



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Titan WFH **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR A-1-E-1 / TRACT A-1- _____ **City Address OR Parcel** 101906148807440507
101906148904940508

Applicant/Agent: Tierra West LLC **Contact:** VINCE CARRICA

Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** (505) 858-3100

Email: VCARRICA@TIERRAWESTLLC.COM

Applicant/Owner: Mauney Investments, LLC **Contact:** _____

Address: PO BOX 90453 Albuquerque, NM 87109 **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) 2-1 ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE: _____

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12.23.2022



December 23, 2022

Ms. Marwa Al-najjar
City of Albuquerque – Planning Department
P.O. Box 1293
Albuquerque, NM. 87103

**RE: MONTGOMERY / WYOMING APARTMENTS
4615 WYOMING BLVD. NE
TRAFFIC CIRCULATION LAYOUT RESPONSE TO COMMENT**

Dear Ms. Al-najjar:

Per the correspondence dated December 9, 2022, please find the following responses addressing the comments listed below:

1. Identify all existing access easements and rights of way width dimensions.
Response: Added easements and right of way information to the site plan.
2. Please provide shared access agreement, and approved plat.
Response: See attached copy of approved Los Pastores plat and proposed sketch plat. The proposed development will require elimination of a lot line to consolidate two lots into one. Offsite access easements will remain in place as shown on sketch plat.
3. Details sheet is missing.
Response: The detail sheet was added along with an architectural sheet for dumpster details. Consensus is working with Solid Waste on approval of the layout.
4. Please list the width and length of all proposed parking spaces. Some dimensions are not shown.
Response: Additional dimensions on parking added.
5. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

Response: Minor changes made to layout to ensure proposed parking stalls comply with these requirements.

6. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
Response: Aisle widths on van spaces were corrected to 8'.

7. The ADA accessible parking sign must have the required language per 66-7-352.4C NCSA 1978 “**Violators Are Subject to a Fine and/or Towing.**” Please call out detail and locations of signs.
Response: Required language noted on ADA parking sign detail on detail sheet.
8. ADA curb ramps must be updated to current standards and have truncated domes installed.
Response: Ramps shown on detail sheet with required truncated domes.
9. Key note 10: Provide details for all the interior ADA ramps.
Response: Details provided on attached detail sheet.
10. Due to proposing gates in the site, please provide vehicles turning template.
Response: See attached Auto turn exhibit.
11. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum of 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.**Response: See bike rack details and notes on DET-1 sheet.**
12. Bicycle racks shall be sturdy and anchored to a concrete pad.
Response: See response in 11.
13. A 1-foot clear zone around the bicycle parking stall shall be provided.
Response: See response in 11.
14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
Response: See response in 11.
15. A 5 ft. keyway is required for dead-end parking aisles.
Response: A 5' keyway included in dead-end parking aisle with dimension on plan.
16. Per the IDO, a 6ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
Response: Sidewalks increased to 6' where required to meet ADA requirements.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
Response: Sidewalks increased to 6' where required to meet ADA requirements.
18. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
Response: Curbing delineation/callouts added.

19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. Provide a copy of refuse approval.

Response: Refuse vehicle maneuvering is contained on site. See attached architect's exhibit for enclosure.

20. Provide a copy of Fire Marshal approval.

Response: A copy of the approved Fire 1 sheet is included.

21. Please specify the City Standard Drawing Number when applicable.

Response: City standard drawing numbers specified where applicable.

22. Please provide letter of response for all comments given.

Response: This document serves as response letter to your comments.

23. Traffic studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and existing in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

Response: See attached Traffic Scoping form signed by Matt Grush.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

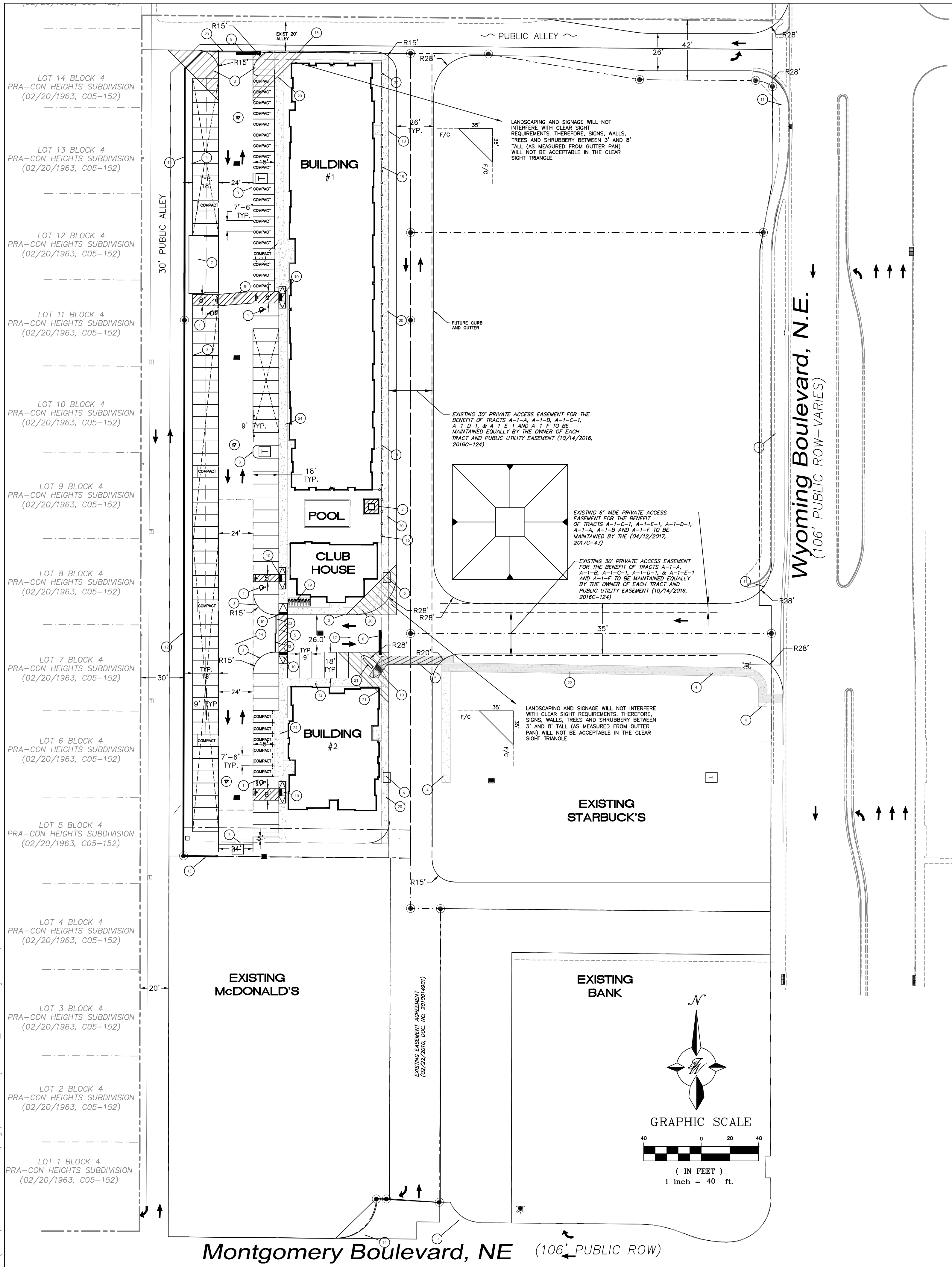


Ronald R. Bohannon, P.E

JN: 2022030

RRB/vc/ca

Z:\2022\2022030_Titan_WFH.dwg\Construction\2022030_TCL_Plan.dwg Dec 23, 2022 -- 9:57am



LEGEND

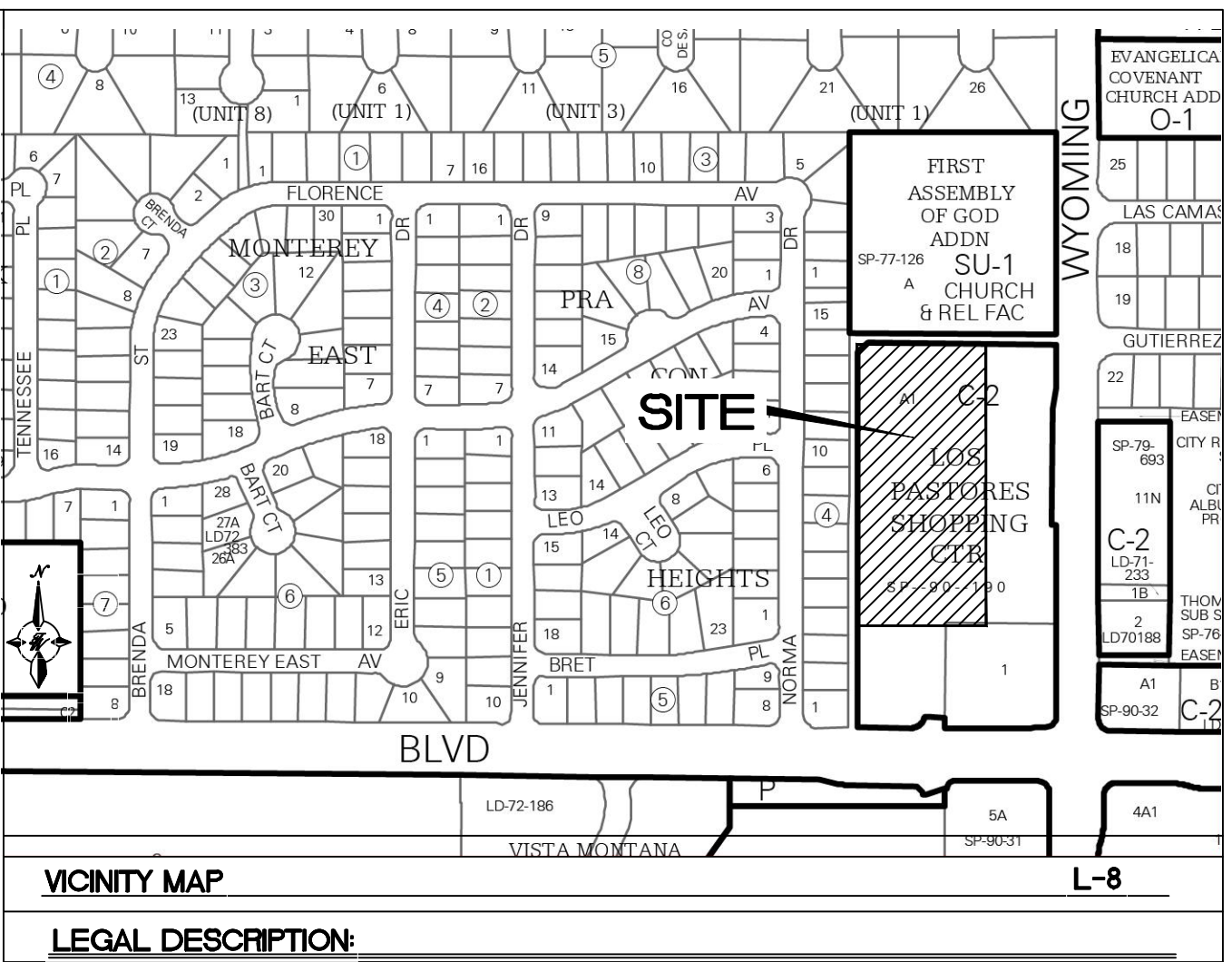
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING SIDEWALK/CONCRETE PAVEMENT
	PROPOSED SIDEWALK/CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	RETAINING WALL
	STREET LIGHTS
	EXISTING CURB & GUTTER
	TRANSFORMER
	CARPORT

KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET 1)
- POOL EQUIPMENT SHED
- 6" HEADER CURB
- EXISTING CONCRETE SIDEWALK
- 8" CROSSWALK
- EXISTING UTILITY VAULT
- DUMPSTER (SEE ARCH. PLANS)
- 2.0' STOP BAR W/ STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. DET 1)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. DET 1)
- EXISTING ADA RAMP
- RETAINING WALL (3' TO 4' MAX.) SCREEN WALL (3 FT. MIN.) TOTAL HEIGHT OF SCREEN PLUS RETAINING WALL NOT TO EXCEED 8FT.
- RETAINING WALL
- UNDERGROUND DETENTION POND
- WROUGHT IRON FENCE 6FT.
- OPAQUE SCREEN WALL
- ASPHALT PAVING (SEE GEOTECH REPORT)
- 4' WROUGHT IRON MAN GATE
- BICYCLE PARKING - ON CONCRETE PAD
 - 1FT. CLEAR AROUND STALL
 - 6FT. LONG BY 2FT. WIDE
- 5' SIDEWALK
- MONUMENT SIGN
- 6FT. ADA ACCESS ROUTE
- SWING GATES
- 6' SIDEWALK

NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
- ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED.
- LANDSCAPE PLANTERS ARE TO BE 3'-0 WIDE AND 6'-0 IN LENGTH WITH A HEIGHT BETWEEN, 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL SEE DETAIL SHEET C8. APPLY DYCLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.



LEGAL DESCRIPTION:

TRACT A-1-A-1 LOS PASTORES SHOPPING CENTER FORMERLY TRACT A1&1 AND TRACT A1A

SITE DATA

PROPOSED USAGE: RESIDENTIAL - MULTI FAMILY
ZONE: MX-M
MIXED USE MEDIUM INTENSITY
LOT AREA: 95,741 SF (2.1978 ACRES)
ADDRESS: 4615 WYOMING BLVD. N.E.

