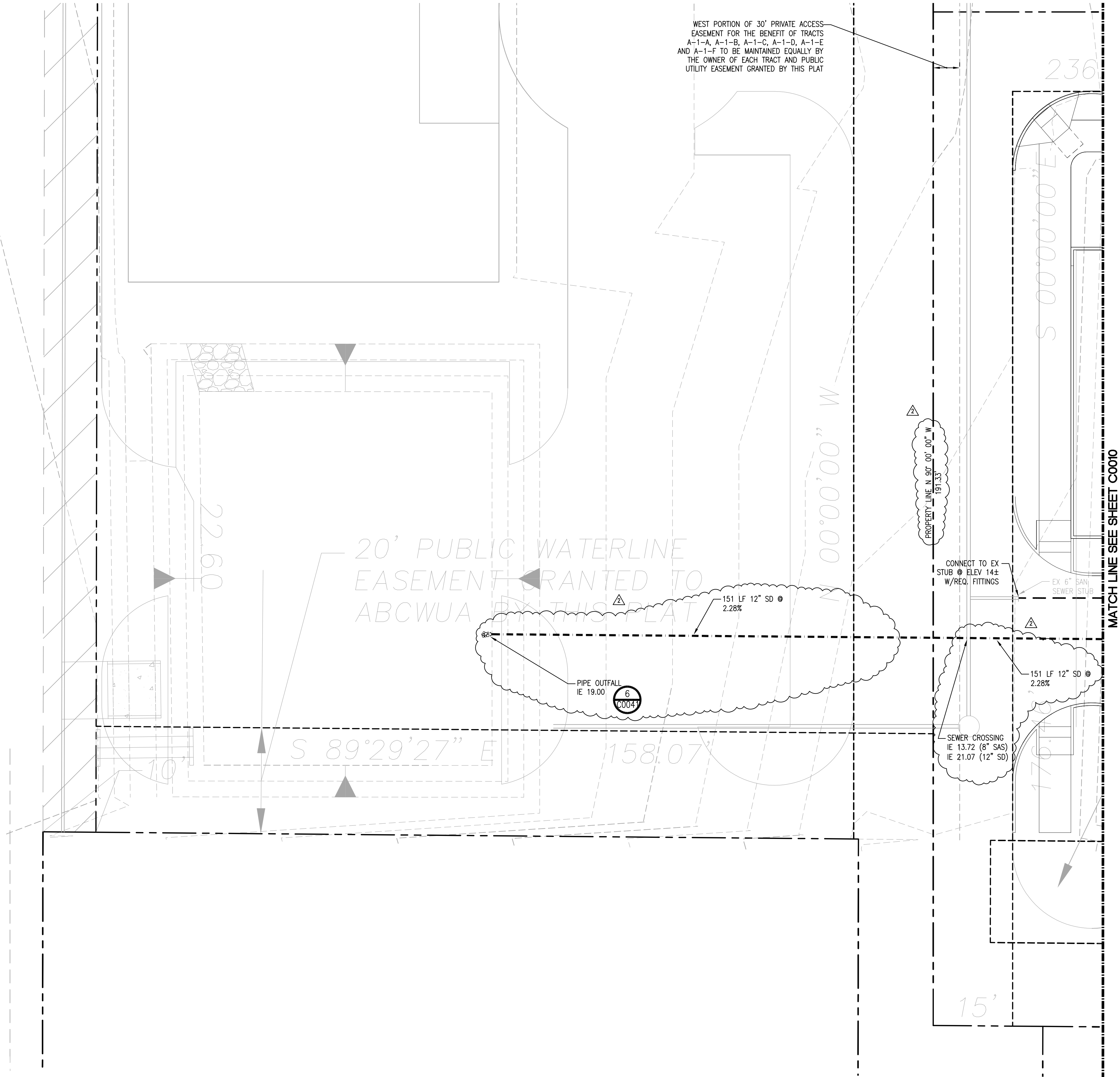
STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: N/A
ISSUE DATE: JANUARY 3, 2017
DESIGN MANAGER: MJE
LEED® AP:
PRODUCTION DESIGNER: tDC
CHECKED BY: MJE

Revision Schedule				
Rev	Date	By	Description	
1	1/3/17	TG	Permit	Comments
2	2/1/17	TG	Permit	Comments

SHEET TITLE:
DRAINAGE AND UTILITY PLAN
SCALE: AS SHOWN

SHEET NUMBER:
C-0010

File: Z:\2016 Project Documents\0000_S&B\461-MC\5201-UTL.dwg 02.may.17 8:26:36am



LEGEND

- CLEANOUT (5) (C0047)
- WATER SERVICE LINE
- 6" DIA. SANITARY SEWER
- 4" DIA. STORM DRAIN
- STORM DRAIN, SIZE AS REQ.
- DOWNSPOUT CONNECTION (3) (C0047)

