

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

March 6, 2019

Jonathan D. Burkhardt, P.E.  
Burkhardt Engineering  
28 North Cherry St.  
Germantown, OH, 45327

**RE: Champion Xpress Car Wash  
4516 Wyoming Blvd. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 02/15/19  
Hydrology File: F20D005**

Dear Mr. Burkhardt:

PO Box 1293

Based upon the information provided in your submittal received 02/21/2019, the Grading & Drainage Plan **is not** approved for Building Permit and SO-19 Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please provide the FIRM Map and flood plain note with effective date.
2. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
3. Please provide the legal description of the property. Please refer to the DPM Chapter 22 Section 7 - Grading Plan Checklist.
4. Please provide the proposed grades or existing grades on both sides of the proposed retaining walls.
5. Please provide cross sections of the retaining walls along each property line. These sections should include the property line, the footer of the retaining wall, the distance between the property line and the wall, and any other pertinent information.
6. Per DPM Ch. 22.5.B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners. Also any such encroachment by the wall within the City's R.O.W. must be accompanied by a licensing agreement.

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7. This site appears to have two drainage areas. Please show them and provide the drainage calculation for each drainage area.
8. This site has an existing building and parking area. Therefore the amount of Type D (impervious needs to be estimated) and Type B (landscape area). This site also has free discharge into Wyoming Blvd. Therefore no detention will be required for this site. See aerial image below.



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9. Per the City's Drainage Ordinance, this site is required to manage the storm water quality of the runoff. Since this site is a redevelopment, the storm water quality volume for each of the two drainage areas are calculated by multiplying the impervious area (SF) of the drainage area by 0.26 inches. This can be placed within the landscape area however; drainage from the impervious area must first drain to the storm water quality pond prior to discharging into Wyoming Blvd. Please provide the calculations.
10. Both drainage areas typically discharge into their storm water quality pond via curb cuts. Please provide the weir calculations for the curb cuts and indicate the size of the curb cut (typically this is either 1' or 2').
11. Please provide the required water quality volume and the provided water quality volume for each pond.
12. Each storm water quality pond will discharge to Wyoming Blvd through a sidewalk culvert. Please provide wier calculation (Chapter 22 of the DPM) for the proposed sidewalk culverts.

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13. Please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culvert. Also please provide the invert (in) and the invert (out) for each sidewalk culvert.
14. Since sidewalk culverts are needed, please add the SO-19 Permit Notes to the Grading & Drainage Plan. See Attachment.
15. Please provide spot elevations at the beginning and end of all swales. Please also provide the slope of the swales.
16. Please provide a written agreement with the adjacent property owner in order to construct the proposed swale on that adjacent property. Also the discharge of this swale will need to go through a sidewalk culvert.
17. Since the underground storage and storm pipes are not needed, there is no need to resubmit Sheet C4.0 and C5.0.
18. All drainage related details and sections can be placed on a new sheet say Sheet C3.1.
19. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov), 924-3420) 14 days prior to any earth disturbance.
20. Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality ponds sewer per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.
21. Standard review fee of \$150 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

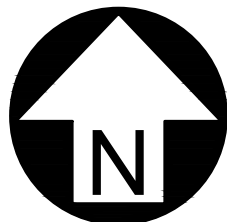
Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# SITE DEVELOPMENT PLANS FOR CHAMPION XPRESS CAR WASH

1. All work shall strictly comply with all Local, State, and Federal regulations and requirements.
2. Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
3. All sediment and erosion control measures, as shown on Sheets C-6.0 & C-6.1, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.
4. North arrow, existing topography, and bearings based on field survey of the subject property prepared by Wayjohn Surveying, Inc. dated September 2018.
5. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
6. The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
7. The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
8. Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
9. The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards.
10. All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
11. All work within public rights-of-way shall be in accordance with Local, State, and/or Federal requirements and specifications.



