CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

March 31, 2023

Vincent Carrica, PE Tierra West, LLC 55711 Midway Park Pl. NE Albuquerque, NM 87084

Re: Titan WFH

4615 Wyoming Blvd. NE Traffic Circulation Layout

Engineer's Stamp 12-20-22 (F19-D013D)

Dear Mr. Carrica,

The TCL submittal received 12-28-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to the <u>PLNDRS@cabq.gov</u> for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

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Sincerely,

Principal Engineer, Planning Dept.

Development Review Services

C: CO Clerk, File

Ernest Armijo, P.E.



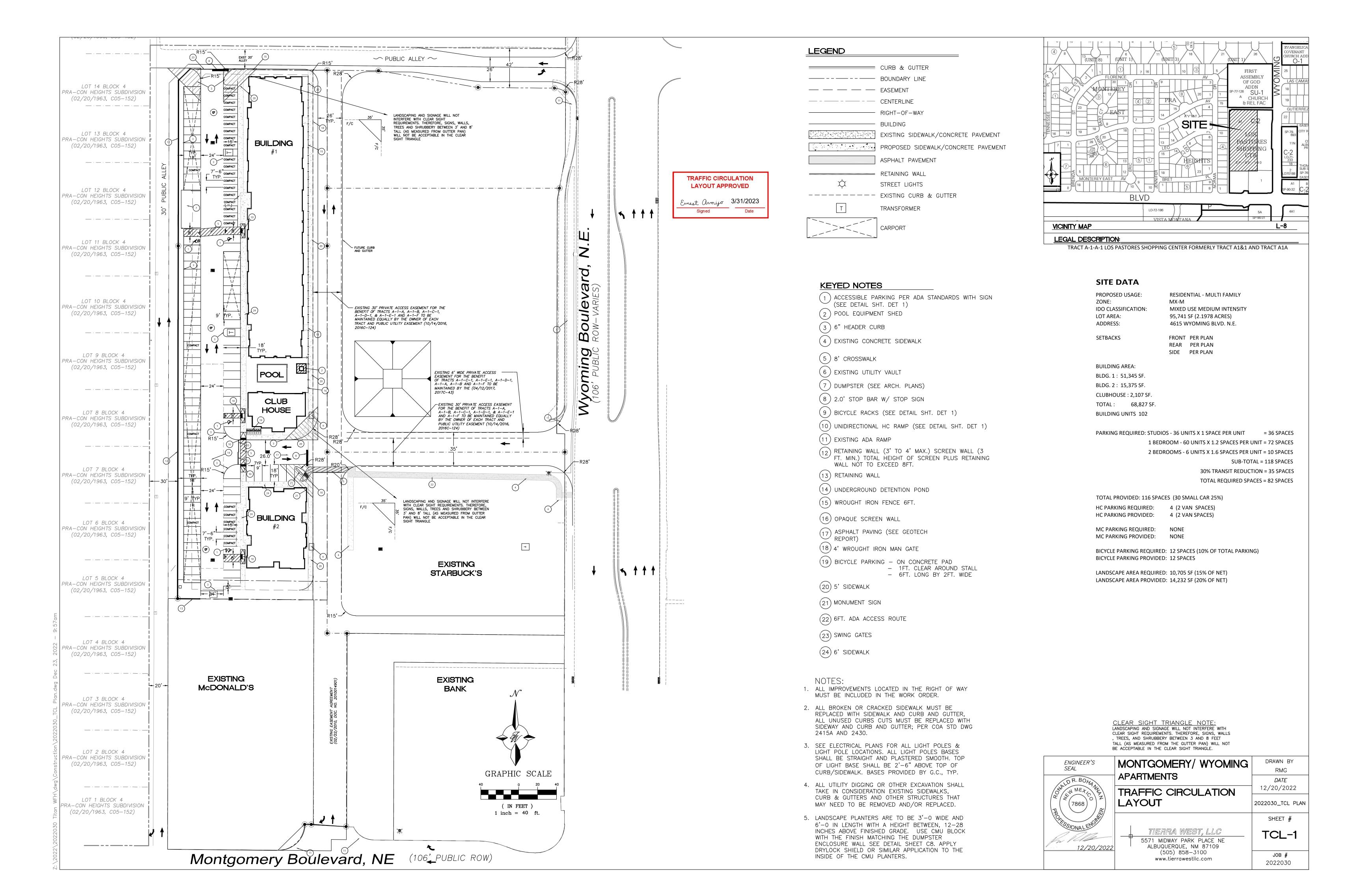
City of Albuquerque

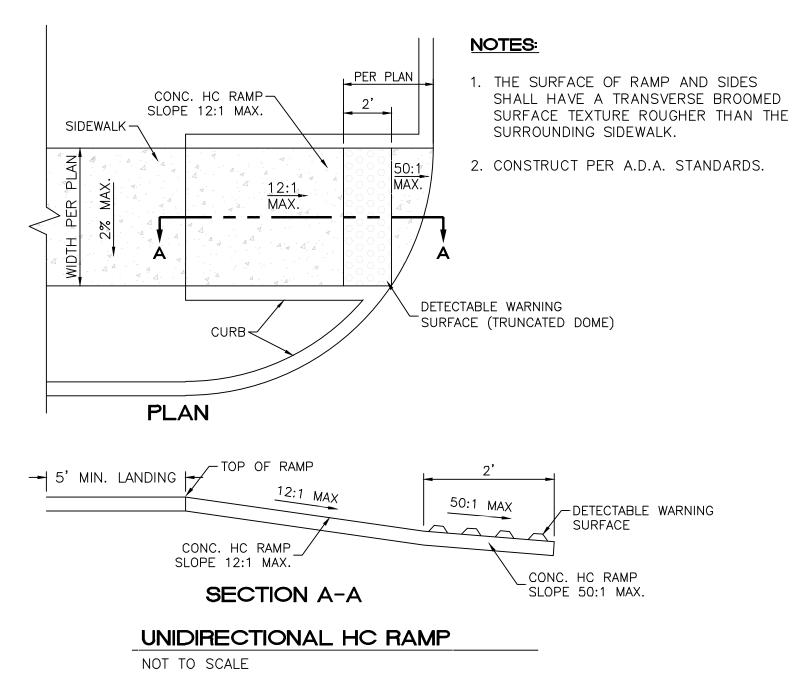
Planning Department

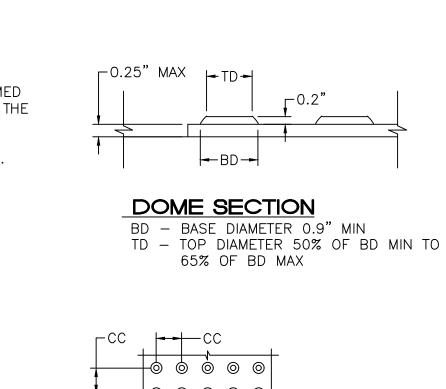
Development & Building Services Division