NOTES

- SEE SHEET C-0001 FOR GENERAL NOTES.
- SAN. SEWER AND STORM DRAIN PIPE AND FITTINGS SHALL BE PVC SDR 35 W/GASKETED JOINTS.
- SEE DETAIL 1 SHEET C-0040 FOR TYPICAL UTILITY TRENCH.
- COORDINATE BLDG. SYSTEM CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECH/FIRE CONTRACTOR. PROVIDE ALL REQ. FITTINGS FOR CONNECTION.
- VERIFY LOCATION AND INVERTS OF ALL EX. SYSTEMS AT PROPOSED POC'S TO NEW LINES PRIOR TO CONSTRUCTION OF ANY NEW PIPING, AND NOTIFY ENGINEER OF ANY DISCREPANCIES AT LEAST 4 WORKING DAYS PRIOR TO STARTING PIPE LAYING OPERATIONS.
- ADJUST ALL NEW AND EX. UTILITY CASTINGS TO FINAL FINISH GRADE PRIOR TO FINAL PAVING/ PLANTING.
- PROVIDE 2' MIN. COVER OVER ALL WATER LINES.

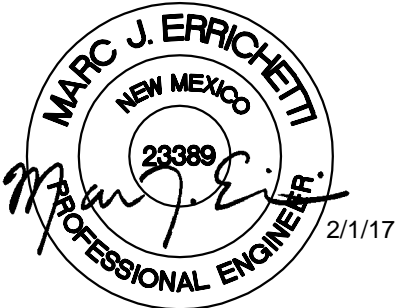


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STARBUCKS TEMPLATE VERSION 12015-10-23

sitewise
design PLLC
A CIVIL ENGINEERING COMPANY
219 First Avenue S., Suite 401
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206-402-4644



PROJECT NAME:
MONTGOMERY &
WYOMING

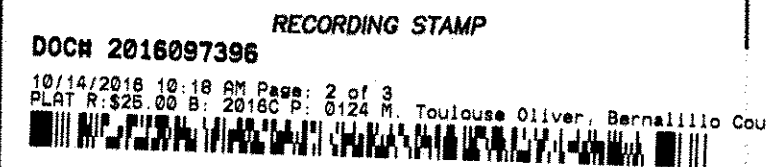
PROJECT ADDRESS:
4601 WYOMING BLVD. NE
ALBUQUERQUE, NEW MEXICO
87109

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: N/A
ISSUE DATE: JANUARY 3, 2017
DESIGN MANAGER: MJE
LEED® AP:
PRODUCTION DESIGNER: tDC
CHECKED BY: MJE

Revision Schedule				
Rev	Date	By	Description	
1	1/3/17	TG	Permit Comments	
2	2/1/17	TG	Permit Comments	

SHEET TITLE:
DRAINAGE AND UTILITY
PLAN
SCALE: AS SHOWN

SHEET NUMBER:
C-0011



Subdivision
Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F
Los Pastores Shopping Center
Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico
April 2016

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

W & M CO., A NEW MEXICO GENERAL PARTNERSHIP

Paul J. Matteucci

PAUL J. MATTEUCCI
TRUSTEE OF THE PAUL J. MATTEUCCI GENERATION SKIPPING TRUST
(UNDER AGREEMENT DATED MAY 10, 1989, AS AMENDED)
GENERAL PARTNER

4/29/16
DATE

G & L INVESTMENT CO., INC., A NEW MEXICO CORPORATION

Paul J. Matteucci

PAUL J. MATTEUCCI
PRESIDENT

4/29/16
DATE

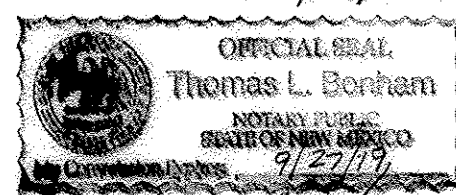
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY PAUL J. MATTEUCCI, TRUSTEE OF THE PAUL J. MATTEUCCI GENERATION SKIPPING TRUST, UNDER AGREEMENT DATED MAY 10, 1989, AS AMENDED, GENERAL PARTNER OF W & M CO., ON BEHALF OF SAID W & M CO., A NEW MEXICO GENERAL PARTNERSHIP.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