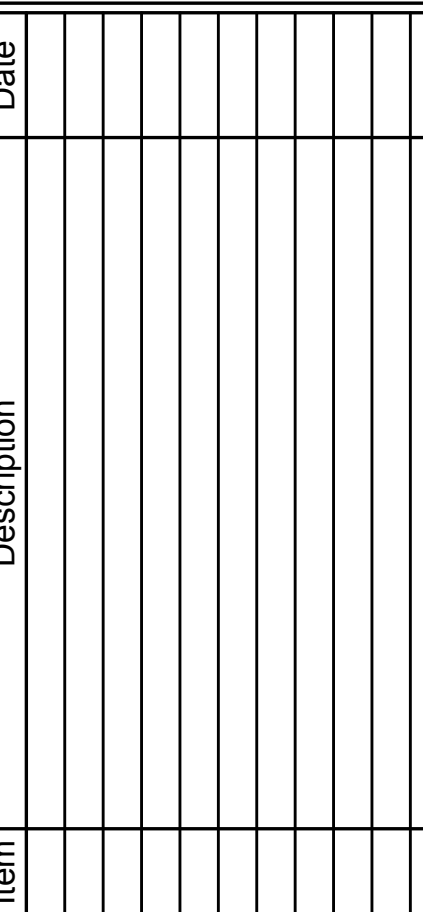
VICINITY MAP  
NOT TO SCALE

|   |  |
|---|--|
| <b>OWNER / DEVELOPER</b><br>7B Building and Development<br>Contact: Derrick Merchant<br>Phone: 806.368.7843<br>Email: derrick@7bdev.com             | <b>ARCHITECT / STRUCTURAL / MEP</b><br>C.L. Helt Architect<br>Contact: Diana Myers<br>Phone: 704.342.1686<br>Email: dianam@clhelt.com  |
| <b>CIVIL ENGINEER / CONSULTANT</b><br>Burkhardt Engineering<br>Contact: Ryan Morrissey<br>Phone: 937.388.0060<br>Email: rmorrissey@burkhardtinc.com | <b>LANDSCAPE ARCHITECTURE</b><br>Consensus Planning<br>Contact: James Foty<br>Phone: 505.764.9801<br>Email: foty@consensusplanning.com |

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

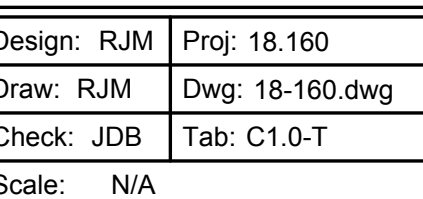
Address: 4516 Wyoming Blvd. N.E., Albuquerque, NM 87111  
Legal Description: Portion of Tract 11-N, Block 11 of Ofimiano J. Gutierrez Lower Terrace,  
City of Albuquerque, Bernalillo County, New Mexico.  
Area: 1.0307 acres  
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District  
Flood Zone Designation: FIRM # 35001C0143G, effective date: September 26, 2008  
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.  
Note: Wyoming Boulevard subject to flooding depth of 1'

- C-1.0 : Title Sheet
- C-1.1 : Existing Conditions & Demolition Plan
- C-2.0 : Site Plan
- C-2.1 : Fire 1 Plan
- C-3.0 : Grading & Drainage Plan
- C-4.0 : Utility Plan
- C-5.0 : Site Details
- C-6.0 : SWPPP - Site Plan
- C-6.1 : SWPPP - Notes and Details
- L-1.0 : Irrigation Plan
- L-2.0 : Landscape Plan
- L-3.0 : Landscape Details

[illegible]

SITE DEVELOPMENT PLANS FOR  
**CHAMPION XPRESS**  
CAR WASH

4516 WYOMING BOULEVARD N.E.  
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11  
OF MANO J. GUTIERREZ LOWER TERRACE SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Date: 01.04.2019

TITLE SHEET

Sheet No.:



The Contractor shall obtain a copy of the Geotechnical Engineering Report prepared by Geoscience Engineering & Testing, Inc., dated \_\_\_\_\_ 2018 and shall refer to the report for site preparation, compaction, utility trench backfill, pavement, foundations and slabs, construction and design criteria.

