

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 1, 2024

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: 7212 Osuna Rd NE
Grading and Drainage Plan
Engineer's Stamp Date: 04/18/24
Hydrology File: F19D040**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 04/24/2024, the Grading & Drainage Plan is approved for Grading Permit and Foundation Permit. Please attach a copy of this approved plan in the construction sets for Foundation Permit processing along with a copy of this letter.

PRIOR TO BUILDING PERMIT:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Chavez Residence **Building Permit #:** _____ **Hydrology File #:** F-10

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Lot 9-A, BLOCK 11 HIGHLANDS NORTH UNIT 2

City Address: 7212 Osuna Road. NE

Applicant: THE Group **Contact:** Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc

Owner: Larry Chavez **Contact:** Richard C Schalk AIA

Address: 1606 Old Town Road NW, Albuquerque, New Mexico 87104

Phone#: 505-239-4214 **Fax#:** _____ **E-mail:** richard@richardschalk.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/23/24 **By:** Ron E Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.80 ACRES LOCATED ON THE SOUTH SIDE OF OSUNA ROAD. AS SEEN ON THE VICINITY MAP.

FLOODPLAIN STATUS

THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0139G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

EQUATIONS:

WEIGHTED E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

FLOW = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

WHERE FOR 100-YEAR, 6-HOUR STORM(ZONE3)

Ea= 0.67 Qa= 1.84

Eb= 0.88 Qb= 2.49

Ec= 1.09 Qc= 3.17

Ed= 2.58 Qd= 4.49

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	CFS/AC (cfs)	ALLOWED (cfs/ac)		
ALLOWABLE	34848	100%	34848	0%	0	0%	0.6700	1946	1.47	1.84	2.23	
FUTURE	34848	0%	0	52%	18191	15%	5227	33%	11430	1.4587	4236	2.23

PRECIPITATION

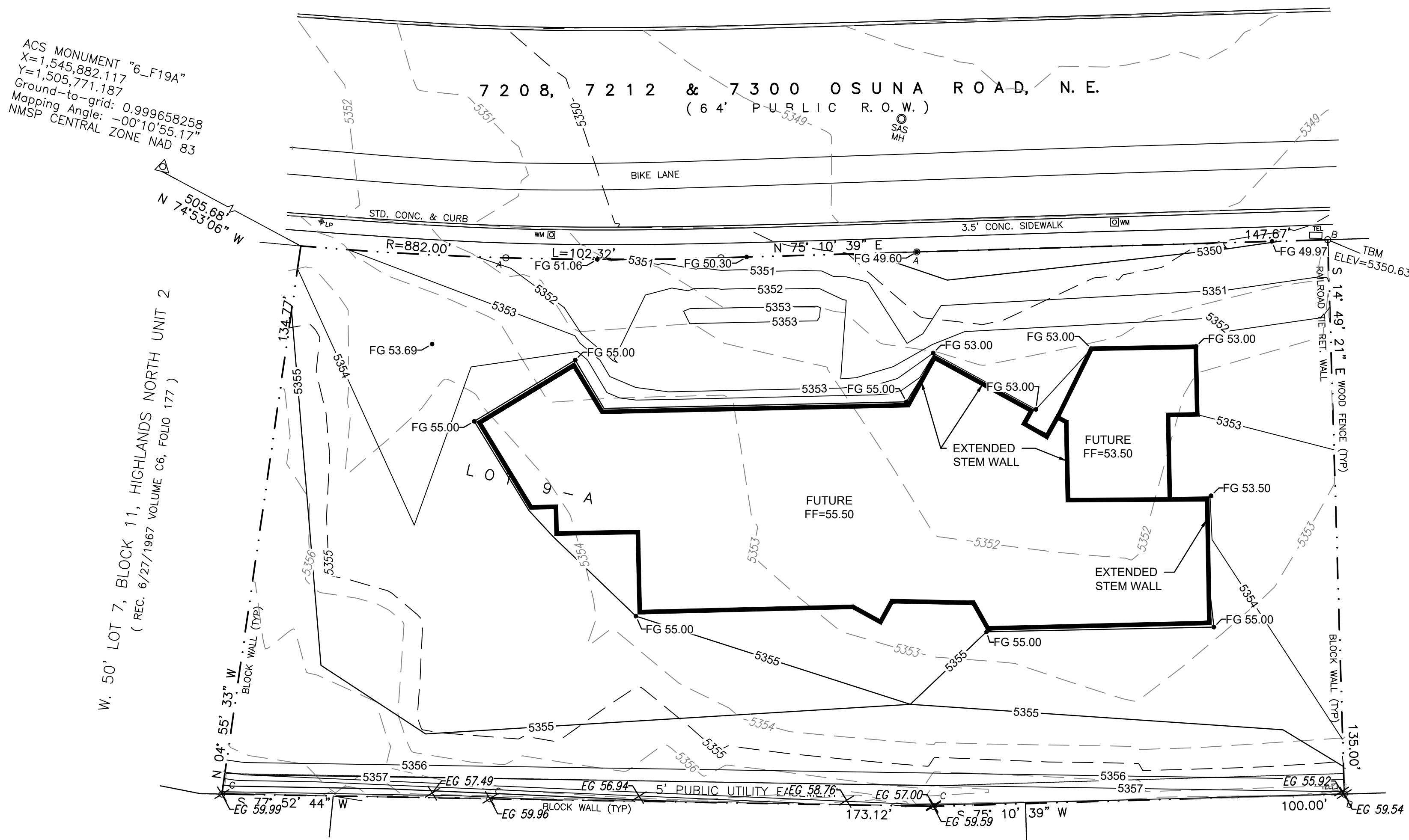
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6.

