



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Titan WFH **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR A-1-E-1 / TRACT A-1- _____ **City Address OR Parcel** 101906148807440507
101906148904940508

Applicant/Agent: Tierra West LLC **Contact:** VINCE CARRICA

Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** (505) 858-3100

Email: VCARRICA@TIERRAWESTLLC.COM

Applicant/Owner: Mauney Investments, LLC **Contact:** _____

Address: PO BOX 90453 Albuquerque, NM 87109 **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) 2-1 ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE: _____

RE-SUBMITTAL: _____ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

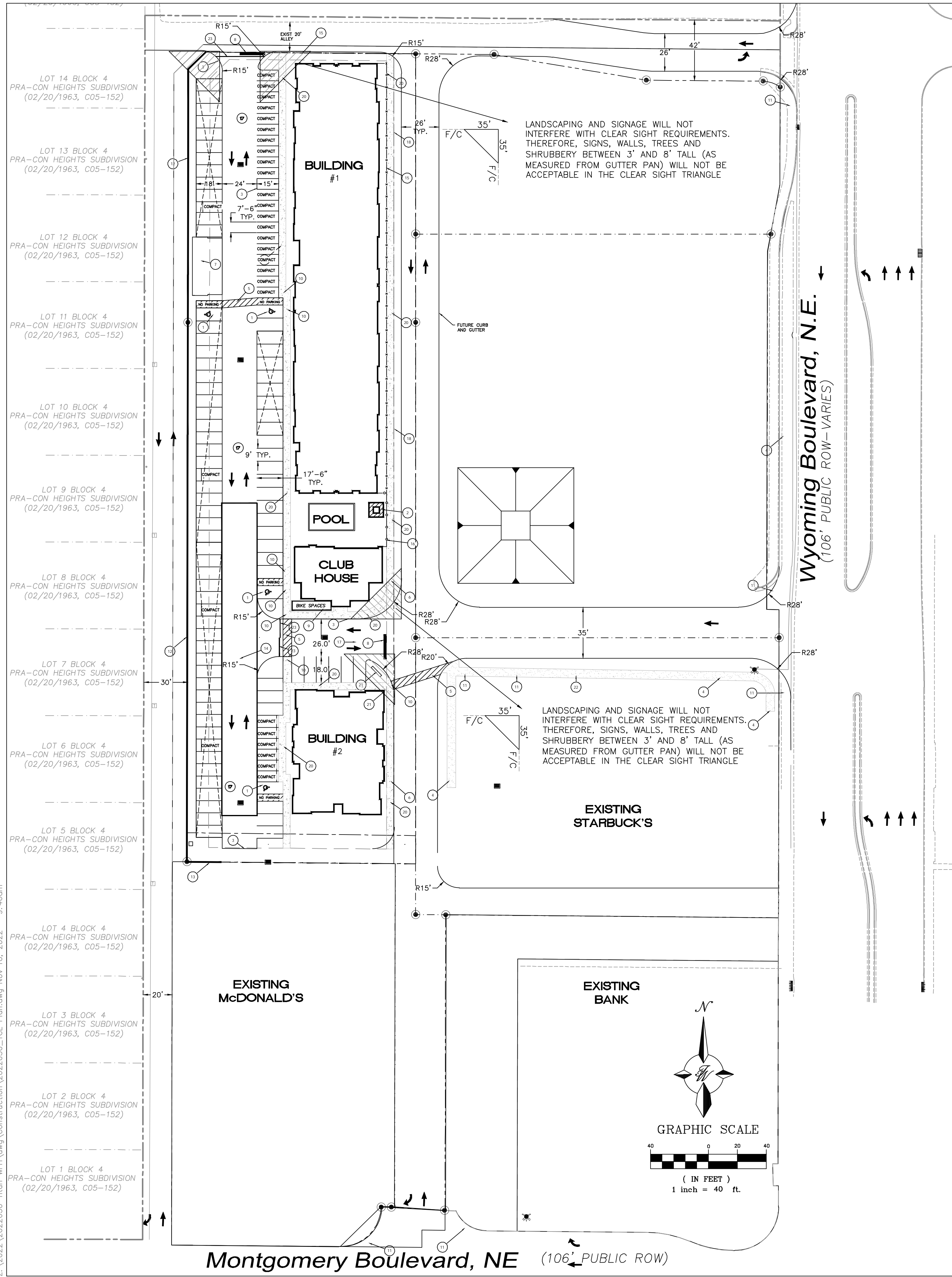
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11.10.2022