SETBACKS
FRONT PER PLAN
REAR PER PLAN
SIDE PER PLAN

BUILDING AREA:
BLDG. 1 : 51,345 SF.
BLDG. 2 : 15,375 SF.
CLUBHOUSE : 2,107 SF.
TOTAL : 68,827 SF.
BUILDING UNITS 102

PARKING REQUIRED: STUDIOS - 36 UNITS X 1 SPACE PER UNIT = 36 SPACES
1 BEDROOM - 60 UNITS X 1.2 SPACES PER UNIT = 72 SPACES
2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT = 10 SPACES
SUB-TOTAL = 118 SPACES
30% TRANSIT REDUCTION = 35 SPACES
TOTAL REQUIRED SPACES = 82 SPACES

TOTAL PROVIDED: 116 SPACES (30 SMALL CAR 25%)

HC PARKING REQUIRED: 4 (2 VAN SPACES)
HC PARKING PROVIDED: 4 (2 VAN SPACES)

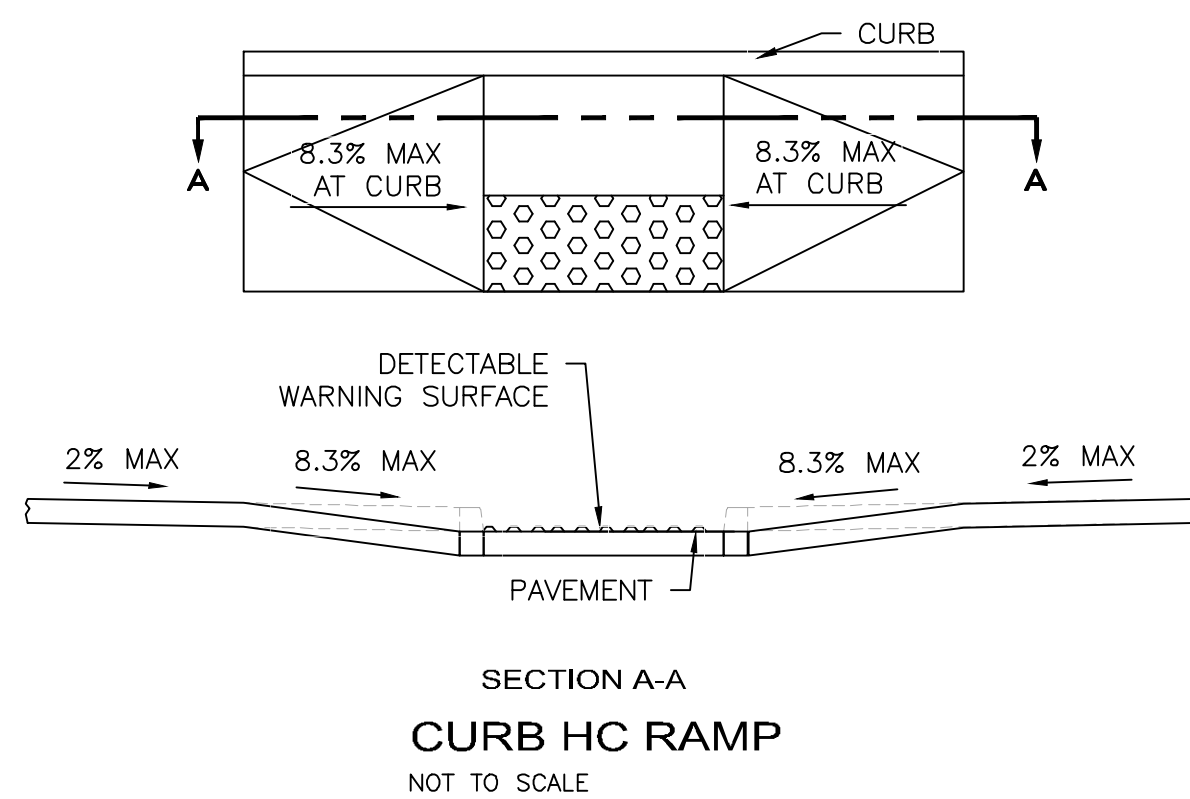
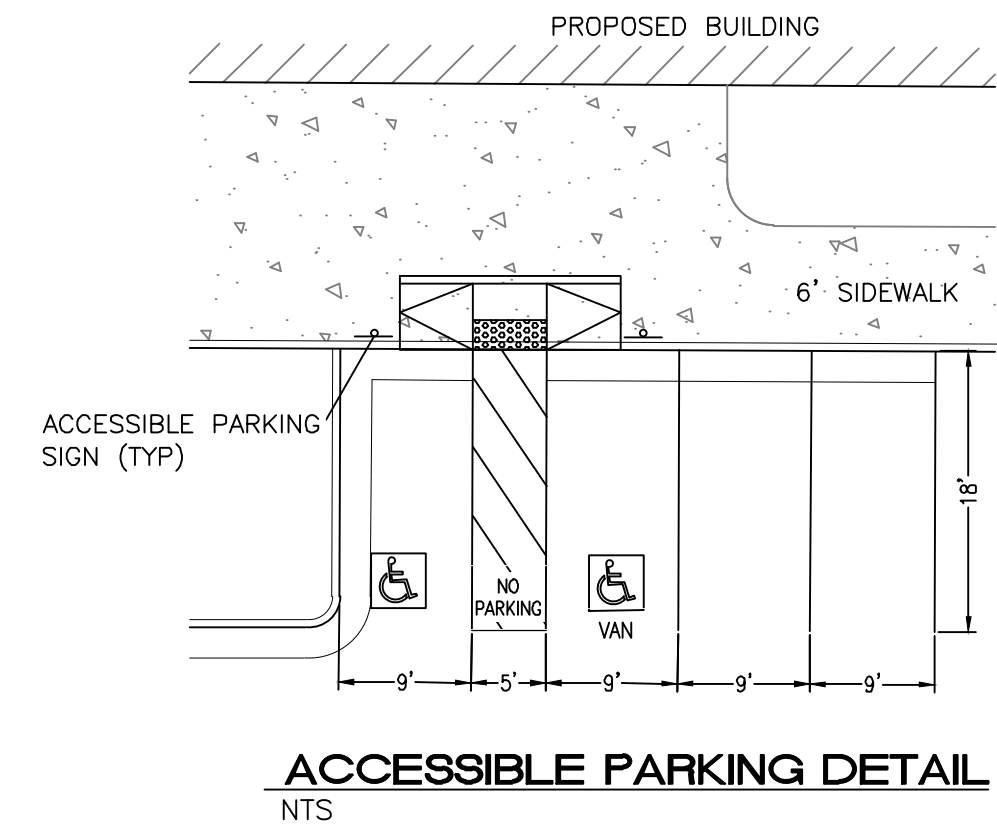
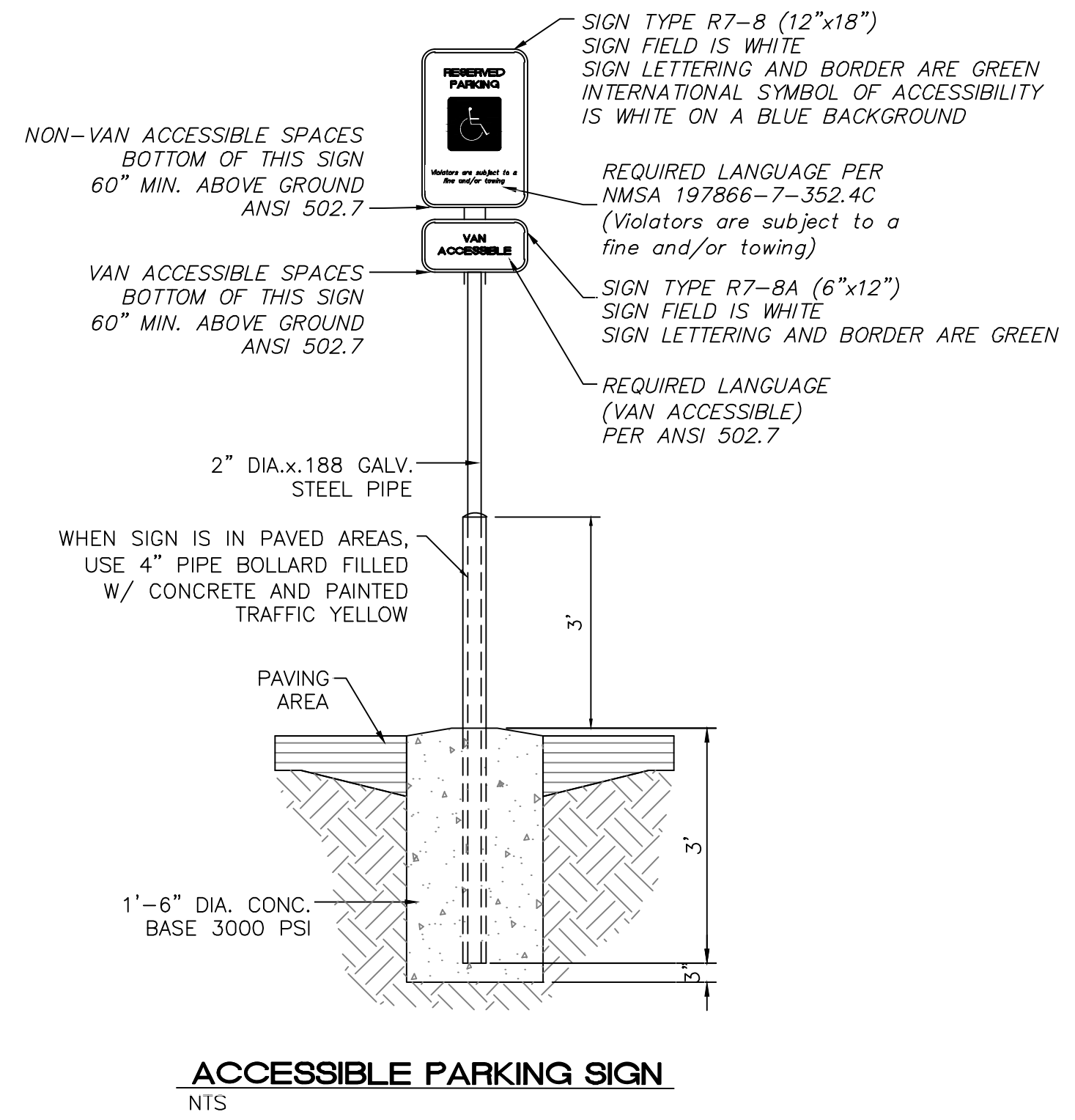
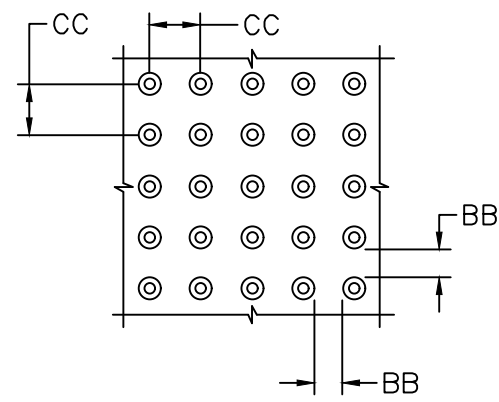
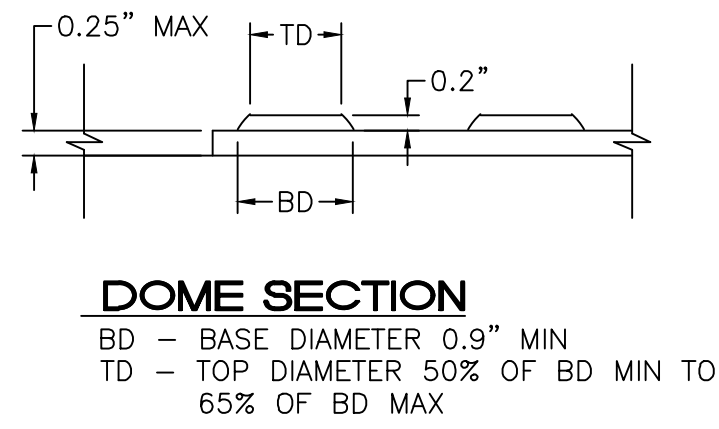
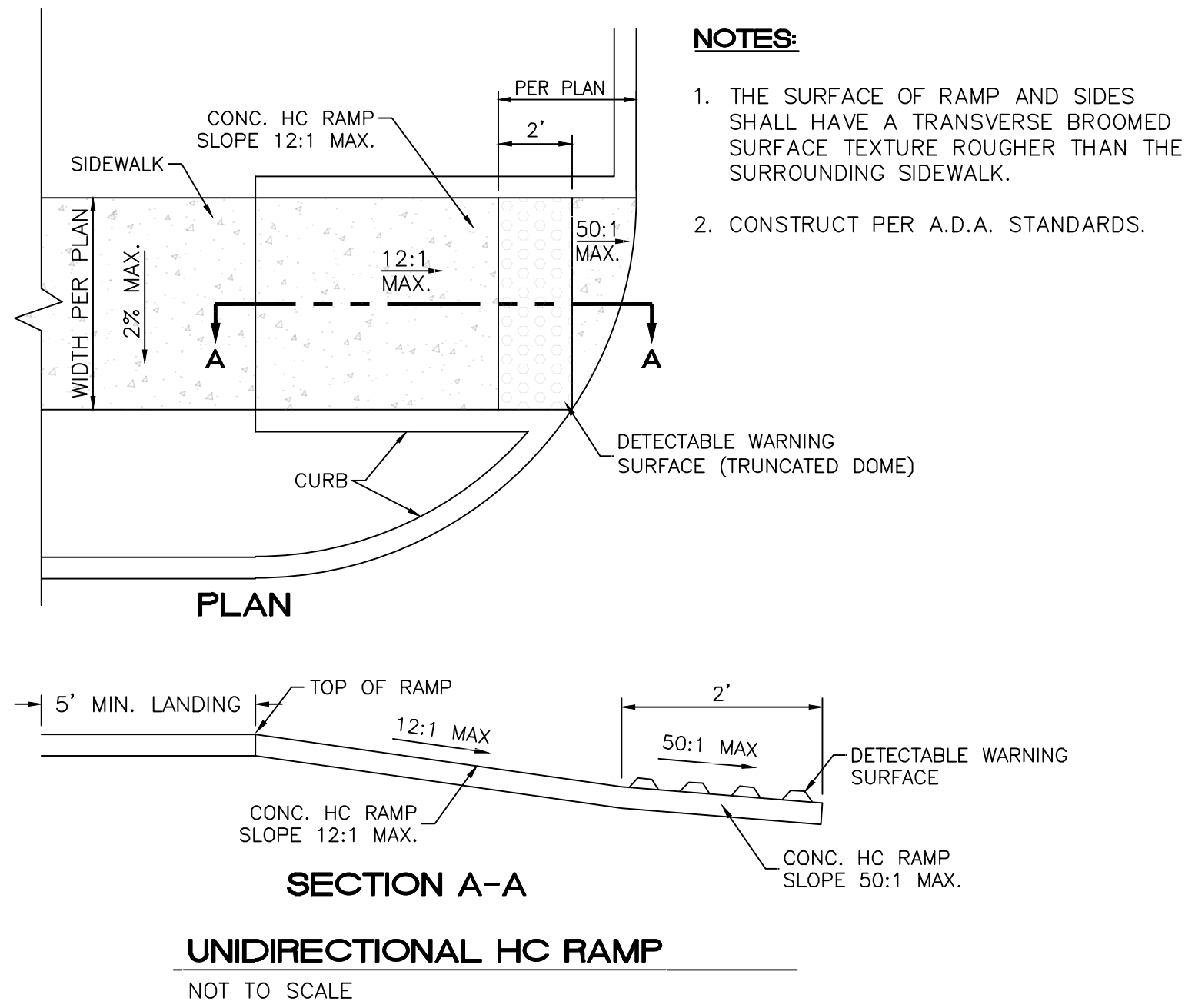
MC PARKING REQUIRED: NONE
MC PARKING PROVIDED: NONE