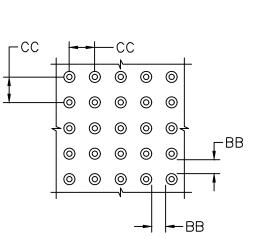
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Titan WFH 1	Building Permit #	Hydrology File #	
DRB#	EPC#		
Legal Description: TR A-1-E-1 / TRACT A-1-	City Address	OR Parcel 101906148807440507 101906148904940508	
Applicant/Agent: Tierra West LLC	Contact: VIN	ICE CARRICA	
Address: 5571 Midway Park Place NE Albuquerque, N	M 87109 Phone: (5	05) 858-3100	
Email: VCARRICA@TIERRAWESTLLC.COM			
Applicant/Owner: Mauney Investments, LLC	Contact:		
Address: PO BOX 90453 Albuquerque, NM 8			
Email:			
TYPE OF DEVELOPMENT: X PLAT (#of lo			
DEPARTMENT: X TRANSPORTATIO Check all that apply:	N HYDROLOGY	/DRAINAGE	
TYPE OF SUBMITTAL:	TYPE OF APPROVA	AL/ACCEPTANCE SOUGHT:	
ENGINEER/ARCHITECT CERTIFICATION	BUILDING	PERMIT APPROVAL	
PAD CERTIFICATION	CERTIFICA	TE OF OCCUPANCY	
CONCEPTUAL G&D PLAN	X CONCEPTU	CONCEPTUAL TCL DRB APPROVAL	
GRADING PLAN	PRELIMIN.	PRELIMINARY PLAT APPROVAL	
DRAINAGE REPORT	SITE PLAN	FOR SUB'D APPROVAL	
DRAINAGE MASTER PLAN	SITE PLAN	FOR BLDG PERMIT APPROVAL	
FLOOD PLAN DEVELOPMENT PERMIT AF	PPFINAL PLA	T APPROVAL	
ELEVATION CERTIFICATE	SIA/RELEA	SE OF FINANCIAL GUARANTEE	
CLOMR/LOMR	FOUNDAT	ION PERMIT APPROVAL	
TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING	PERMIT APPROVAL	
ADMINISTRATIVE	SO-19 APP	ROVAL	
iggtee TRAFFIC CIRCULATION LAYOUT FOR DF	BPAVING PI	ERMIT APPROVAL	
APPROVAL	GRADING	GRADING PAD CERTIFICATION	
TRAFFIC IMPACT STUDY (TIS)	WORK OR	WORK ORDER APPROVAL	
STREET LIGHT LAYOUT	CLOMR/LC	CLOMR/LOMR	
OTHER (SPECIFY)	FLOOD PL	FLOOD PLAN DEVELOPMENT PERMIT	
PRE-DESIGN MEETING?	OTHER (SF	OTHER (SPECIFY)	
DATE SUBMITTED: 12.23.2022			

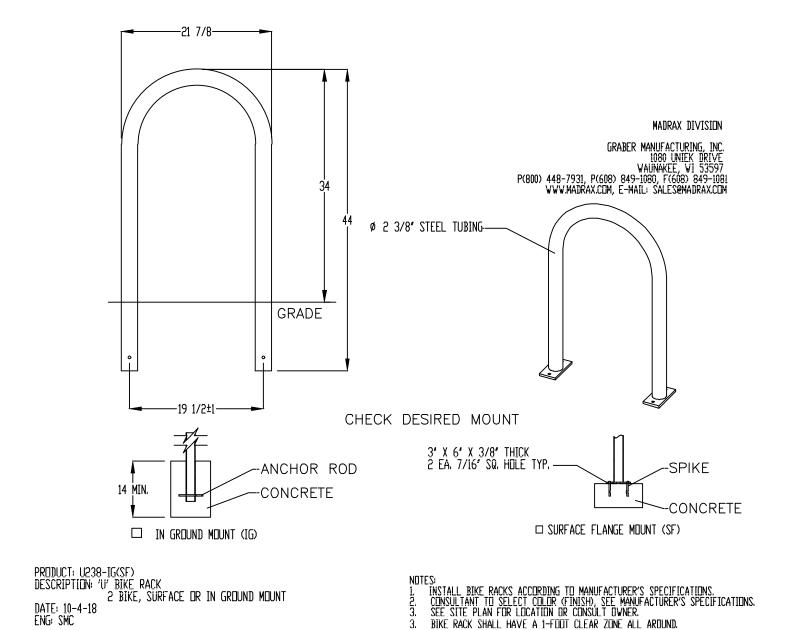








DOME SPACING CC - CENTER TO CENTER SPACING 2.35" BB - BASE TO BASE SPACING 1.48" MIN





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NOTES:

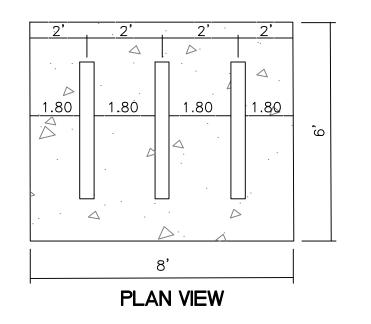
INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

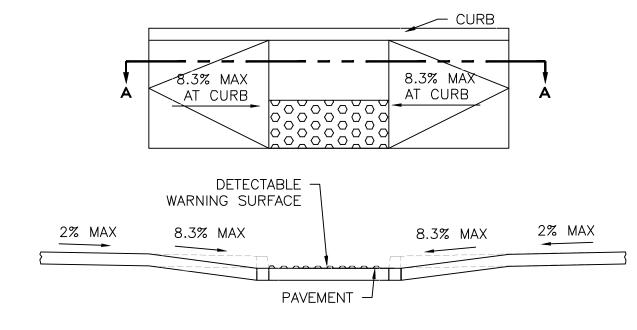
CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.

SEE SITE PLAN FOR LOCATION OR CONSULT DWNER.

BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.

REACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



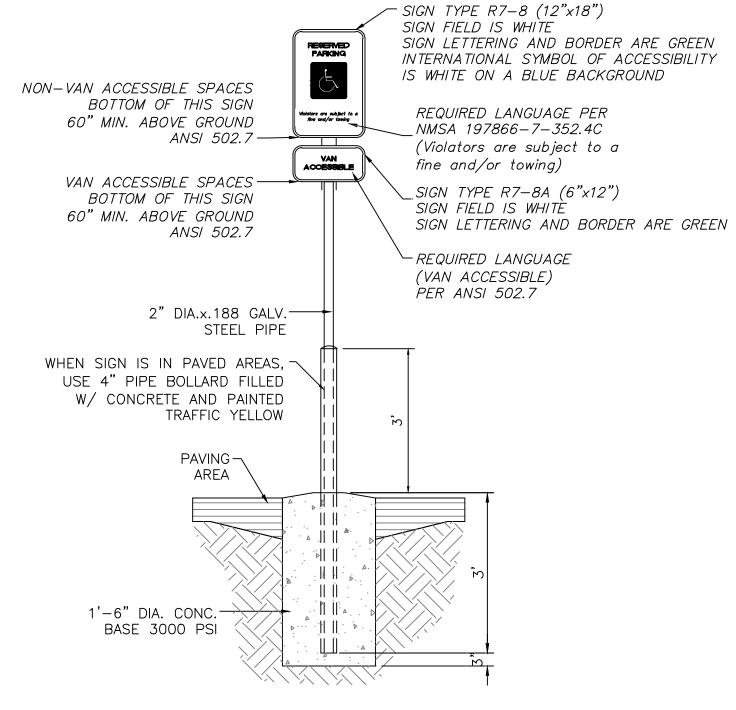


TRAFFIC CIRCULATION

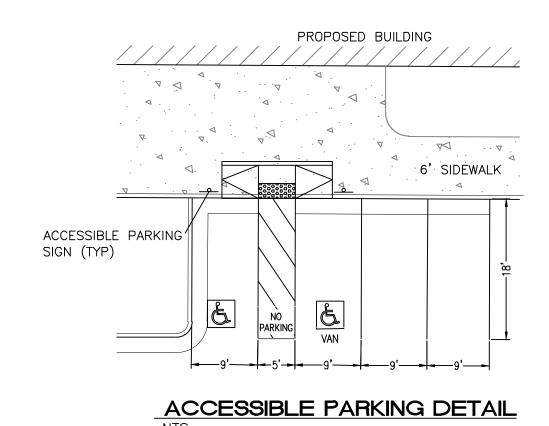
LAYOUT APPROVED

Ernest Armijo 3/31/2023
Signed Date

SECTION A-A CURB HC RAMP NOT TO SCALE



ACCESSIBLE PARKING SIGN



NOTES:

- 1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- 2. CONSTRUCT PER A.D.A. STANDARDS.