\*\*\*PENDING RECEIPT OF FINAL GEOTECHNICAL REPORT\*\*\*

C-1.0



1. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
2. All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
3. All dimensions to the building are referenced to the outside face of the structure's facade.
4. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
5. All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
6. All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
7. Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
8. All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tooled finished and spaced as follows:



STORM WATER MANAGEMENT NOTES:

Methodology:

Albuquerque Development Process Manual

Chapter 22, Section 2, Part A;

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

Precipitation Zone:

Precipitation Zone 3: "Between the San Mateo and Eubank"

Existing Conditions:

Area = 1.0307 acres  
Treatment C (vacant lot)  
100-year/6-hour Excess Precipitation = 1.09" (Table A-8)  
100-year peak Discharge Rate = 3.17 cfs/acre (Table A-9)  
Q<sub>100</sub> = 3.27 cfs  
Vol<sub>100</sub> = 4,078 cu-ft

Proposed Conditions:

Area = 1.0307 acres  
Treatment C (Desert Landscaping Area) - 20%  
Treatment D (Impervious Area) - 80%  
100-year/6-hour Excess Precipitation = 2.28" (Table A-8)  
100-year peak Discharge Rate = 4.23 cfs/acre (Table A-9)  
Q<sub>100</sub> = 4.36 cfs  
Vol<sub>100</sub> = 8,530 cu-ft

Required Storage Volume:

4,452 cu-ft (Ex. Vol<sub>100</sub> - Prop. Vol<sub>100</sub>)

Provided Storage Volume:

Underground Stormwater Retention System = 4,551 cu-ft  
Drainage Swale = 440 cu-ft  
Total Storage Volume Provided = 4,991 cu-ft

Summary:

Total Storage Volume Provided exceeds the Total Storage Volume Required, therefore there will be NO increase in Discharge or Volume to State Right-of-Way due to the Champion Xpress Car Wash property development. Existing Drainage patterns have been maintained for the 100-year / 6-hour design storm. All overflow paths have been checked and have capacities exceeding the proposed 100-year discharge rates.

TAKE CAUTION DURING EXCAVATION:  
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR.  
NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING  
City of Albuquerque - Planning Department  
Contact: David Campbell  
Telephone: 505.924.3860  
Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER  
Albuquerque Water Utility Authority  
Contact: Customer Service  
Telephone: 505.842.9287

GAS

New Mexico Gas Company  
Contact: Customer Service  
Telephone: 505.697.3335

ELECTRIC

PNM (Public Service Company of New Mexico)  
Contact: Michael Moyer  
Telephone: 505.241.3697  
Email: mmoyer@pnm.com