Marc Mauney
MARC MAUNEY, MANAGER
MAUNEY INVESTMENTS, LLC
GENERAL PARTNER

4/29/16
DATE

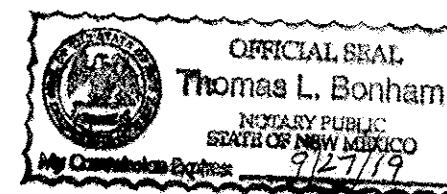
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY PAUL J. MATTEUCCI, PRESIDENT OF G & L INVESTMENT CO., INC., A NEW MEXICO CORPORATION, ON BEHALF OF SAID CORPORATION.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



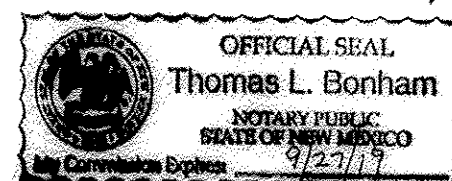
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY MARC MAUNEY, MANAGER OF MAUNEY INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, GENERAL PARTNER OF W & M CO., ON BEHALF OF SAID W & M CO., A NEW MEXICO GENERAL PARTNERSHIP.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



PRECISION
SURVEYS, INC.

INDEXING INFORMATION FOR COUNTY CLERK
OWNER W & M CO., A NEW MEXICO GENERAL PARTNERSHIP
OWNER G & L INVESTMENT CO., A NEW MEXICO CORPORATION
SECTION 31, TOWNSHIP 11 N., RANGE 4 E.
SUBDIVISION LOS PASTORES SHOPPING CENTER

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

RECORDING STAMP

DOC# 2016097396

10/14/2016 10:18 AM Page: 3 of 3
PLAT R: 525.00 B: 2016C P: 0124 M. Toulouse Oliver, Bernalillo County

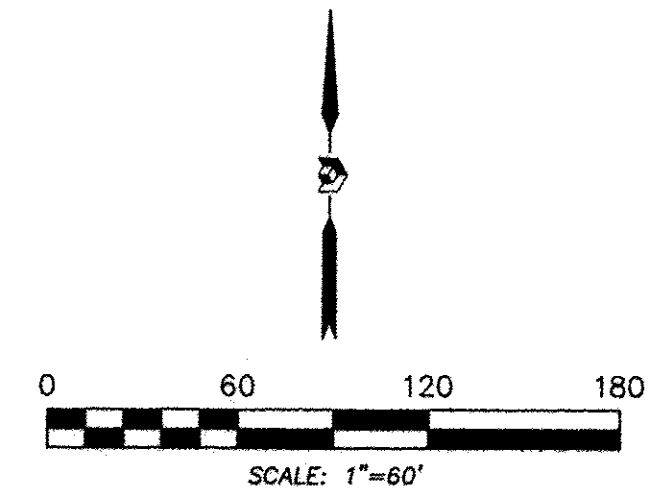
Subdivision

Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F

Los Pastores Shopping Center

Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico

April 2016



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND AGRS MONUMENT AS DESIGNATED
⊥	FOUND RIGHT OF WAY T-RAIL AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
L1	N 86°25'32" W	36.78'
	(N 85°58'49" W)	(36.78')
L2	N 45°40'15" E	28.17'
	(N 45°18'45" E)	(28.19')
L3	S 10°29'14" W	46.78'
	(S 10°34'46" W)	(46.82')
L4	S 89°42'55" E	8.43'
	(S 89°52'49" E)	(8.50')
L5	S 10°29'14" W	12.01'
L6	S 00°06'33" W	19.49'
L7	S 10°29'14" W	34.77'
L8	S 89°59'34" W	7.00'
	(N 89°31'43" W)	(7.00')
L9	S 89°30'25" E	54.11'
L10	N 45°40'15" E	17.00'
L11	S 89°59'33" W	0.45'
	(S 89°31'44" E)	(0.45')
L12	N 86°25'32" W	2.30'
L13	N 86°25'32" W	34.48'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	27.91'	43.45'	89°11'33"	39.19'	S 46°00'34" W
	(27.91')	(43.88')	(92°03'34")	(39.50')	(S 45°30'19" W)
C2	20.00'	12.74'	36°29'42"	12.52'	S 71°14'55" E
C3	20.00'	5.32'	15°15'18"	5.31'	N 81°52'08" W
C4	20.00'	7.41'	21°14'27"	7.37'	S 63°37'17" E
C5	175.00'	27.01'	8°50'42"	26.99'	N 09°58'15" E
C6	16.94'	11.52'	38°56'59"	11.30'	S 69°05'43" W
C7	52.30'	15.41'	16°52'53"	15.35'	N 38°51'56" E
C8	8.73'	4.25'	27°55'37"	4.21'	N 11°06'31" E
C9	175.00'	11.89'	3°53'30"	11.88'	S 03°36'09" W

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