BICYCLE PARKING REQUIRED: 12 SPACES (10% OF TOTAL PARKING)
BICYCLE PARKING PROVIDED: 12 SPACES

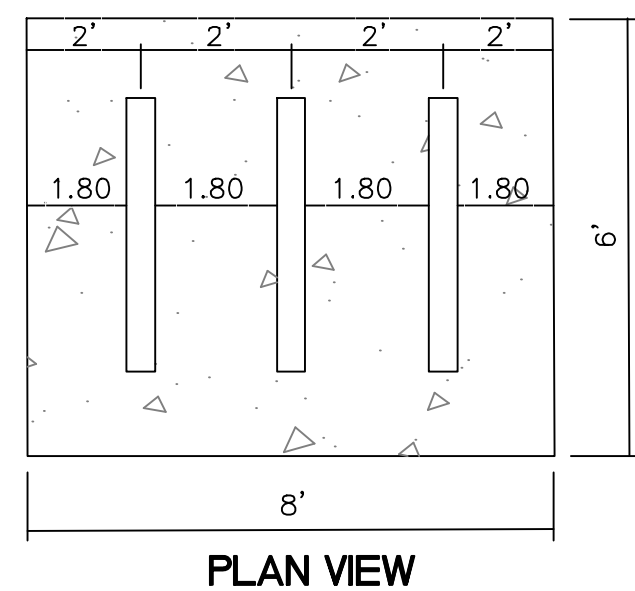
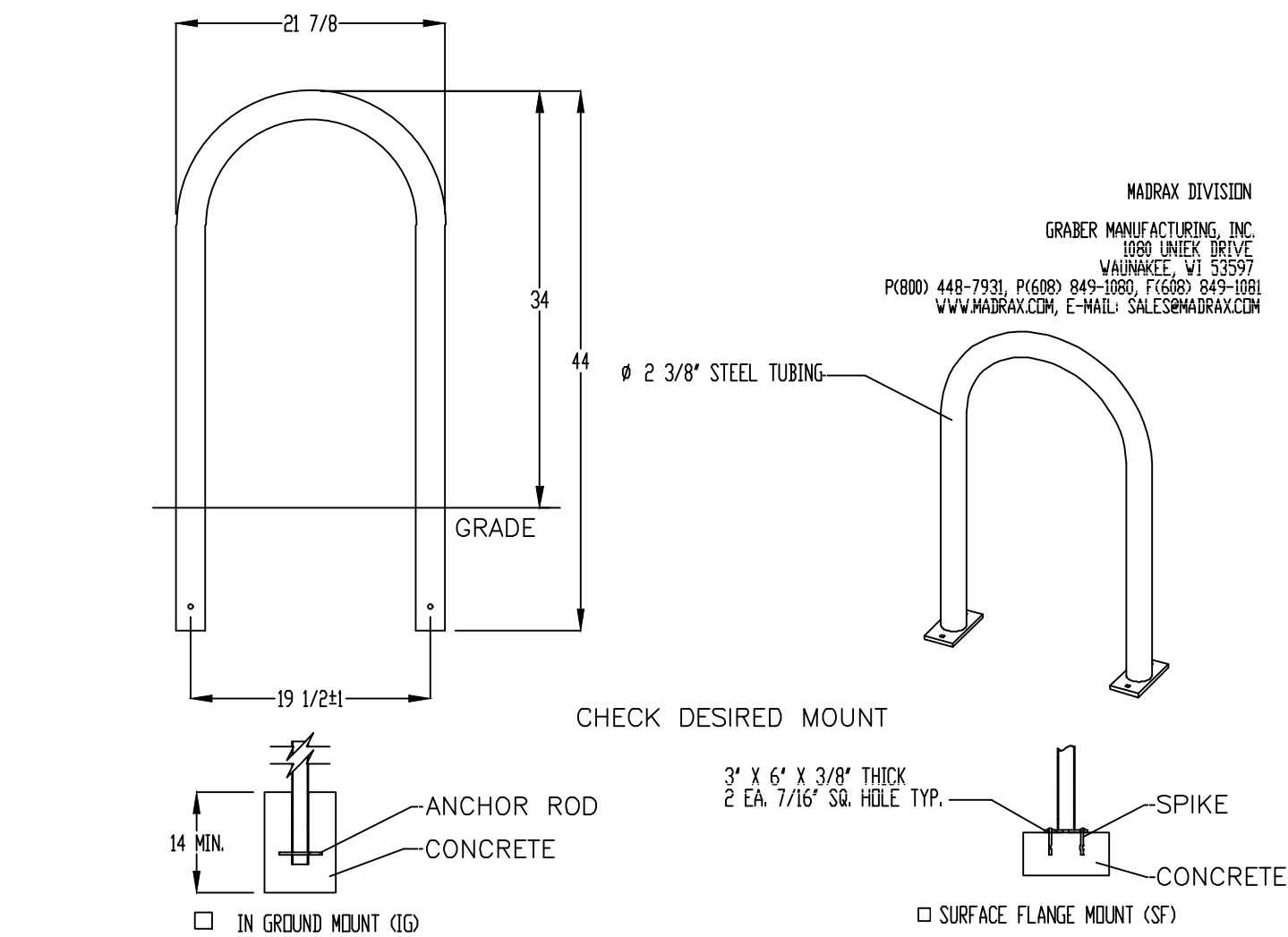
LANDSCAPE AREA REQUIRED: 10,705 SF (15% OF NET)
LANDSCAPE AREA PROVIDED: 14,232 SF (20% OF NET)

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

	ENGINEER'S SEAL	MONTGOMERY/ WYOMING APARTMENTS	DRAWN BY RMG
		TRAFFIC CIRCULATION LAYOUT	DATE 12/20/2022
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_TCL PLAN
			SHEET # TCL-1 JOB # 2022030



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 12/20/2022</div>	MONTGOMERY/ WYOMING APARTMENTS	DRAWN BY RMG
	DETAILS	DATE 12/20/2022
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	2022030_TCL PLAN
		SHEET # DET-1 JOB # 2022030



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Montgomery and Wyoming
Project Title: Apartments **Building Permit #:** _____ **Hydrology File #:** _____
Zone Atlas Page: F-19-Z **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR A-1-E-1 SUBDIVISION TRACTS A-1-C-1, A-1-D-1, & A-1-E-1
City Address: 4615 WYOMING BLVD NE ALBUQUERQUE NM
Applicant: Tierra West LLC **Contact:** Ron Bohannon
Address: 5571 Midway Park Pl NE, Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** rrb@tierrawestllc.com

Development Information

Build out/Implementation Year: 2023 **Current/Proposed Zoning:** MX-M
Project Type: New: (x) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()
Proposed Use (mark all that apply): Residential: (x) Office: () Retail: () Mixed-Use: ()
Describe development and Uses:
~~120-Unit Apartment Complex development including a clubhouse and pool.~~
102 Units, 3 stories

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

Facility

Building Size (sq. ft.): 2,200 Clubhouse SF GFA
Number of Residential Units: 102 Units
Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____
Expected Number of Employees (if known):* 3
Expected Number of Delivery Trucks/Buses per Day (if known):* _____
Trip Generations during PM/AM Peak Hour (if known):* ITE-11th ed. 221-Multifamily Housing (Mid-rise)
AM-7Enter/26Exit PM-24Ent/16Exit
Driveway(s) Located on: Street Name Wyoming Blvd
Adjacent Roadway(s) Posted Speed: Street Name Montgomery Blvd Posted Speed 40 mph
Street Name Wyoming Blvd Posted Speed 40 mph

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 37,301 (2216 TAQA) Volume-to-Capacity Ratio: .25-.50
COG ID# 15086 (if applicable)

Adjacent Transit Service(s): Bus Route 98 Nearest Transit Stop(s): Bus Stop Route 98 along Wyoming

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Current Bicycle Infrastructure Developed along Arterial Roadways
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalk along adjacent roadways

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:

M. P. E.

TRAFFIC ENGINEER

7/20/2022

DATE

Submittal

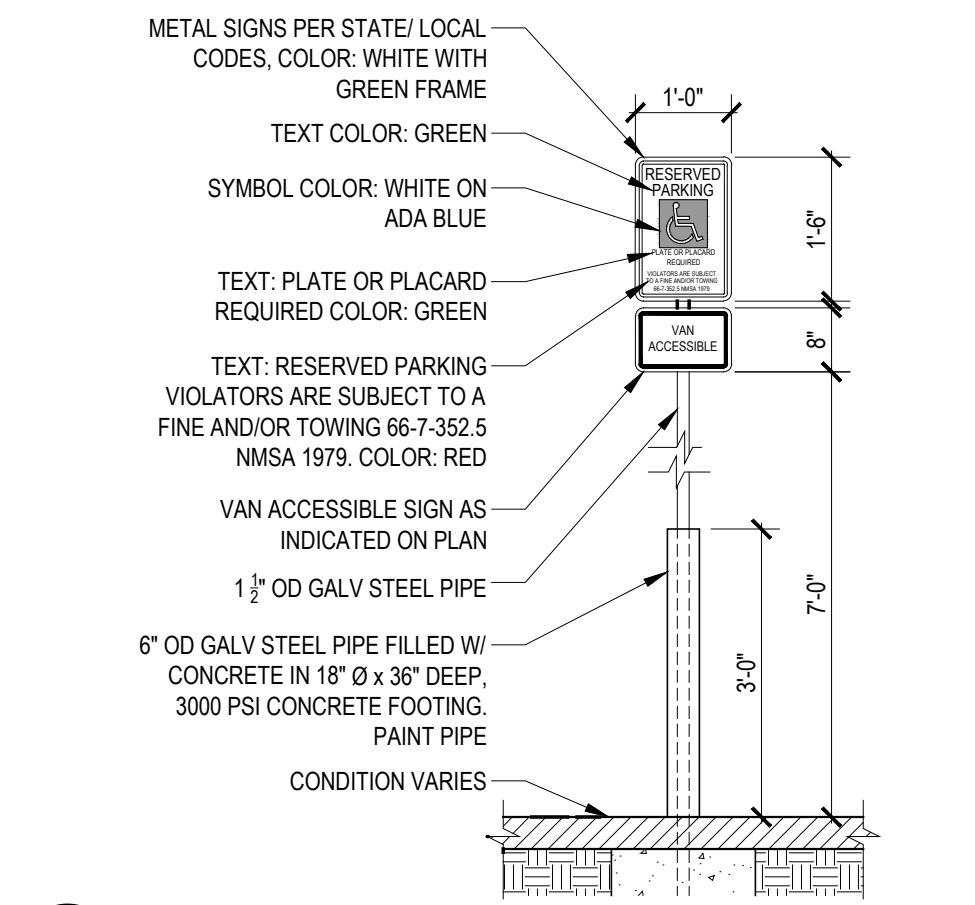
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

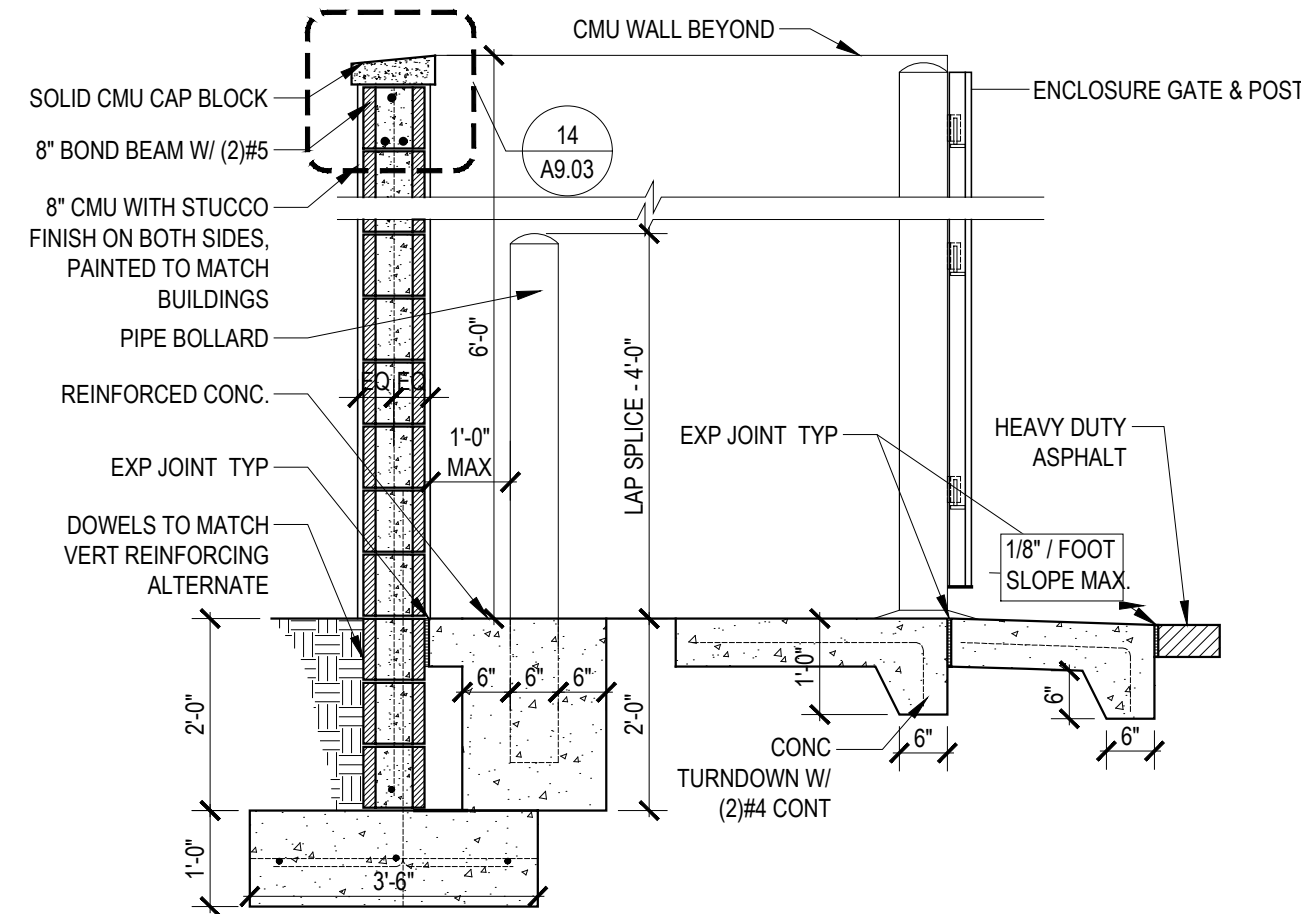
Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