EXISTING DRAINAGE

THE SITE IS LOT 9-A IN THE SUBDIVISION HIGHLANDS NORTH UNIT 2. THE SITE IS DESIGNATED AS FREE DISCHARGE TO OSUNA ROAD. THERE ARE NO FLOWS THAT ENTER THE SITE DUE TO EXISTING DEVELOPMENT.

DEVELOPED CONDITION

THIS PLAN IS IN SUPPORT OF THE GRADING OF THE SITE AND A FOUNDATION PERMIT. THE SITE WILL BE DEVELOPED WITH A GRADING PLAN FOR BUILDING PERMIT IN THE FUTURE AS A SINGLE FAMILY HOME WITH WITH A FLOOR AREA OF APPROX. 8,430 SQ.FT. WITH DEVELOPED RUNOFF ROUTED TO RETENTION PONDS WITH DISCHARGE TO OSUNA ROAD. THE RETENTION PONDS WILL HAVE A REQUIRED VOLUME EQUAL TO THE REQUIRED WATER QUALITY VOLUME OF APPROXIMATELY 400 CU.FT..

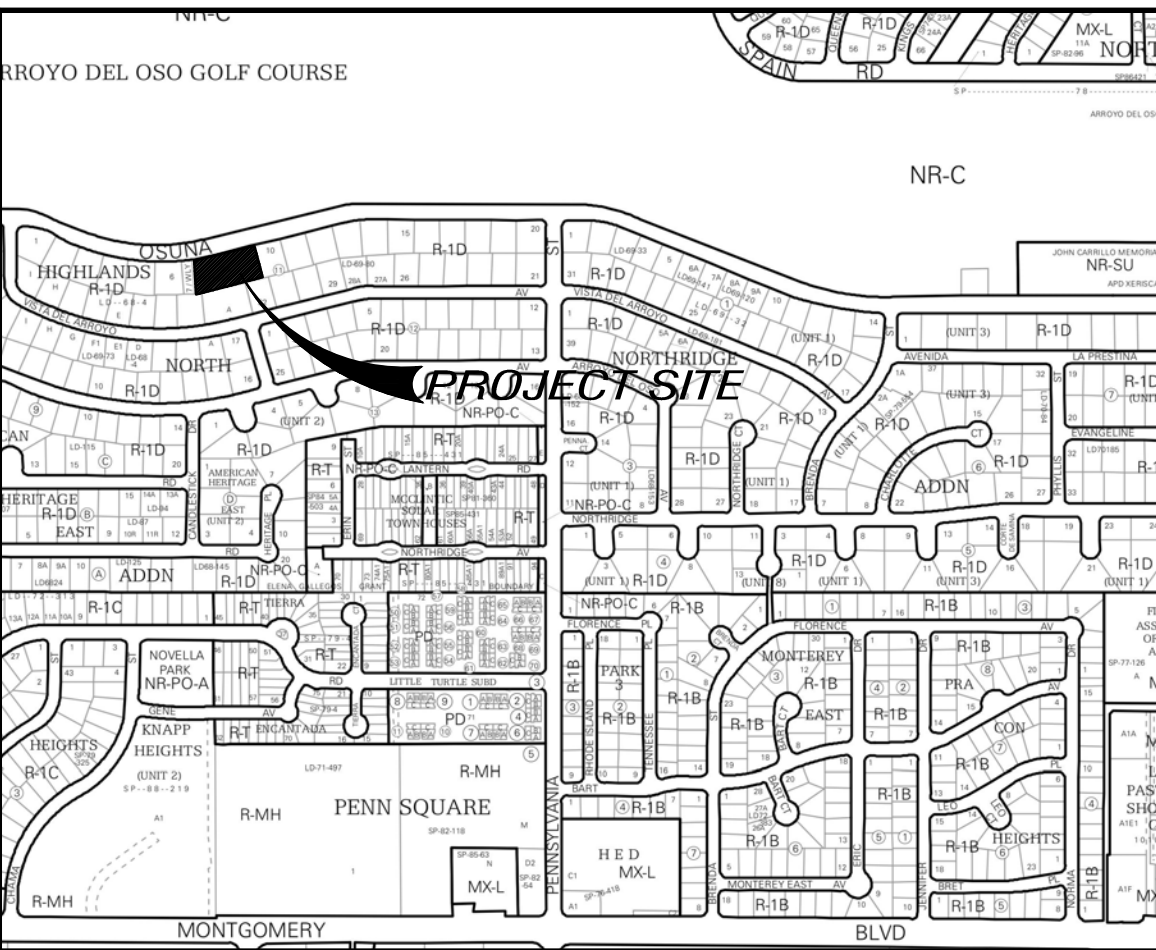


LOT A, BLOCK 11, HIGHLANDS NORTH UNIT 2
(REC. 1/26/1968 VOLUME B4, FOLIO 118)

LOT 32, BLOCK 11, HIGHLANDS NORTH UNIT 2
(REC. 6/27/1967 VOLUME C6, FOLIO 177)



FIRM MAP NO. 35001C0139G



VICINITY MAP F-10-Z



NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDDED OR LANDSCAPED
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGAL DESCRIPTION

LT 9-A, BLOCK 11 HIGHLANDS NORTH UNIT 2
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28
66.33 PROPOSED ELEVATION
- EXISTING ELEVATION
- GRADE BREAK
- 100 PROPOSED CONTOUR
- 100 EXISTING CONTOUR
- PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

RON E. HENSLEY
NEW MEXICO
21850
REGISTERED PROFESSIONAL ENGINEER
APRIL 18, 2023

1. THIS SET OF DRAWINGS CONSTITUTES A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN INCORPORATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

7212 OSUNA RD NE
ALBUQUERQUE, NM

CLIENT'S NAME

GRADING AND DRAINAGE PLAN

PROJECT NUMBER

LOT 9-A, BLOCK 11

PROJECT NAME

PERMIT

PROJECT PROGRESS

REH

DRAWN BY

REH / REH

CHECKED BY

MAR, 9, 21

DATE

AS NOTED

SCALE

G1

SHEET