TELECOM

CenturyLink  
Contact: Customer Service  
Telephone: 865.465.2313

SITE BENCHMARKS

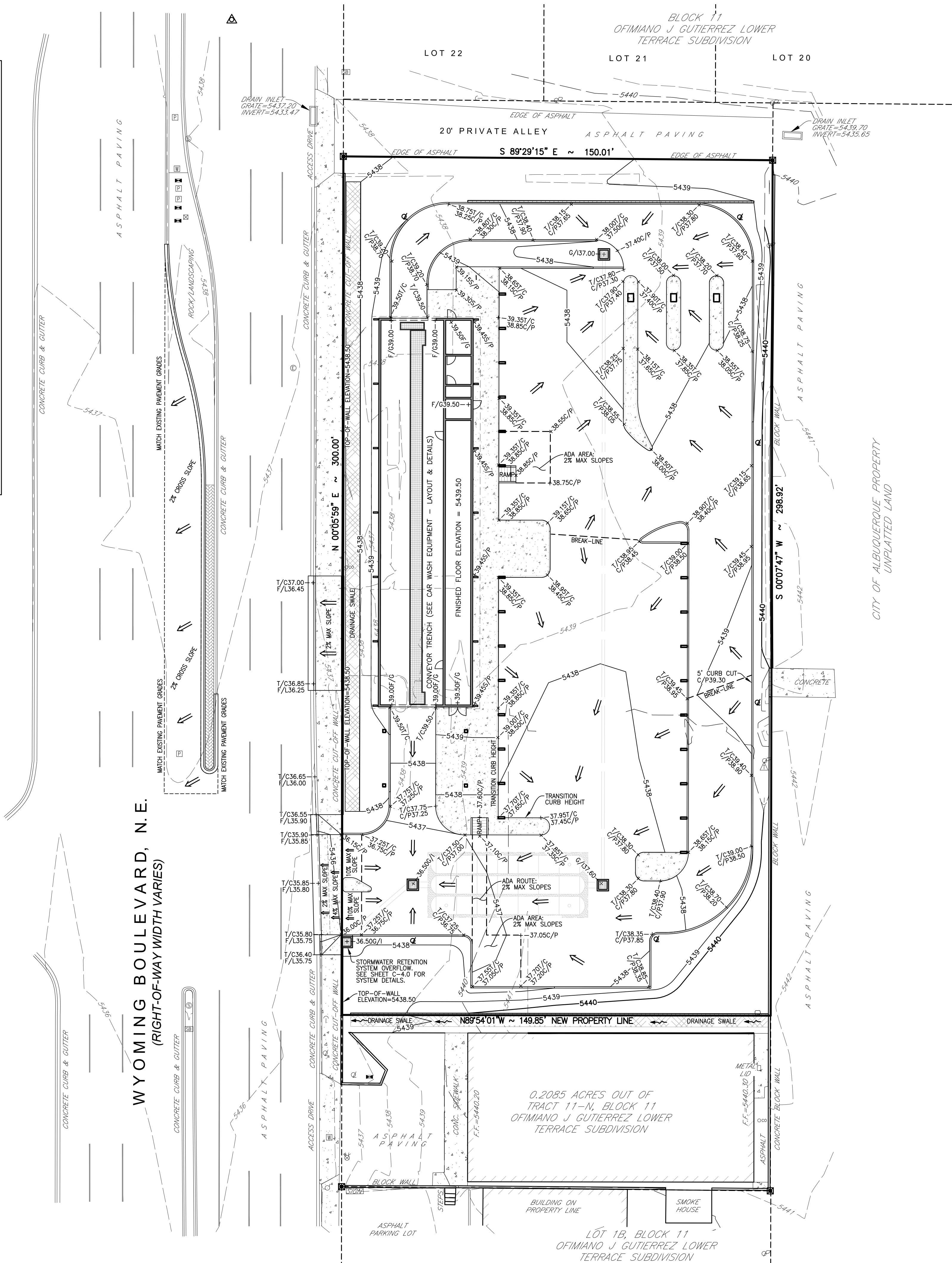
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Elevation = 5437.92
- BM#2 Description: Nail / Disk found at SouthWest corner of Tract 11-N in Wyoming Boulevard right-of-way line.  
Elevation = 5436.35

ACS Control Monument "13\_F19"  
Elevation = 5434.324 (NAVD 88)



Know what's below.  
Call before you dig.

SEE UTILITY PLAN / SHEET C-4.0 & DETAILS / SHEET C-5.0 FOR UNDERGROUND STORMWATER RETENTION SYSTEM AND DRAINAGE SWALE DESIGN DETAIL AND ADDITIONAL INFORMATION.

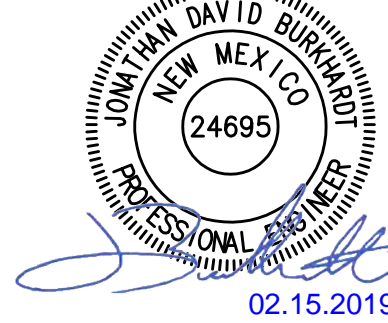
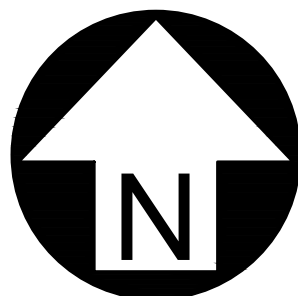
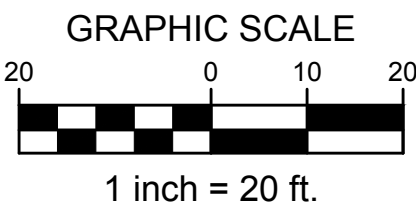


GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

- All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
- The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
- The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
- The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
- The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
- The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
- The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
- In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
- The Contractor shall provide positive drainage in all areas and away from all buildings.
- All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
- ADA accessible areas shall not exceed the following slopes:
  - Ramps - 1:12 (8.3%) max.
  - Routes - 1:20 (5.0%) max.
  - Parking - 1:50 (2.0%) max.
  - Cross Slopes - 1:50 (2.0%) max.
- The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
- Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
- The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
- Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
- The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