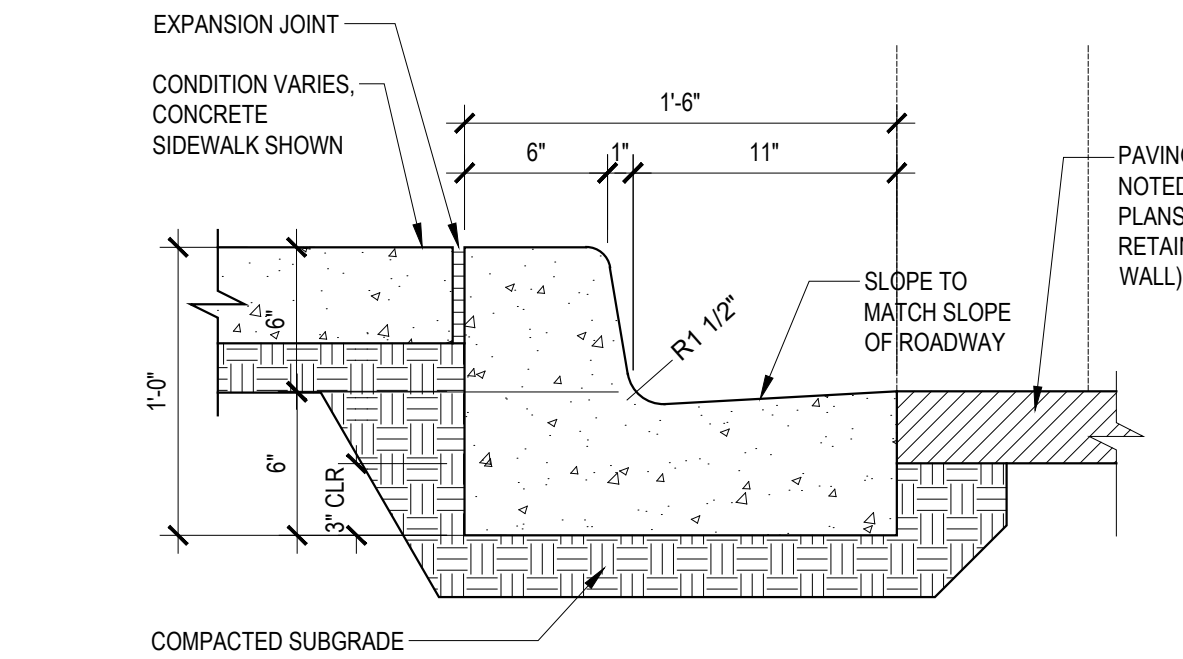


11 PIPE BOLLARD & ACCESSIBILITY SIGNAGE
SCALE: 1/2" = 1'-0"



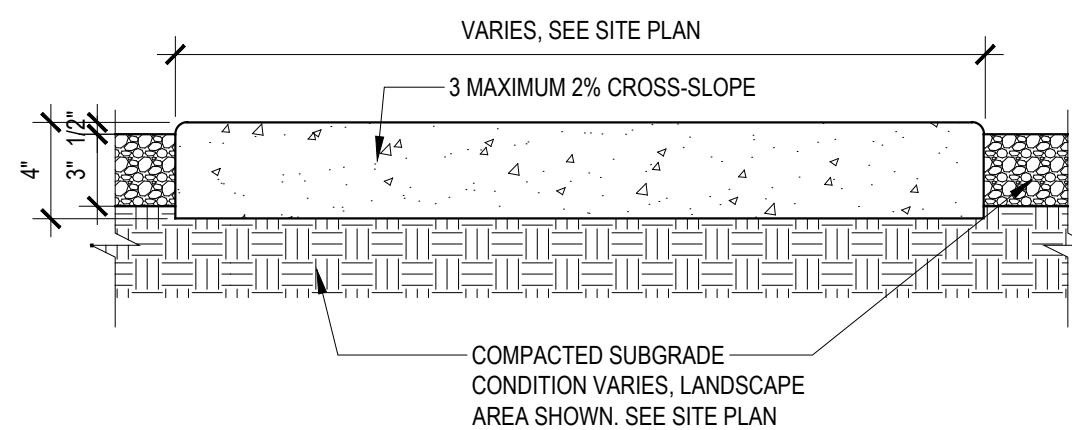
10 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"

- WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2"
- CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

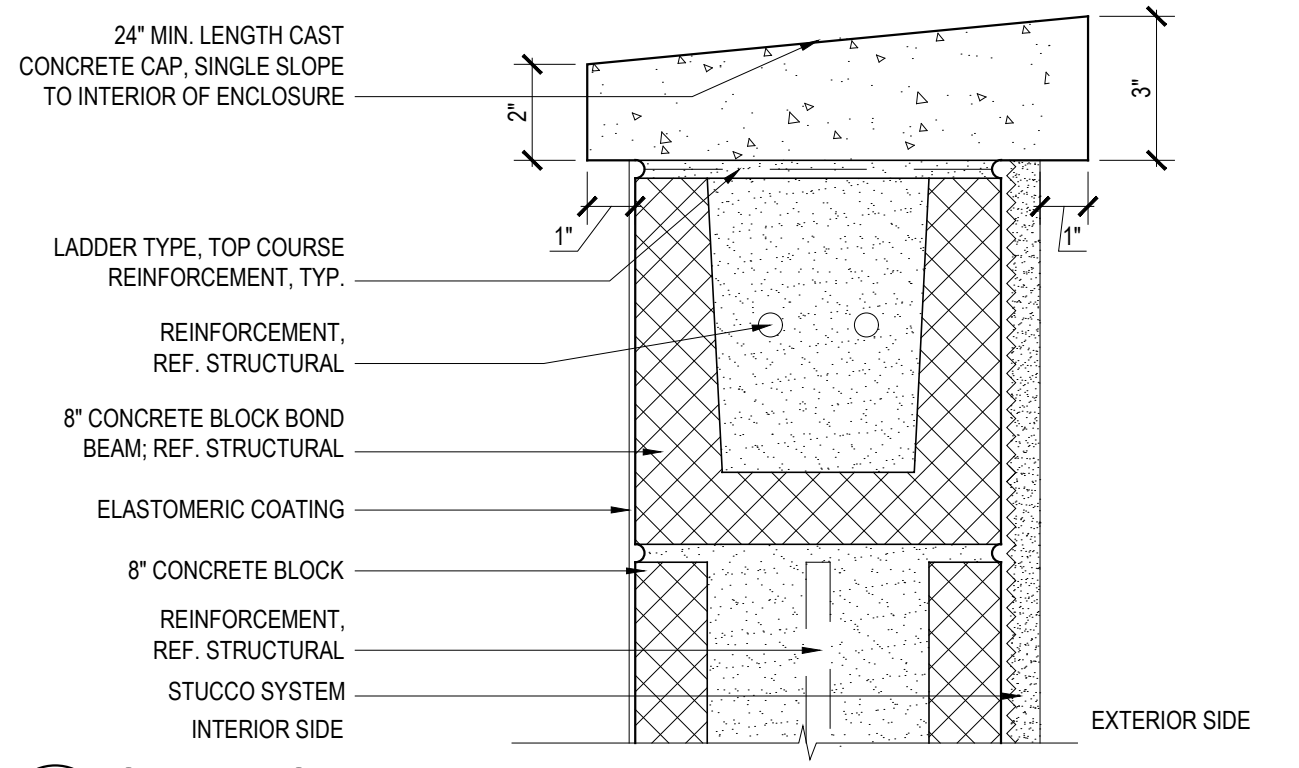


7 CONCRETE CURB & GUTTER
SCALE: 1 1/2" = 1'-0"

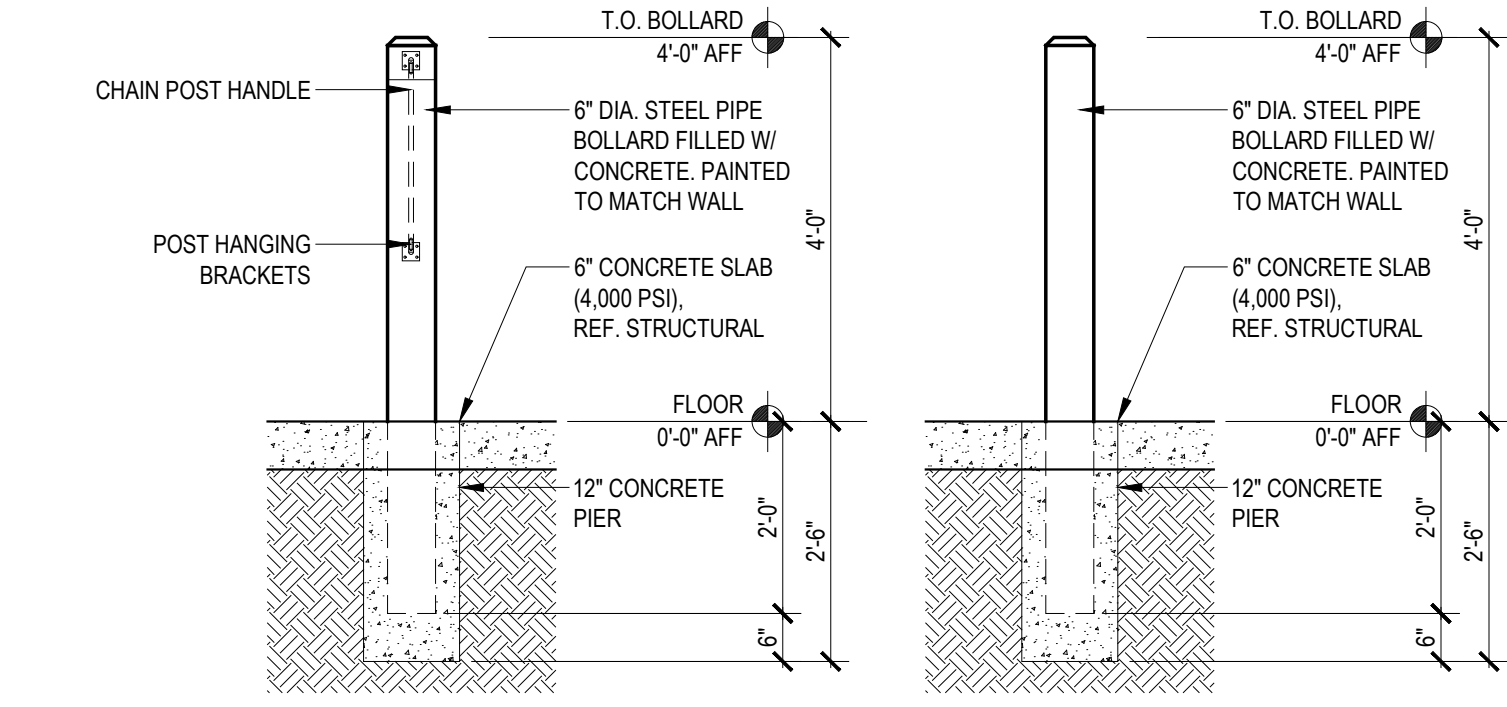
- NOTES:
- SEE SITE PLANS AND AS101 FOR JOINING.
 - CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES
 - INTEGRAL COLOR WHERE NOTED ON PLANS.
 - FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.