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LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING SIDEWALK/CONCRETE PAVEMENT
	PROPOSED SIDEWALK/CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	RETAINING WALL
	STREET LIGHTS
	EXISTING CURB & GUTTER
	TRANSFORMER
	CARPORT

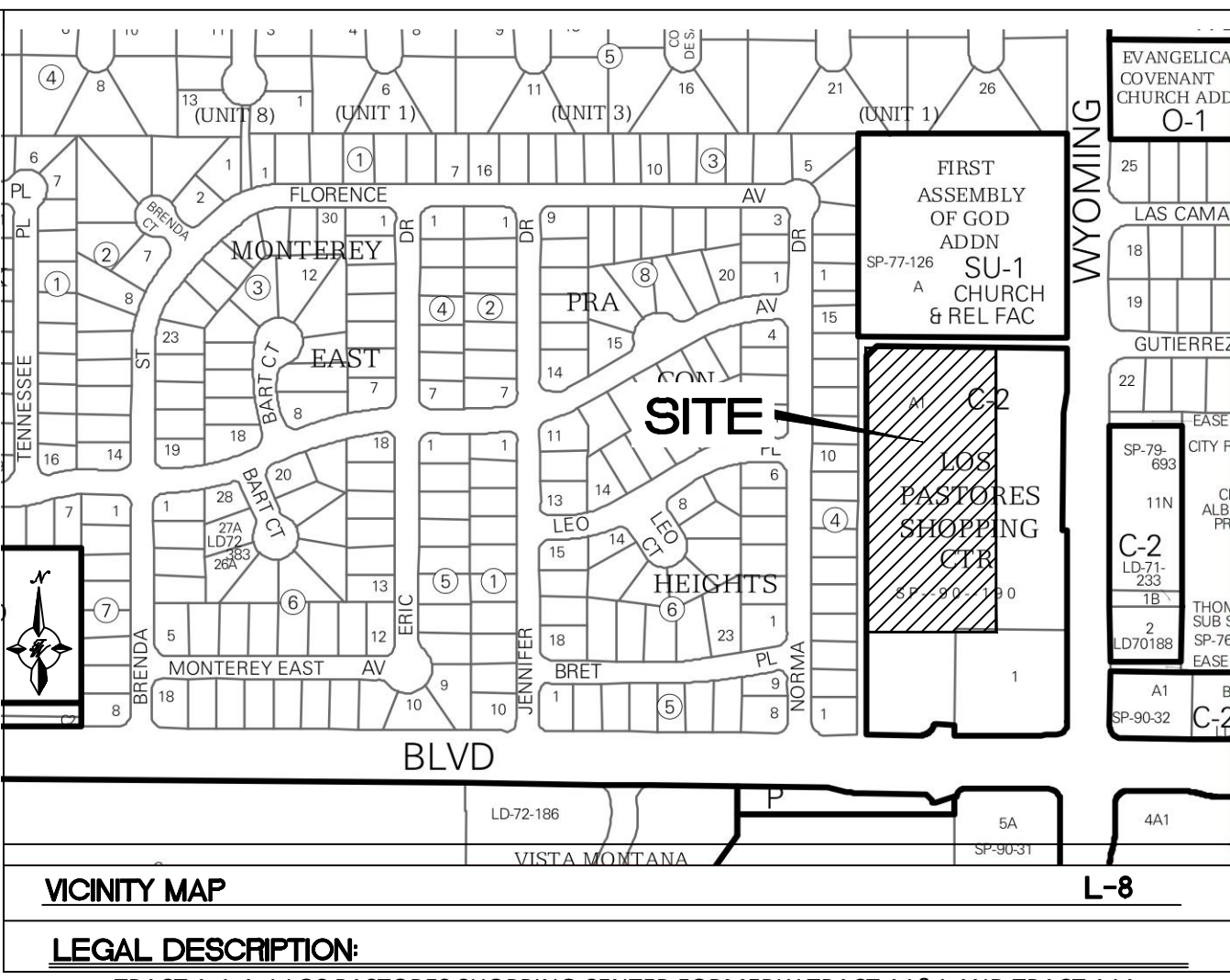
KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
- 2 POOL EQUIPMENT SHED
- 3 6" HEADER CURB
- 4 EXISTING CONCRETE SIDEWALK
- 5 8" CROSSWALK
- 6 EXISTING UTILITY VAULT
- 7 DUMPSTER (SEE DETAIL SHT. C8)
- 8 2.0' STOP BAR W/ STOP SIGN
- 9 BICYCLE RACKS (SEE DETAIL SHT. C7)
- 10 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
- 11 EXISTING ADA RAMP
- 12 RETAINING WALL (3' TO 4' MAX.) SCREEN WALL (3 FT. MIN.) TOTAL HEIGHT OF SCREEN PLUS RETAINING WALL NOT TO EXCEED 8FT.
- 13 RETAINING WALL
- 14 UNDERGROUND DETENTION POND
- 15 WROUGHT IRON FENCE 6FT.
- 16 OPAQUE SCREEN WALL
- 17 ASPHALT PAVING (SEE GEOTECH REPORT)
- 18 4' WROUGHT IRON MAN GATE
- 19 NOT USED
- 20 5' SIDEWALK
- 21 MONUMENT SIGN
- 22 6FT. ADA ACCESS ROUTE
- 23 SWING GATES

NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
3. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
4. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED.
5. LANDSCAPE PLANTERS ARE TO BE 3'-0 WIDE AND 6'-0 IN LENGTH WITH A HEIGHT BETWEEN, 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL. SEE DETAIL SHEET C8. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



VICINITY MAP

LEGAL DESCRIPTION:

TRACT A-1-A-1 LOS PASTORES SHOPPING CENTER FORMERLY TRACT A1&1 AND TRACT A1A

SITE DATA

PROPOSED USAGE: RESIDENTIAL - MULTI FAMILY
ZONE: MX-M
MIXED USE MEDIUM INTENSITY
LOT AREA: 95,741 SF (2.1978 ACRES)
ADDRESS: 4615 WYOMING BLVD. N.E.

SETBACKS
FRONT PER PLAN
REAR PER PLAN
SIDE PER PLAN

BUILDING AREA:
BLDG. 1: 51,345 SF.
BLDG. 2: 15,375 SF.
CLUBHOUSE: 2,107 SF.
TOTAL: 68,827 SF.
BUILDING UNITS 102

PARKING REQUIRED: STUDIOS - 36 UNITS X 1 SPACE PER UNIT = 36 SPACES
1 BEDROOM - 60 UNITS X 1.2 SPACES PER UNIT = 72 SPACES
2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT = 10 SPACES
SUB-TOTAL = 118 SPACES
30% TRANSIT REDUCTION = 35 SPACES
TOTAL REQUIRED SPACES = 82 SPACES

TOTAL PROVIDED: 117 SPACES (30 SMALL CAR 25%)

HC PARKING REQUIRED: 4 (2 VAN SPACES)
HC PARKING PROVIDED: 4 (2 VAN SPACES)

MC PARKING REQUIRED: NONE
MC PARKING PROVIDED: NONE

BICYCLE PARKING REQUIRED: 12 SPACES (10% OF TOTAL PARKING)
BICYCLE PARKING PROVIDED: 12 SPACES

LANDSCAPE AREA REQUIRED: 10,705 SF (15% OF NET)
LANDSCAPE AREA PROVIDED: 14,232 SF (20% OF NET)

	MONTGOMERY/ WYOMING APARTMENTS	DRAWN BY RMG
	TRAFFIC CIRCULATION LAYOUT	DATE 11/08/2022
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_TCL PLAN
		SHEET # TCL-1 JOB # 2022030