GRADING LEGEND

|        |  |
|--------|--|
| T/C    | TOP-OF-CURB                                    |
| S/P    | SIDEWALK PAVEMENT                              |
| C/P    | CONCRETE PAVEMENT                              |
| G/I    | GRATE INLET                                    |
| F/G    | FINISHED GRADE                                 |
| ←      | PROPOSED SHEET FLOW                            |
| ~      | PROPOSED CHANNEL FLOW                          |
| +00.00 | PROPOSED SPOT ELEVATION                        |
| -0000  | PROPOSED CONTOUR                               |
|        | DRAINAGE SWALE;<br>12" THICK LARGE STONE LINER |



| Date        | 02.15.19                           |
|-------------|------------------------------------|
| Description | Rev 1 - Revised per City Comments. |
| Item        | 1                                  |

SITE DEVELOPMENT PLANS FOR  
**CHAMPION XPRESS CAR WASH**  
4516 WYOMING BOULEVARD N.E.  
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11  
OF MIAMINO J. GUTIERREZ LOWER TERRACE SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 18.160  
Draw: RJM Dwg: 18-160.dwg  
Check: JDB Tab: C3.0-GP  
Scale: 1" = 20'

Date: 01.04.2019

Sheet:

GRADING &  
DRAINAGE PLAN

Sheet No.:

C-3.0



GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

**TAKE CAUTION DURING EXCAVATION:**  
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PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING  
City of Albuquerque - Planning Department  
Contact: David Campbell  
Telephone: 505.924.3860  
Email: dscampbell@cabq.gov

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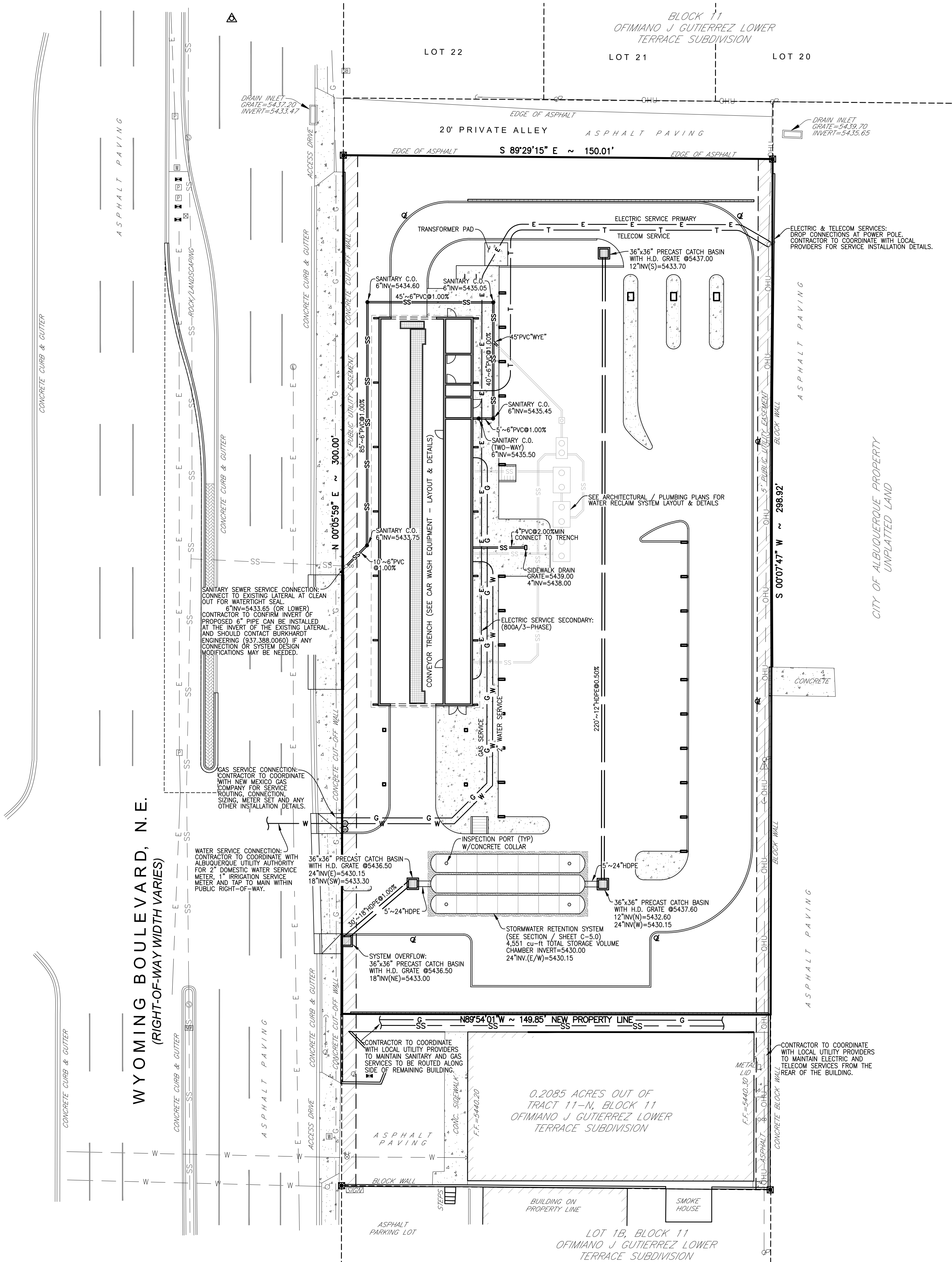
SITE BENCHMARKS