6 CONCRETE SIDEWALK
SCALE: 1 1/2" = 1'-0"

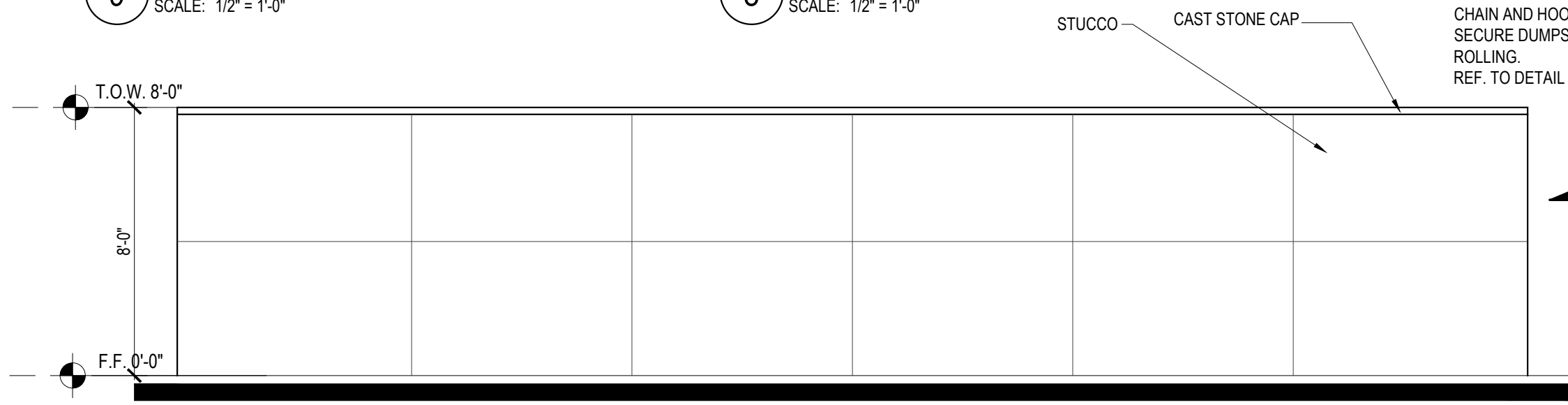


14 CAP AT CMU WALL
SCALE: 3" = 1'-0"

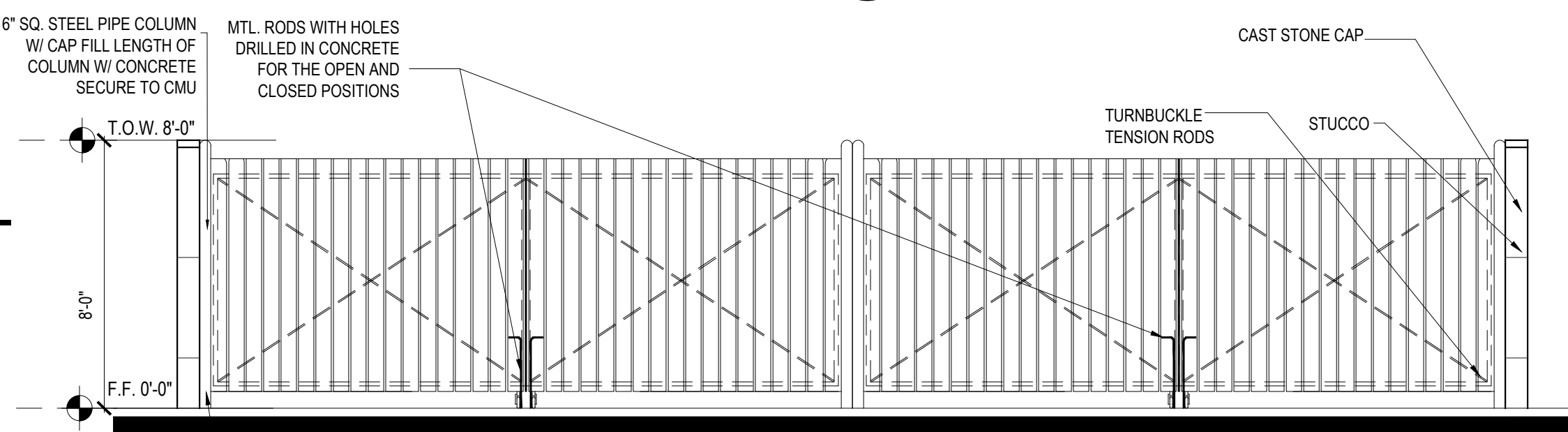


9 BOLLARD SECTION WITH CHAIN/HOOK
SCALE: 1/2" = 1'-0"

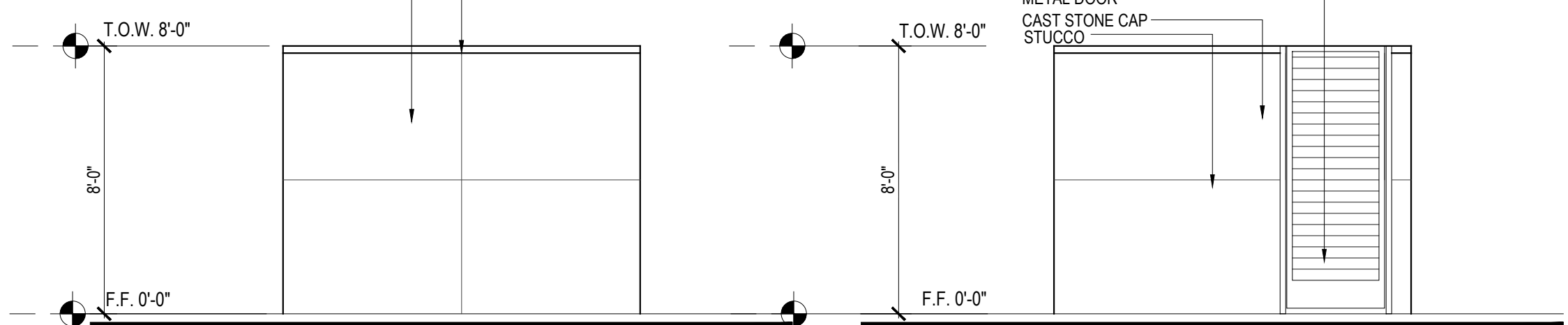
8 BOLLARD SECTION
SCALE: 1/2" = 1'-0"



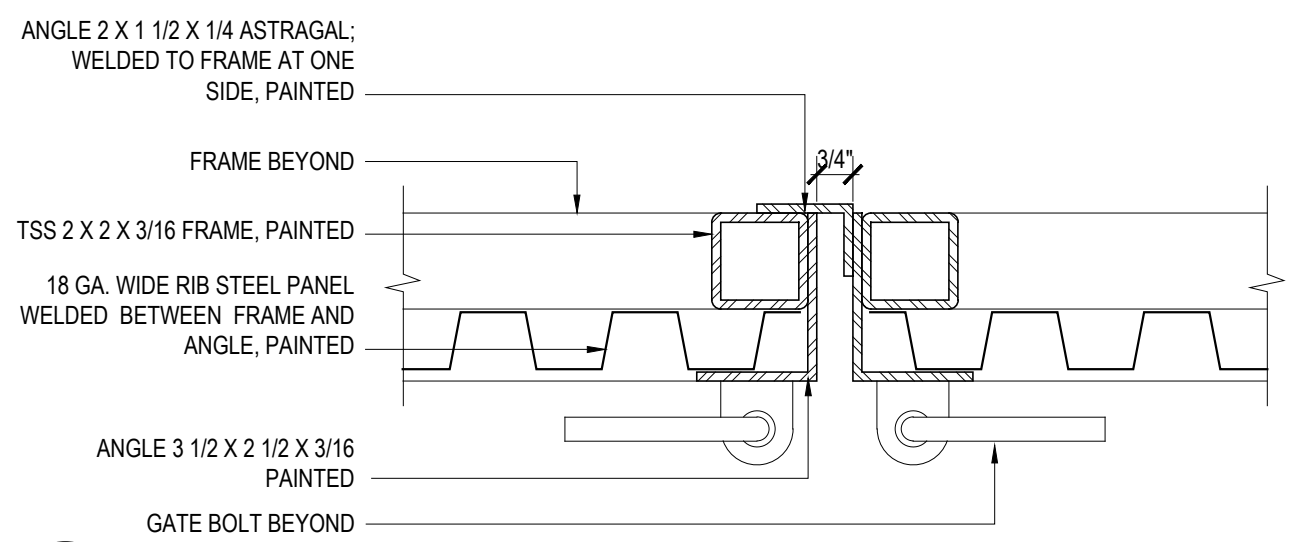
5 DUMPSTER - WEST ELEVATION
SCALE: 1/4" = 1'-0"



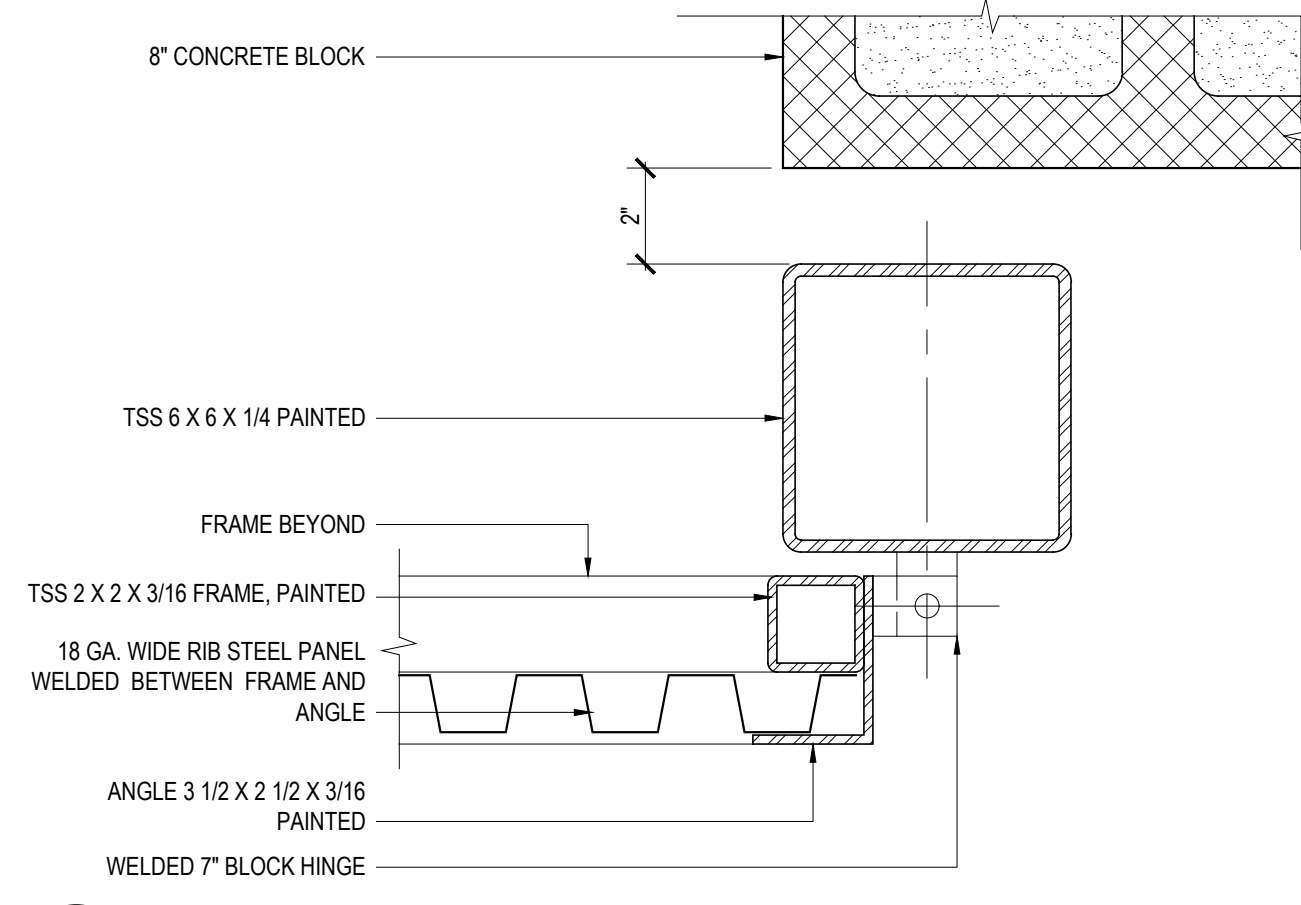
4 DUMPSTER - EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 DUMPSTER - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



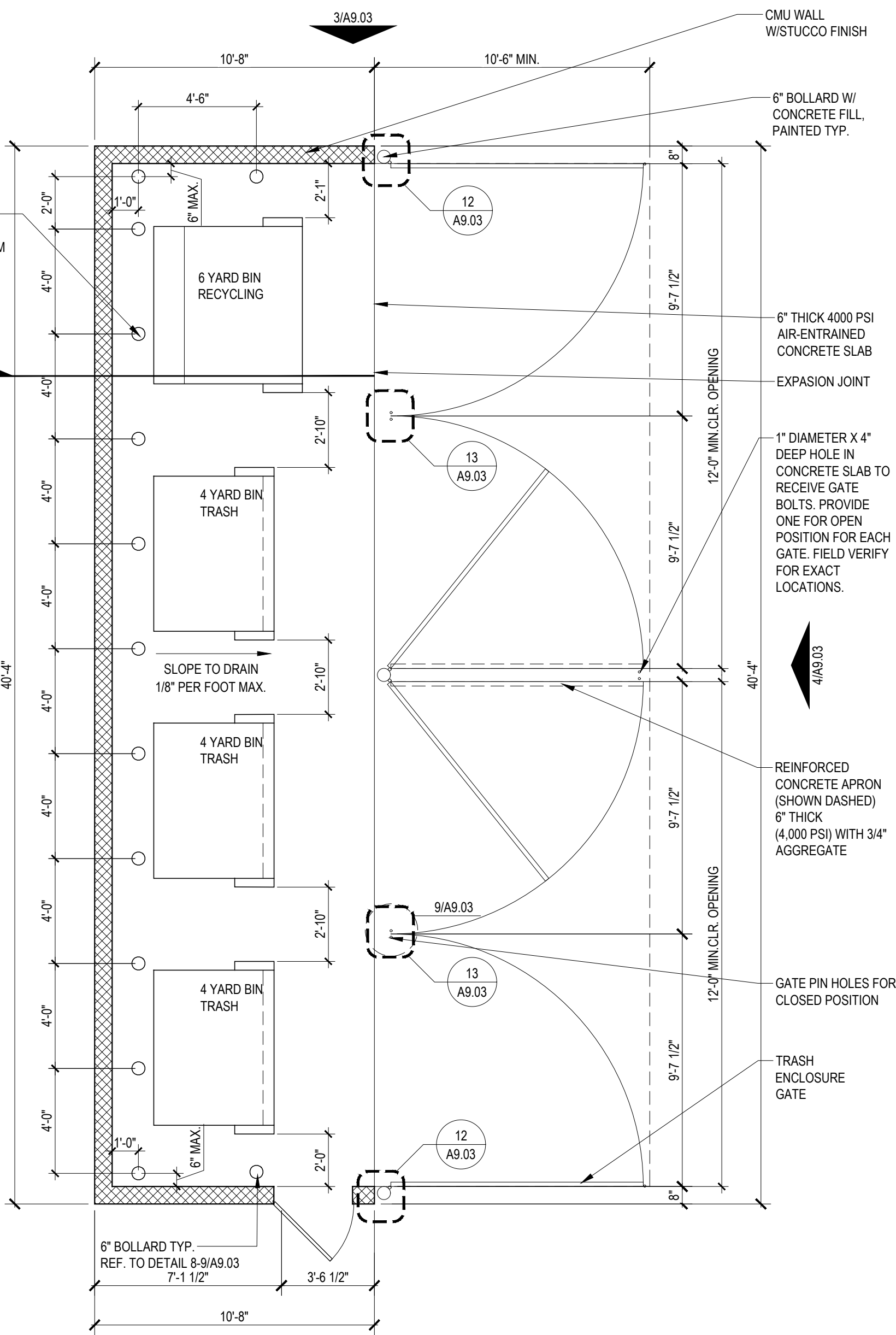
13 GATE DETAIL
SCALE: 3" = 1'-0"



