

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 9, 2022

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park PI NE
Albuquerque, NM 87109

Re: Montgomery/ Wyoming Apartments
4615 Wyoming Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 11-08-22 (F19-D013C)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 11-16-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Please provide shared access agreement, and approved plat.
3. Details sheet is missing.
4. Please list the width and length for all proposed parking spaces. Some dimensions are not shown.
5. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

6. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
8. ADA curb ramps must be updated to current standards and have truncated domes installed.
9. Key note 10: provide details for all the interior ADA ramps.
10. Due to proposing gates in the site, please provide vehicles turning template.
11. All bicycle racks shall be designed according to the following guidelines:

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- a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
12. Bicycle racks shall be sturdy and anchored to a concrete pad.
 13. A 1-foot clear zone around the bicycle parking stall shall be provided.
 14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
 15. A 5 ft. keyway is required for dead-end parking aisles.
 16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
 17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
 18. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
 19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
 20. Provide a copy of Fire Marshal approval.
 21. Please specify the City Standard Drawing Number when applicable.
 22. Please provide a letter of response for all comments given.
 23. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

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For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293 ma via: email
C: CO Clerk, File

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Titan WFH **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR A-1-E-1 / TRACT A-1- _____ **City Address OR Parcel** 101906148807440507
101906148904940508

Applicant/Agent: Tierra West LLC **Contact:** VINCE CARRICA

Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** (505) 858-3100

Email: VCARRICA@TIERRAWESTLLC.COM

Applicant/Owner: Mauney Investments, LLC **Contact:** _____

Address: PO BOX 90453 Albuquerque, NM 87109 **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) 2-1 ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE: _____

RE-SUBMITTAL: _____ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

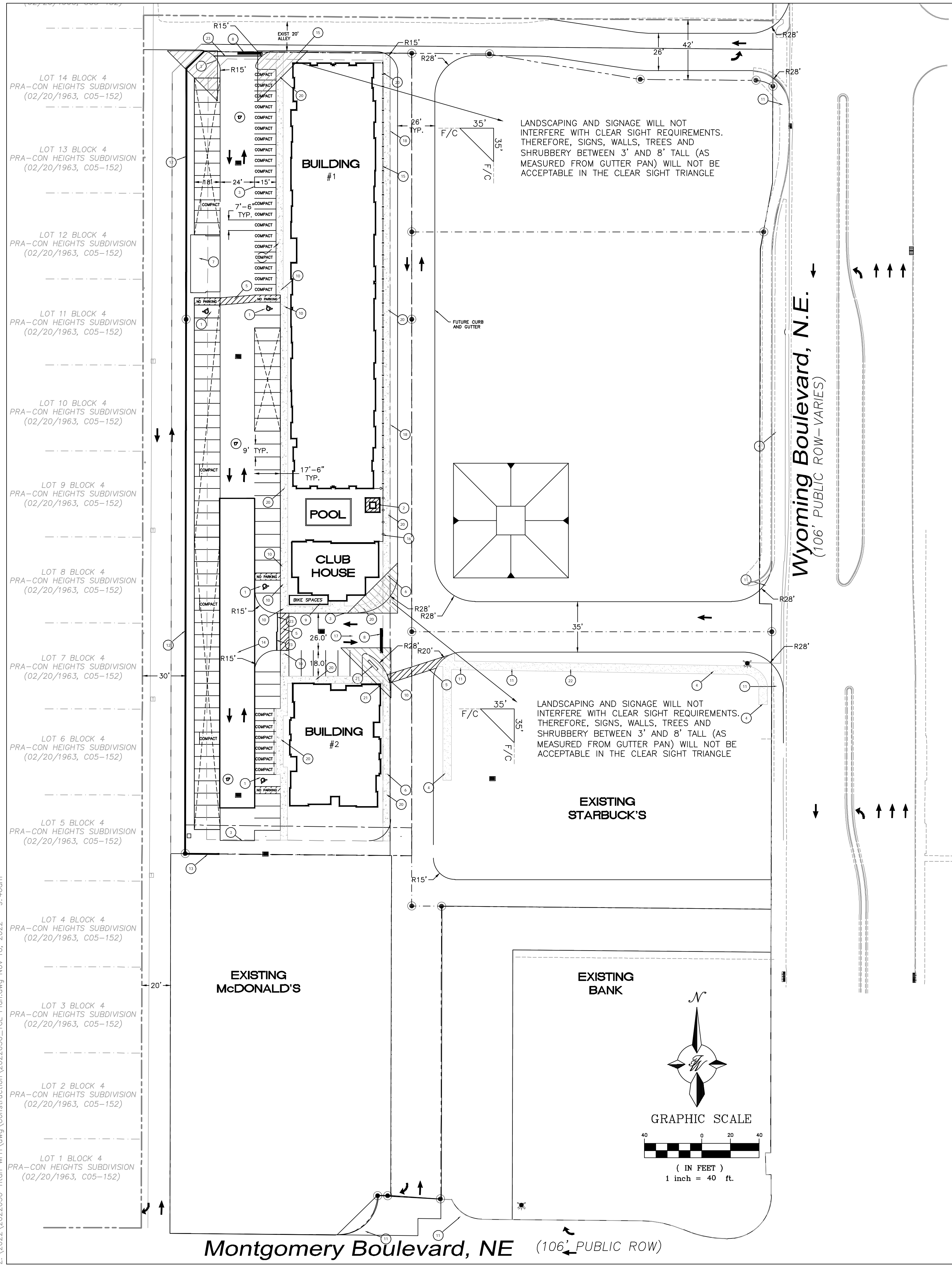
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11.10.2022