- BM#1 Description: Nail / Disk found at NorthWest corner of Tract 11-N in Wyoming Boulevard right-of-way line.  
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ACS Control Monument "13\_F19"  
Elevation = 5434.324 (NAVD 88)



Know what's below.  
Call before you dig.



SANITARY SEWER NOTES:

Contractor to provide 6" (min.) sanitary sewer service line from building to public sewer main. Install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-5.0.

Sanitary sewer service connection, permit and construction to be coordinated with Albuquerque Water Utility Authority.

WATER NOTES:

Contractor to provide 2" (min.) domestic water service line from public water main to building. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

Contractor to provide 1" (min.) irrigation service line from public water main to existing meter. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate with Irrigation Contractor, irrigation plans and plumbing/electrical plans.

Domestic water service lines shall be Polyethylene PE4710 or Albuquerque Water Utility Authority approved material, installed per manufacturer's recommended procedures. Lines shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with Albuquerque Water Utility Authority.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (ASTM C76 - Class III, minimum) or high-density polyethylene pipe (ADS N-12 or equivalent), unless otherwise noted on plans. All pipe shall be installed according to Local, State, and manufacturer's specifications.

The Contractor shall provide a concrete splash block where downspouts discharge directly to finished grade in unpaved areas, per detail / Sheet C-5.0. See architectural plans for downspout locations.

Storm sewer connection, permit and construction to be coordinated with the City of Albuquerque.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

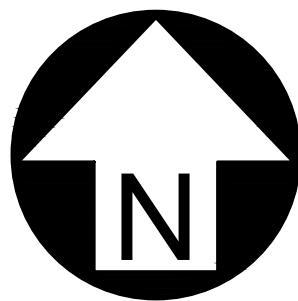
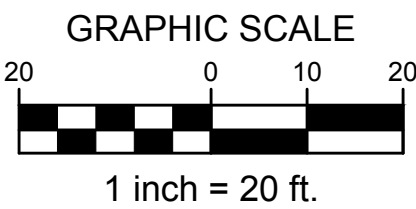
Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

UTILITY LEGEND

|    |    |                              |
|----|----|------------------------------|
| SS | SS | PROP. LIGHT POLE             |
| W  | W  | PROP. SANITARY SEWER SERVICE |
| G  | G  | PROP. WATER SERVICE          |
| E  | E  | PROP. STORM SEWER            |
| T  | T  | PROP. GAS SERVICE            |
|    |    | PROP. ELECTRIC SERVICE       |
|    |    | PROP. TELECOM SERVICE        |