12 GATE HINGE SECTION
SCALE: 3" = 1'-0"

NOTE:
TRASH ENCLOSURE
WILL NOT BE USED AS
STORAGE

6\" REAR BOLLARD WITH
CHAIN AND HOOK TO
SECURE DUMPSTER FROM
ROLLING.
REF. TO DETAIL 8-9/A9.03



1 DUMPSTER - FLOOR PLAN
SCALE: 1/4" = 1'-0"

Designed by: XCH
Drawn by: XX
Architect of Record: RM
Date Plotted: 07/18/2022

Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

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ALLASO WYOMING
ALBUQUERQUE, NM
TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.
5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
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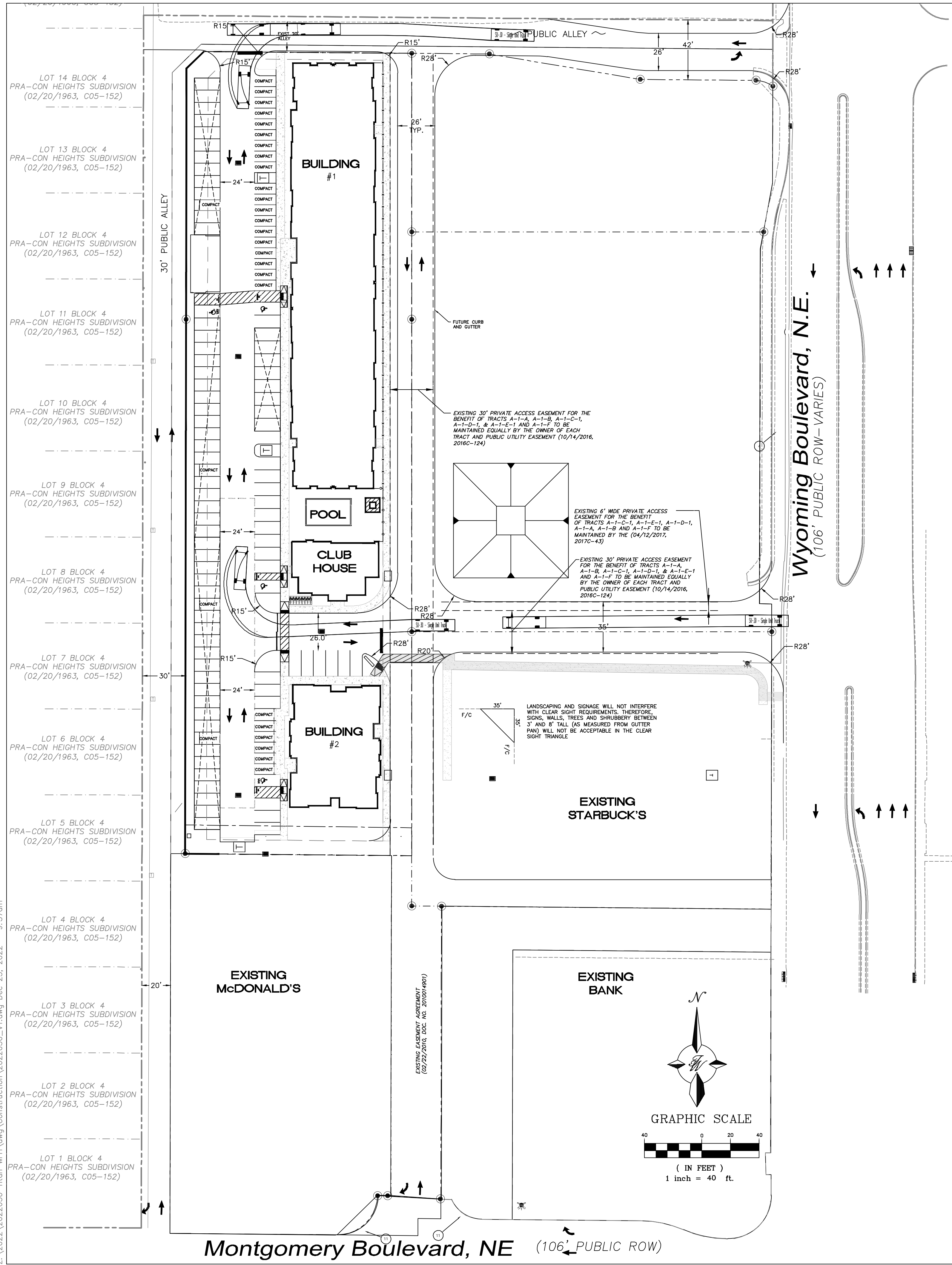
SHEET CONTENTS:
DUMPSTER

SHEET NO.

A9.03
22135

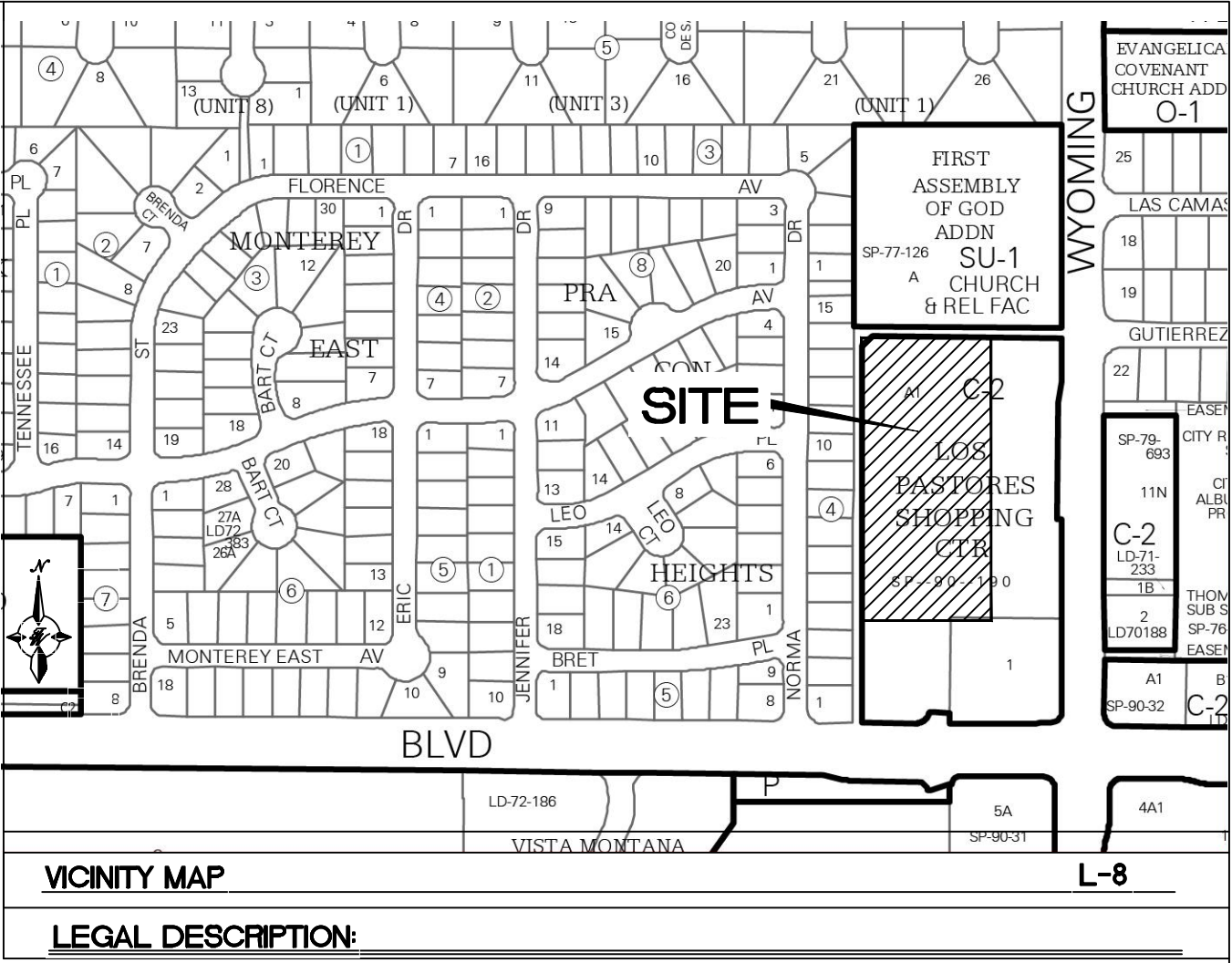
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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- EXISTING SIDEWALK/CONCRETE PAVEMENT
- PROPOSED SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER
- TRANSFORMER
- CARPORT



SITE DATA

PROPOSED USAGE:	RESIDENTIAL - MULTI FAMILY
ZONE:	MX-M
IDO CLASSIFICATION:	MIXED USE MEDIUM INTENSITY
LOT AREA:	95,741 SF (2.1978 ACRES)
ADDRESS:	4615 WYOMING BLVD. N.E.
SETBACKS	FRONT PER PLAN REAR PER PLAN SIDE PER PLAN

BUILDING AREA:
BLDG. 1 : 51,345 SF.
BLDG. 2 : 15,375 SF.
CLUBHOUSE : 2,107 SF.
TOTAL : 68,827 SF.
BUILDING UNITS 102

PARKING REQUIRED: STUDIOS - 36 UNITS X 1 SPACE PER UNIT = 36 SPACES
1 BEDROOM - 60 UNITS X 1.2 SPACES PER UNIT = 72 SPACES
2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT = 10 SPACES
SUB-TOTAL = 118 SPACES
30% TRANSIT REDUCTION = 35 SPACES
TOTAL REQUIRED SPACES = 82 SPACES

TOTAL PROVIDED: 116 SPACES (30 SMALL CAR 25%)

HC PARKING REQUIRED: 4 (2 VAN SPACES)
HC PARKING PROVIDED: 4 (2 VAN SPACES)

MC PARKING REQUIRED: NONE
MC PARKING PROVIDED: NONE

BICYCLE PARKING REQUIRED: 12 SPACES (10% OF TOTAL PARKING)
BICYCLE PARKING PROVIDED: 12 SPACES

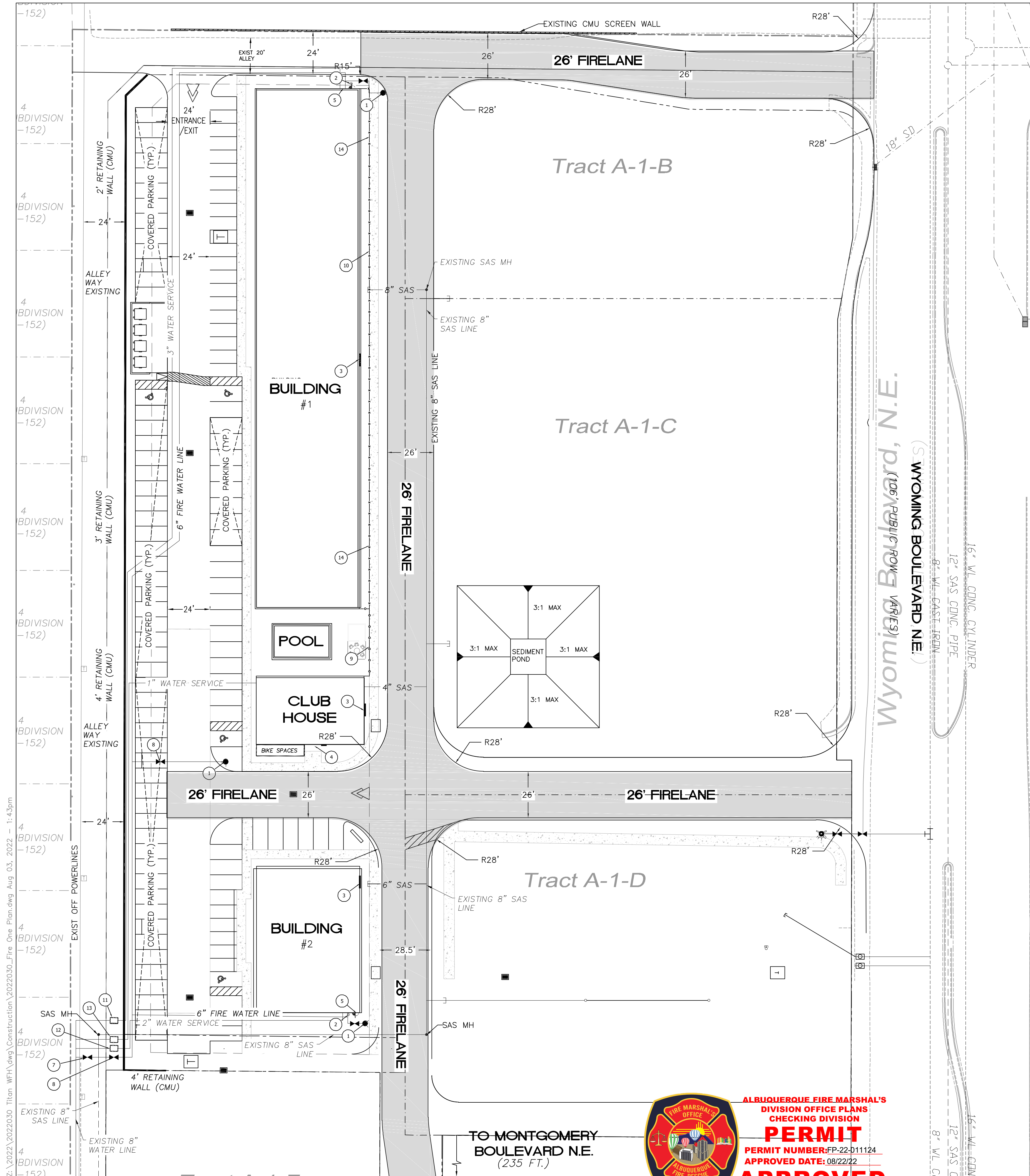
LANDSCAPE AREA REQUIRED: 10,705 SF (15% OF NET)
LANDSCAPE AREA PROVIDED: 14,232 SF (20% OF NET)

NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
- ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED.
- LANDSCAPE PLANTERS ARE TO BE 3'-0 WIDE AND 6'-0 IN LENGTH WITH A HEIGHT BETWEEN, 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL SEE DETAIL SHEET C8. APPLY DYCLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ENGINEER'S SEAL	MONTGOMERY/ WYOMING APARTMENTS	DRAWN BY RMG
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868	VEHICLE TRACKING EXHIBIT	DATE 12/20/2022
12/20/2022	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_VT
		SHEET # VTE-1
		JOB # 2022030



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT
- TRANSFORMER

KEYED NOTES

- NEW PRIVATE FIRE HYDRANT
- PIV
- BUILDING ADDRESS
- KNOX BOX
- FDC
- NOT USED
- 8" PUBLIC GATE VALVE
- 8" PRIVATE GATE VALVE
- 8 FT. SCREEN FENCE W/ 4' MAN GATE
- 6 FT. WROUGHT IRON FENCE W/ 4' MAN GATES
- 2 1/2" WATER METER
- 2" WATER METER
- 1" WATER METER
- 4' MAIN GATE

MONTGOMERY APARTMENTS ALBUQUERQUE, NM

BUILDING	AREA SF	STORIES	MAX BUILDING HEIGHT	FULLY SPRINKLED	OCCUPANCY	CONSTRUCTION TYPE
#1	17064.5	3	48FT.	YES	R-2	V-A
#2	4795.5	3	48FT.	YES	R-2	V-A
CLUB HOUSE	2326.5	1	26FT.	NO	A-3	V-A