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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- EXISTING SIDEWALK/CONCRETE PAVEMENT
- PROPOSED SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER
- TRANSFORMER
- CARPORT

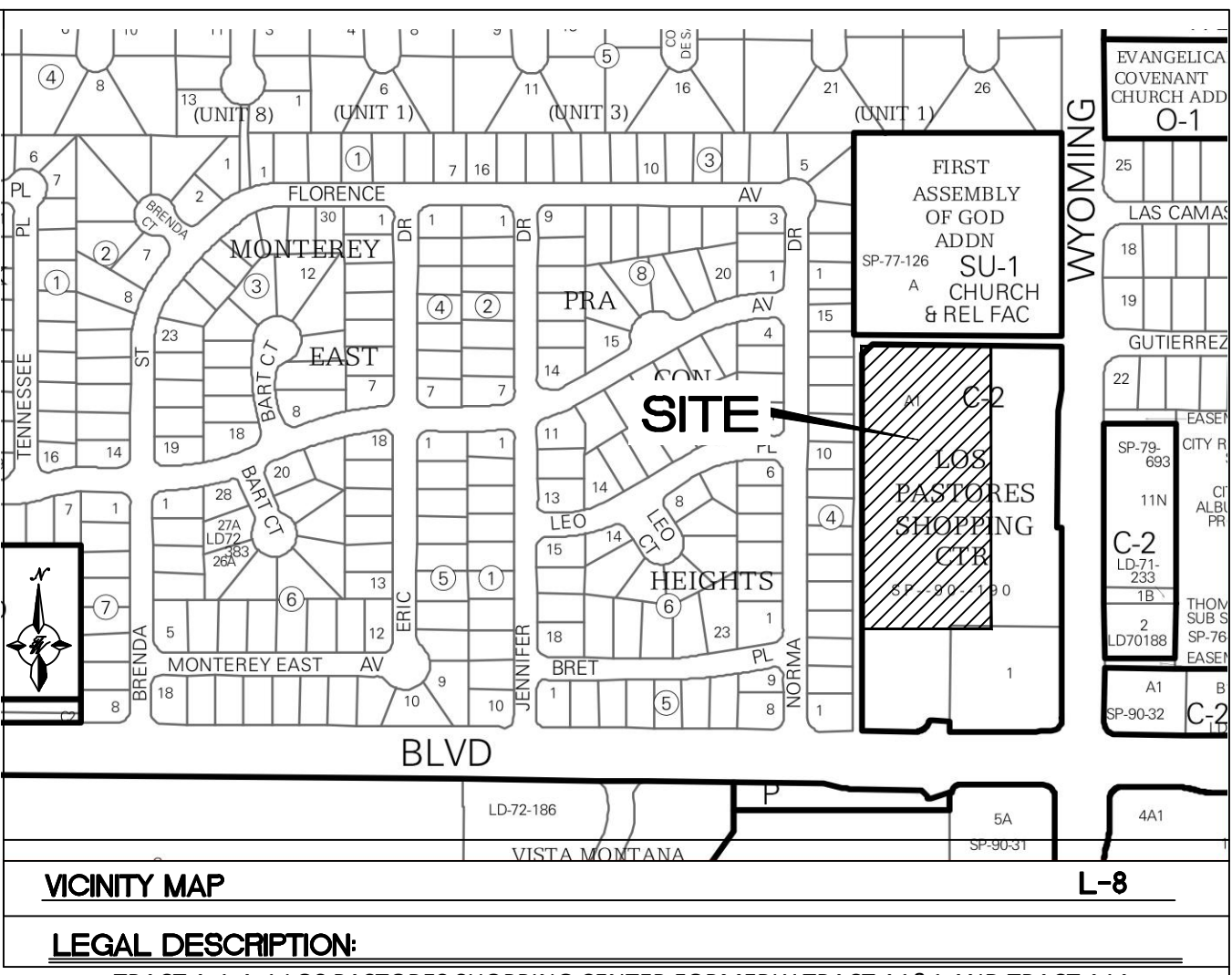
KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
- POOL EQUIPMENT SHED
- 6" HEADER CURB
- EXISTING CONCRETE SIDEWALK
- 8" CROSSWALK
- EXISTING UTILITY VAULT
- DUMPSTER (SEE DETAIL SHT. C8)
- 2.0' STOP BAR W/ STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C7)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
- EXISTING ADA RAMP
- RETAINING WALL (3' TO 4' MAX.) SCREEN WALL (3 FT. MIN.) TOTAL HEIGHT OF SCREEN PLUS RETAINING WALL NOT TO EXCEED 8FT.
- RETAINING WALL
- UNDERGROUND DETENTION POND
- WROUGHT IRON FENCE 6FT.
- OPAQUE SCREEN WALL
- ASPHALT PAVING (SEE GEOTECH REPORT)
- 4' WROUGHT IRON MAN GATE
- NOT USED
- 5' SIDEWALK
- MONUMENT SIGN
- 6FT. ADA ACCESS ROUTE
- SWING GATES

NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWAY AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
- ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED.
- LANDSCAPE PLANTERS ARE TO BE 3'-0 WIDE AND 6'-0 IN LENGTH WITH A HEIGHT BETWEEN, 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL. SEE DETAIL SHEET C8. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



SITE DATA

PROPOSED USAGE:	RESIDENTIAL - MULTI FAMILY
ZONE:	MX-M
IDO CLASSIFICATION:	MIXED USE MEDIUM INTENSITY
LOT AREA:	95,741 SF (2.1978 ACRES)
ADDRESS:	4615 WYOMING BLVD. N.E.
SETBACKS	FRONT PER PLAN REAR PER PLAN SIDE PER PLAN

BUILDING AREA:

BLDG. 1 :	51,345 SF.
BLDG. 2 :	15,375 SF.
CLUBHOUSE :	2,107 SF.
TOTAL :	68,827 SF.
BUILDING UNITS	102

PARKING REQUIRED: STUDIOS - 36 UNITS X 1 SPACE PER UNIT	= 36 SPACES
1 BEDROOM - 60 UNITS X 1.2 SPACES PER UNIT	= 72 SPACES
2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT	= 10 SPACES
SUB-TOTAL	= 118 SPACES
30% TRANSIT REDUCTION	= 35 SPACES
TOTAL REQUIRED SPACES	= 82 SPACES

TOTAL PROVIDED: 117 SPACES (30 SMALL CAR 25%)

HC PARKING REQUIRED:	4 (2 VAN SPACES)
HC PARKING PROVIDED:	4 (2 VAN SPACES)

MC PARKING REQUIRED:	NONE
MC PARKING PROVIDED:	NONE

BICYCLE PARKING REQUIRED:	12 SPACES (10% OF TOTAL PARKING)
BICYCLE PARKING PROVIDED:	12 SPACES

LANDSCAPE AREA REQUIRED:	10,705 SF (15% OF NET)
LANDSCAPE AREA PROVIDED:	14,232 SF (20% OF NET)

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 11/08/2022	MONTGOMERY/ WYOMING APARTMENTS TRAFFIC CIRCULATION LAYOUT TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY RMG DATE 11/08/2022 2022030_TCL PLAN SHEET # TCL-1 JOB # 2022030
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