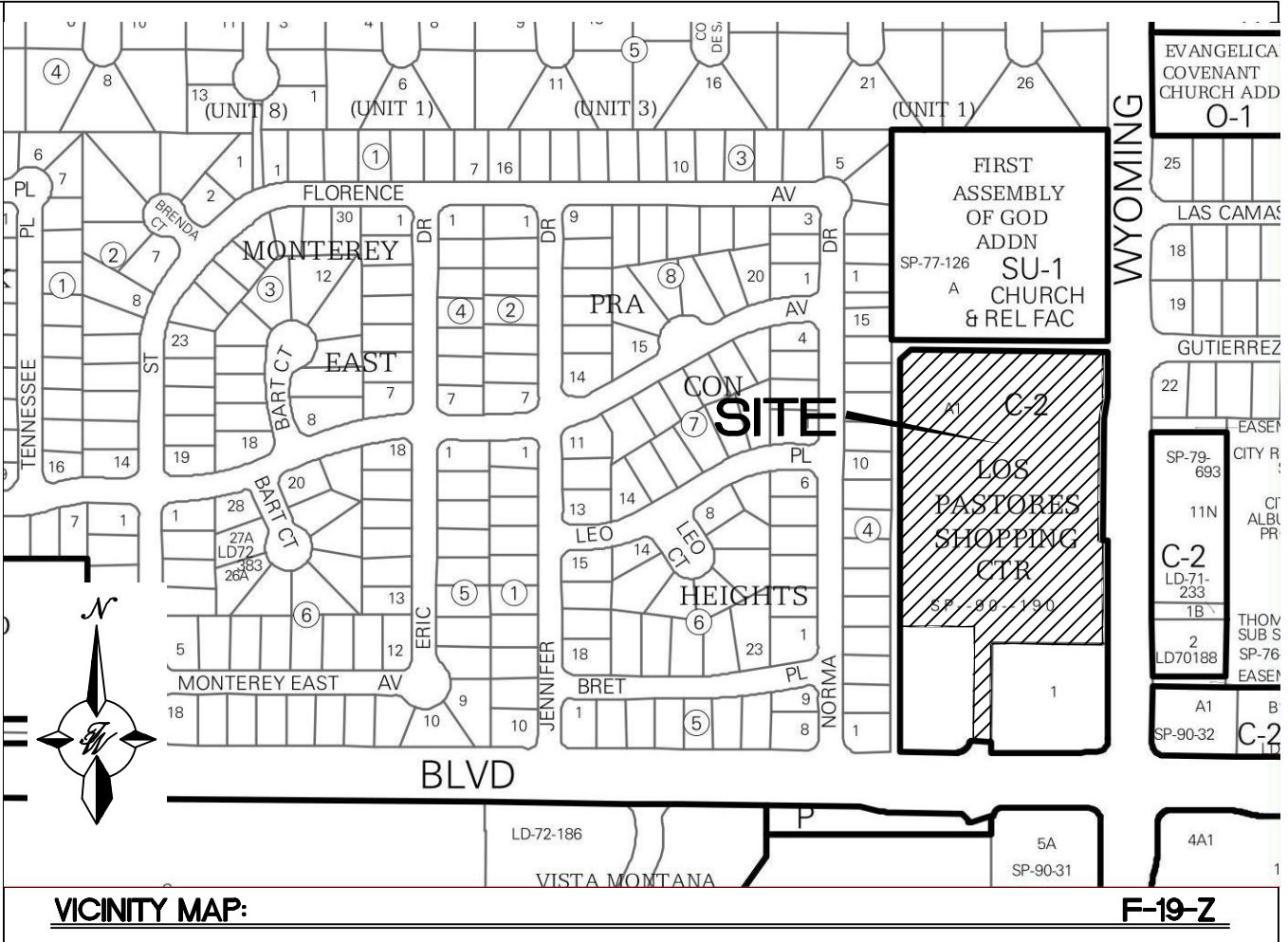
NOTE:

ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 06/20/2022 RONALD R. BOHANNAN P.E. #7868	MONTGOMERY/ WYOMING APARTMENTS FIRE ONE PLAN TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY RMG DATE 08/04/2022 2022030_FIRE ONE PLAN SHEET # F-1 JOB # 2022030
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ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-22-011124
APPROVED DATE: 08/22/22

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: VA FIRE FLOW 2250 HYDRANTS 2

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PURPOSE OF PLAT

1. COMBINE TRACTS AS SHOWN HEREON.

A.G.R.S. MONUMENT "8_G20"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N= 1,500,345.489
E= 1,551,806.736
PUBLISHED EL=5447.110 (NAVD 1988)
GROUND TO GRID FACTOR=0.999652303
DELTA ALPHA ANGLE=-0°10'13.78"

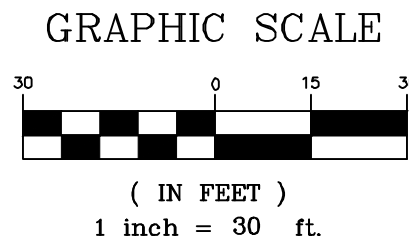
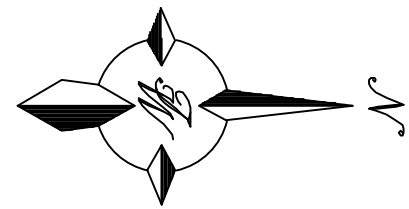
A.G.R.S. MONUMENT "12_F20A"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,502,975.986
E= 1,553,977.868
PUBLISHED EL=5527.721 (NAVD 1988)
GROUND TO GRID FACTOR=0.999648015
DELTA ALPHA ANGLE=-0°09'58.90"

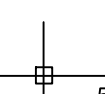
SUBDIVISION DATA

GROSS ARES = 2.1979 ACRES
ZONE ATLAS PAGE NO: FL-19
NUMBER OF EXISTING LOTS: 2
NUMBER OF PROPOSED LOTS: 1
RIGHT OF WAY DEDICATION TO THE CITY OF ALBUQUERQUE = 0.00 AC.

Wyoming Boulevard, N.E.

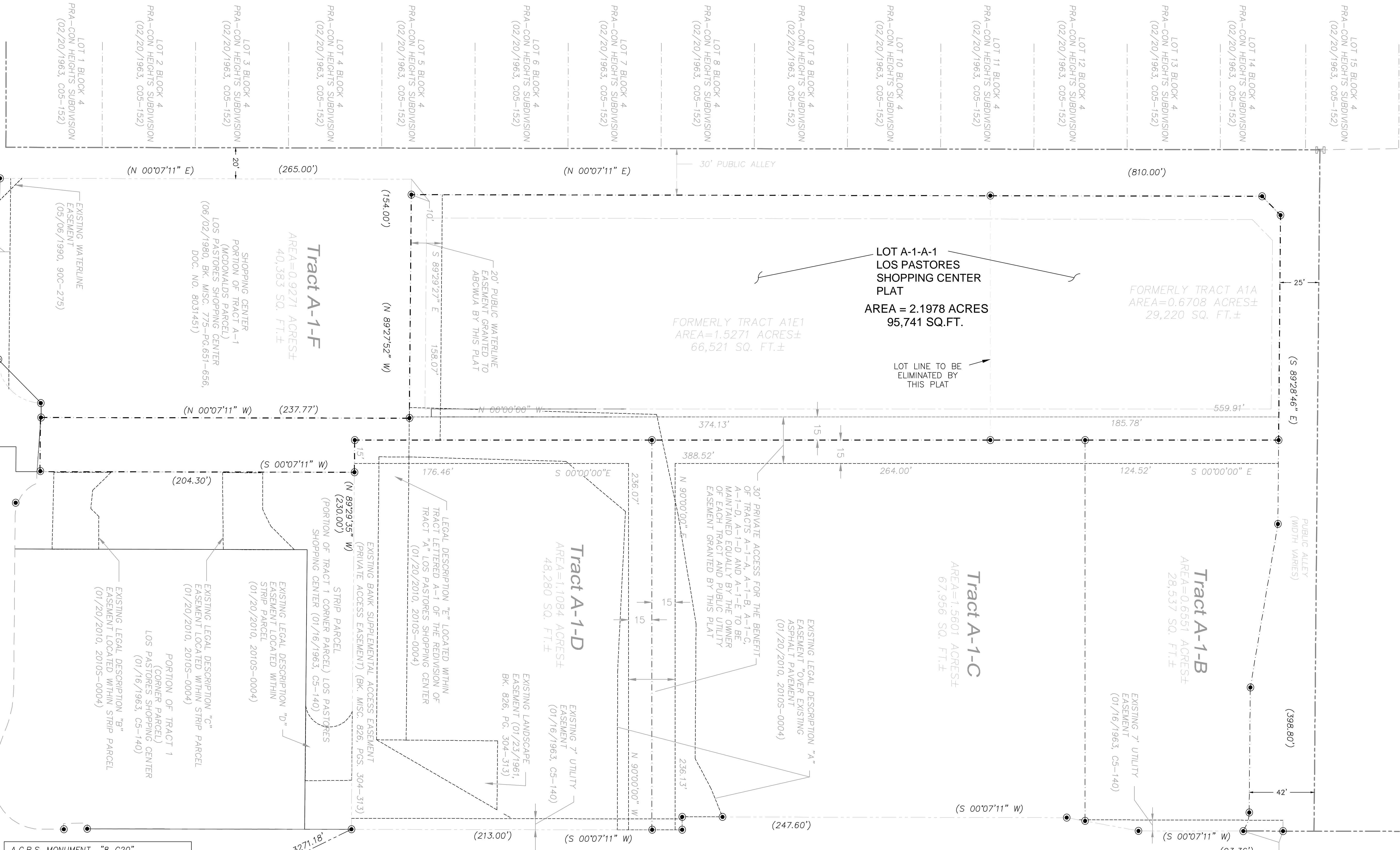
(106' PUBLIC ROW-VARIES)

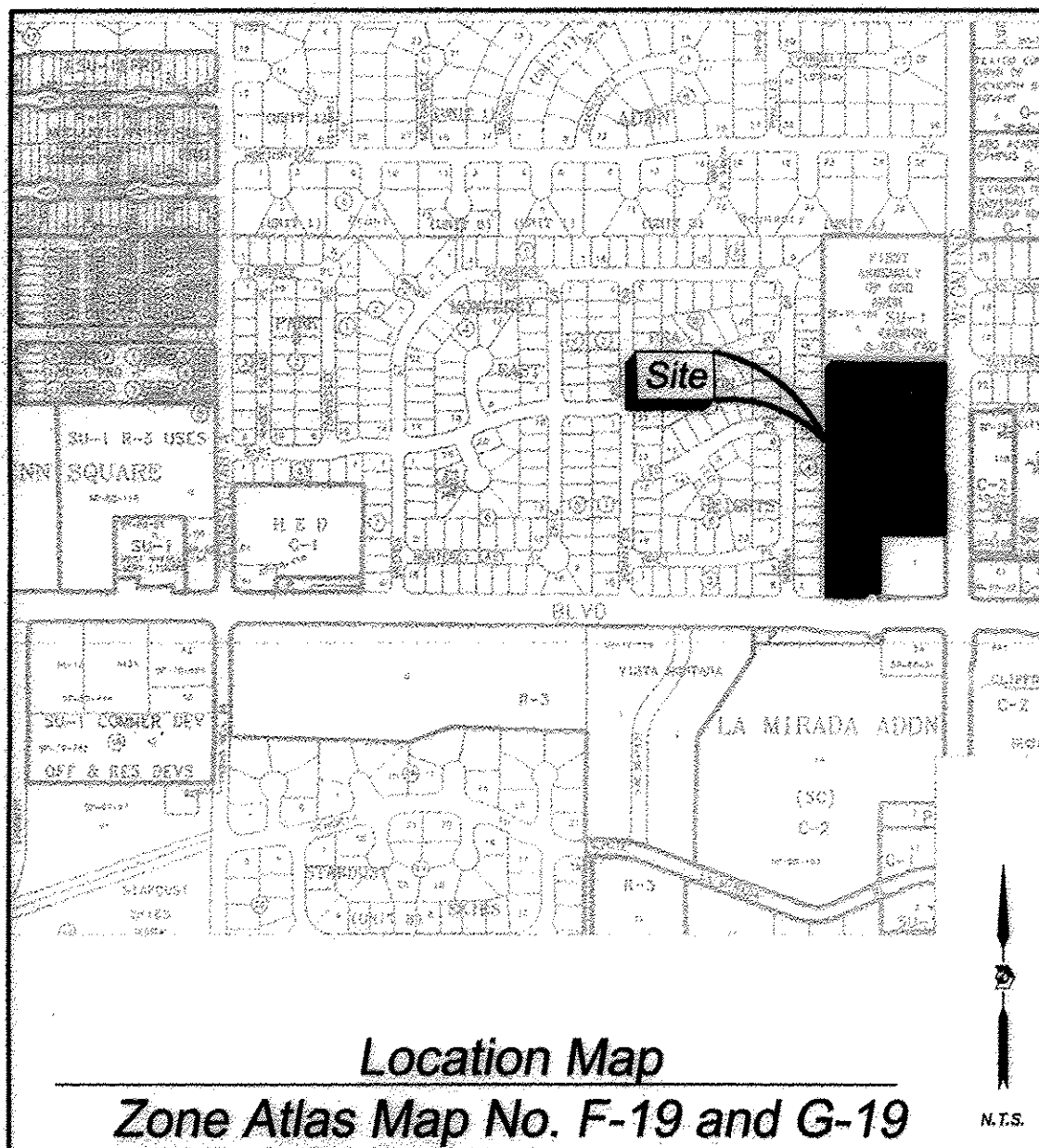


ENGINEER'S SEAL	MONTGOMERY/ WYOMING APARTMENTS	DRAWN BY RMG
	SKETCH PLAT	DATE 08/04/2022
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_SKETCH PLAT
		SHEET # SK-1
		JOB # 2022030

Montgomery Boulevard, NE

(106' PUBLIC ROW)





Subdivision Data:

ZONING: C-2
GROSS SUBDIVISION ACREAGE: 6.4485 ACRES±
ZONE ATLAS INDEX NO: F-19-Z AND G-19-Z
NO. OF TRACTS CREATED: 6
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: APRIL 2016

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ONE EXISTING TRACT INTO SIX NEW TRACTS, DEDICATED RIGHT OF WAY, AND GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN; NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

DOCM 2016097396

10/14/2016 10:19 AM Page: 1 of 3
PLAT R-225.00 B-2016C P-0124 M. Toulouse Oliver, Bernalillo Cou
MONUMENT 8_G20 BEARS S 26°13'12" E, A DISTANCE OF 3271.18 FEET;

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT "A-1" OF LOS PASTORES SHOPPING CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON NOVEMBER 06, 1990, IN VOLUME 90C, FOLIO 275, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NAD 1983) AND BY GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF WYOMING BOULEVARD N.E., MARKED BY A FOUND CHISELED "X", FROM WHENCE A TIE TO AGRS MONUMENT 8_G20 BEARS S 26°13'12" E, A DISTANCE OF 3271.18 FEET;

THENCE FROM SAID POINT OF BEGINNING N 89°30'13" W, A DISTANCE OF 230.04 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°06'33" W, A DISTANCE OF 204.34 FEET TO AN ANGLE POINT LYING ON THE NORTH RIGHT OF WAY LINE OF MONTGOMERY BOULEVARD N.E., MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT 5 COURSES S 89°59'33" W, A DISTANCE OF 0.45 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 86°25'32" W, A DISTANCE OF 36.78 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°59'58" W, A DISTANCE OF 7.00 FEET TO POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 43.45 FEET, A RADIUS OF 27.91 FEET, A DELTA ANGLE OF 89°11'33", A CHORD BEARING OF S 46°00'34" W, AND A CHORD LENGTH OF 39.19 FEET, TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH PLASTIC CAP (ILLEGIBLE);

THENCE N 89°30'13" W, A DISTANCE OF 116.57 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF SAID NORTH RIGHT OF WAY LINE AND THE EAST RIGHT OF WAY LINE OF A 20' PUBLIC ALLEY, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 00°06'33" E, A DISTANCE OF 265.00 FEET TO AN ANGLE POINT; MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 89°29'27" E, A DISTANCE OF 10.00 FEET TO AN ANGLE POINT SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°06'33" E, A DISTANCE OF 547.87 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 45°40'15" E, A DISTANCE OF 17.00 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°30'25" E, A DISTANCE OF 199.02 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 80°25'06" E, A DISTANCE OF 106.73 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°29'46" E, A DISTANCE OF 80.61 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 12.74 FEET, A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 36°29'42", A CHORD BEARING OF S 71°14'55" E, AND A CHORD LENGTH OF 12.52 FEET, TO THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF WYOMING BOULEVARD N.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°06'33" W, A DISTANCE OF 67.49 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";

THENCE S 10°29'14" W, A DISTANCE OF 46.78 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";

THENCE S 00°06'33" W, A DISTANCE OF 247.66 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL;

THENCE S 89°42'55" E, A DISTANCE OF 8.43 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL;

THENCE S 00°06'33" W, A DISTANCE OF 212.99 FEET TO THE POINT OF BEGINNING, CONTAINING 6.4483 ACRES (280,886 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D, A-1-E AND A-1-F.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

SEE SHEET 2 OF 3 FOR FREE CONSENT AND DEDICATION

Acknowledgment

SEE SHEET 2 OF 3 FOR ACKNOWLEDGEMENT

Subdivision
Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F
Los Pastores Shopping Center
Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico
April 2016

Project No. **1010550**

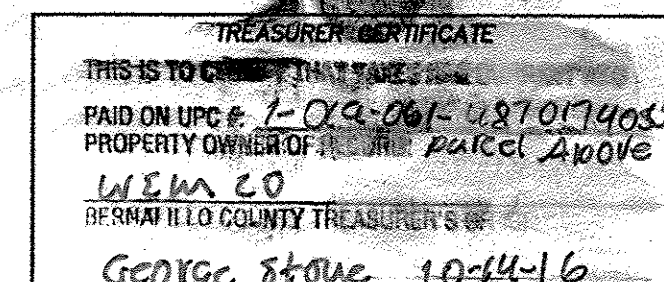
Application No. **16DRB-70167**

Utility Approvals

<i>Armando Vigil</i>	10-5-16
PNM	DATE
<i>Ali Salgado</i>	10-13-16
NEW MEXICO GAS COMPANY	DATE
<i>[Signature]</i>	10/11/2016
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<i>[Signature]</i>	10/13/16
COMCAST	DATE

City Approvals

<i>Elena G. Riancho</i> P.S.	5/9/16
CITY SURVEYOR	DATE
<i>Rogelio M. Mendez</i>	10/5/16
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Theresa Cook</i>	10/05/16
A.B.C.W.U.A.	DATE
<i>Carl S. Dumont</i>	10-5-16
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	10-5-16
AMAFCA	DATE
<i>[Signature]</i>	10-5-16
CITY ENGINEER	DATE
<i>[Signature]</i>	10-14-16
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

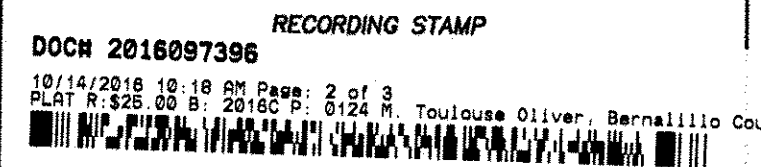
[Signature] 4/29/16
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER W & M CO. A NEW MEXICO GENERAL PARTNERSHIP
OWNER G & L INVESTMENT CO. A NEW MEXICO CORPORATION
SECTION 31, TOWNSHIP 11 N, RANGE 4 E,
SUBDIVISION LOS PASTORES SHOPPING CENTER



Subdivision
Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F
Los Pastores Shopping Center
Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico
April 2016

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

W & M CO., A NEW MEXICO GENERAL PARTNERSHIP

Paul J. Matteucci

PAUL J. MATTEUCCI
TRUSTEE OF THE PAUL J. MATTEUCCI GENERATION SKIPPING TRUST
(UNDER AGREEMENT DATED MAY 10, 1989, AS AMENDED)
GENERAL PARTNER

4/29/16
DATE

G & L INVESTMENT CO., INC., A NEW MEXICO CORPORATION

Paul J. Matteucci

PAUL J. MATTEUCCI
PRESIDENT

4/29/16
DATE

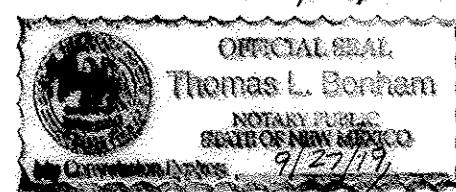
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY PAUL J. MATTEUCCI, TRUSTEE OF THE PAUL J. MATTEUCCI GENERATION SKIPPING TRUST, UNDER AGREEMENT DATED MAY 10, 1989, AS AMENDED, GENERAL PARTNER OF W & M CO., ON BEHALF OF SAID W & M CO., A NEW MEXICO GENERAL PARTNERSHIP.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



Marc Mauney
MARC MAUNEY, MANAGER
MAUNEY INVESTMENTS, LLC
GENERAL PARTNER

4/29/16
DATE

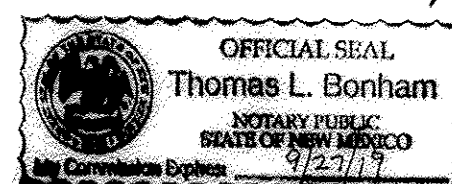
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY MARC MAUNEY, MANAGER OF MAUNEY INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, GENERAL PARTNER OF W & M CO., ON BEHALF OF SAID W & M CO., A NEW MEXICO GENERAL PARTNERSHIP.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



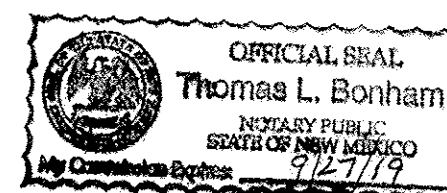
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29TH DAY OF April, 2016 BY PAUL J. MATTEUCCI, PRESIDENT OF G & L INVESTMENT CO., INC., A NEW MEXICO CORPORATION, ON BEHALF OF SAID CORPORATION.

BY Thomas L. Bonham
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/27/19



PRECISION
SURVEYS, INC.

INDEXING INFORMATION FOR COUNTY CLERK
OWNER W & M CO., A NEW MEXICO GENERAL PARTNERSHIP
OWNER G & L INVESTMENT CO., A NEW MEXICO CORPORATION
SECTION 31, TOWNSHIP 11 N., RANGE 4 E.
SUBDIVISION LOS PASTORES SHOPPING CENTER

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

RECORDING STAMP

DOC# 2016097396

10/14/2016 10:18 AM Page: 3 of 3
PLAT R: 525.00 B: 2016C P: 0124 M. Toulouse Oliver, Bernalillo County

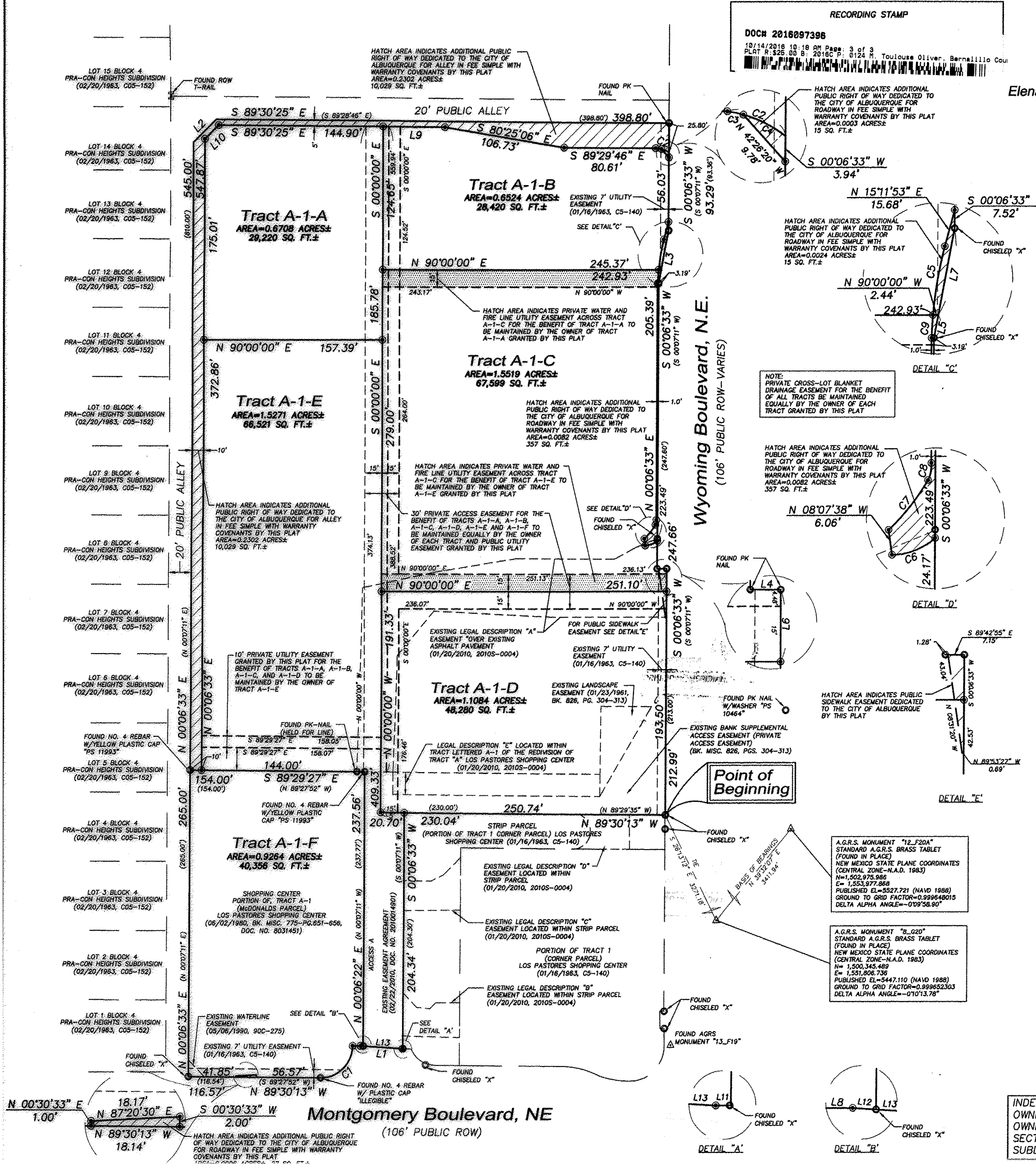
Subdivision

Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F

Los Pastores Shopping Center

Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico

April 2016



NOTE:
PRIVATE CROSS-LOT BLANKET
DRAINAGE EASEMENT FOR THE BENEFIT
OF ALL TRACTS BE MAINTAINED
EQUALLY BY THE OWNER OF EACH
TRACT GRANTED BY THIS PLAT

HATCH AREA INDICATES ADDITIONAL
PUBLIC RIGHT OF WAY DEDICATED TO
THE CITY OF ALBUQUERQUE FOR
ROADWAY IN FEE SIMPLE WITH
WARRANTY COVENANTS BY THIS PLAT
AREA=0.0082 ACRES±
357 SQ. FT.±

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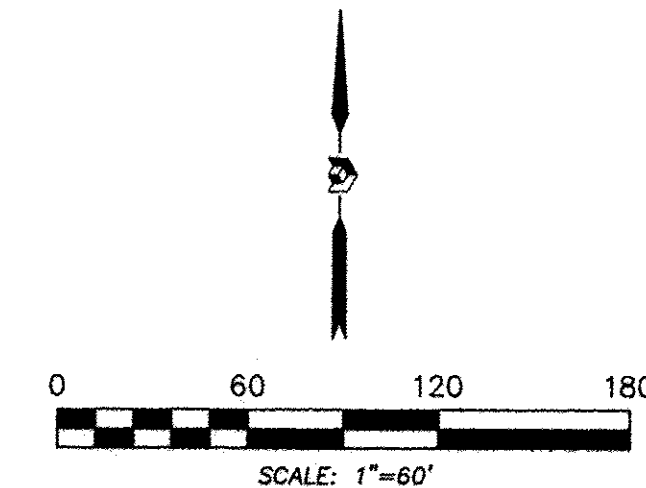
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Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES	
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND AGRS MONUMENT AS DESIGNATED
⊥	FOUND RIGHT OF WAY T-RAIL AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
L1	N 86°25'32" W	36.78'
	(N 85°58'49" W)	(36.78')
L2	N 45°40'15" E	28.17'
	(N 45°18'45" E)	(28.19')
L3	S 10°29'14" W	46.78'
	(S 10°34'46" W)	(46.82')
L4	S 89°42'55" E	8.43'
	(S 89°52'49" E)	(8.50')
L5	S 10°29'14" W	12.01'
L6	S 00°06'33" W	19.49'
L7	S 10°29'14" W	34.77'
L8	S 89°59'34" W	7.00'
	(N 89°31'43" W)	(7.00')
L9	S 89°30'25" E	54.11'
L10	N 45°40'15" E	17.00'
L11	S 89°59'33" W	0.45'
	(S 89°31'44" E)	(0.45')
L12	N 86°25'32" W	2.30'
L13	N 86°25'32" W	34.48'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	27.91'	43.45'	89°11'33"	39.19'	S 46°00'34" W
	(27.91')	(43.88')	(82°03'34")	(39.50')	(S 45°30'19" W)
C2	20.00'	12.74'	36°29'42"	12.52'	S 71°14'55" E
C3	20.00'	5.32'	15°15'18"	5.31'	N 81°52'08" W
C4	20.00'	7.41'	21°14'27"	7.37'	S 63°37'17" E
C5	175.00'	27.01'	8°50'42"	26.99'	N 09°58'15" E
C6	16.94'	11.52'	38°56'59"	11.30'	S 69°05'43" W
C7	52.30'	15.41'	16°52'53"	15.35'	N 38°51'56" E
C8	8.73'	4.25'	27°55'37"	4.21'	N 11°06'31" E
C9	175.00'	11.89'	3°53'30"	11.88'	S 03°36'09" W



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MAILING ADDRESS:
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