SITE DEVELOPMENT PLANS FOR  
**CHAMPION XPRESS**  
CAR WASH  
4516 WYOMING BOULEVARD N.E.  
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11  
OFIMIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 18.160  
Draw: RJM Dwg: 18-160.dwg  
Check: JDB Tab: C4.0-UP

Scale: 1" = 20'

Date: 01.04.2019

Sheet:

UTILITY PLAN

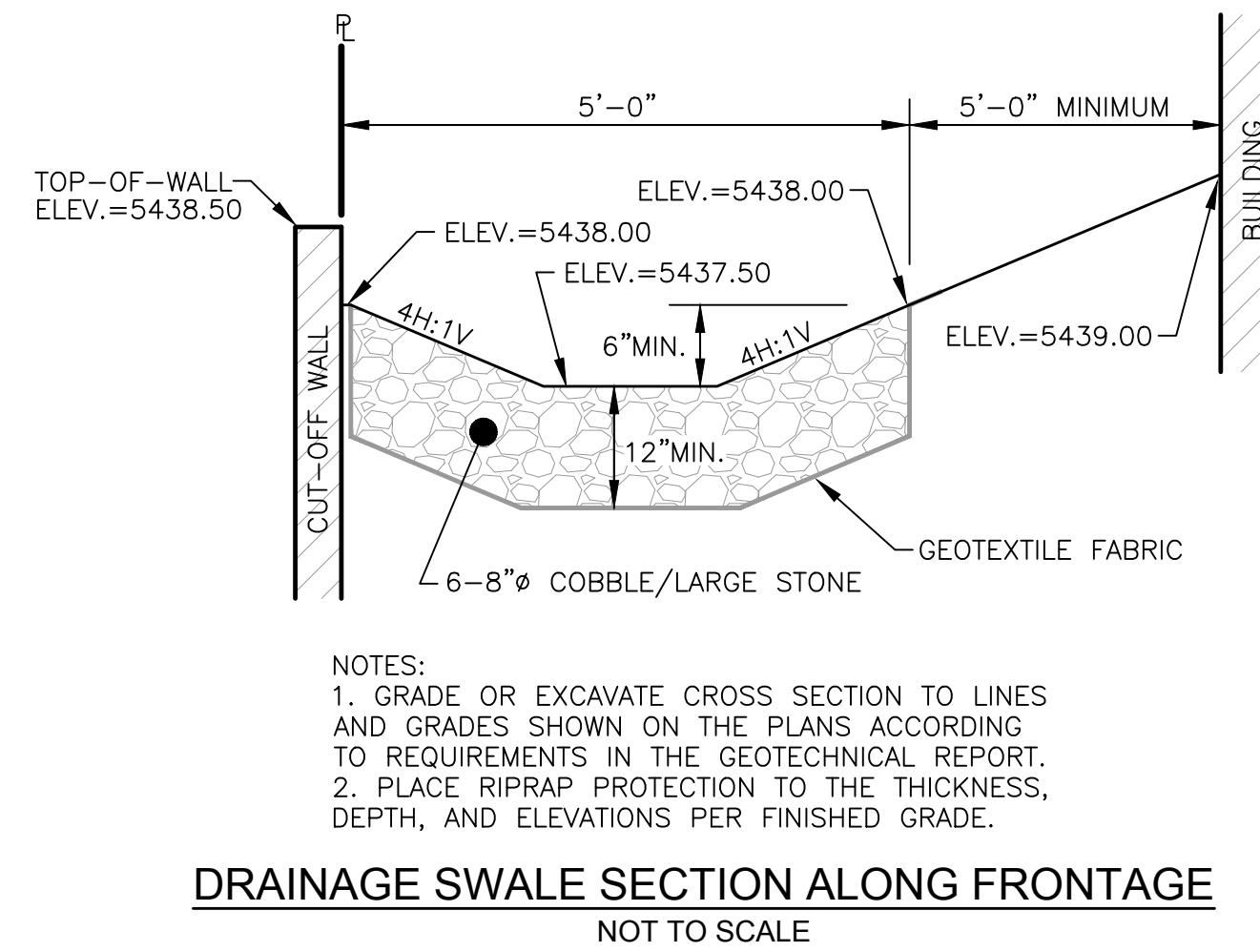
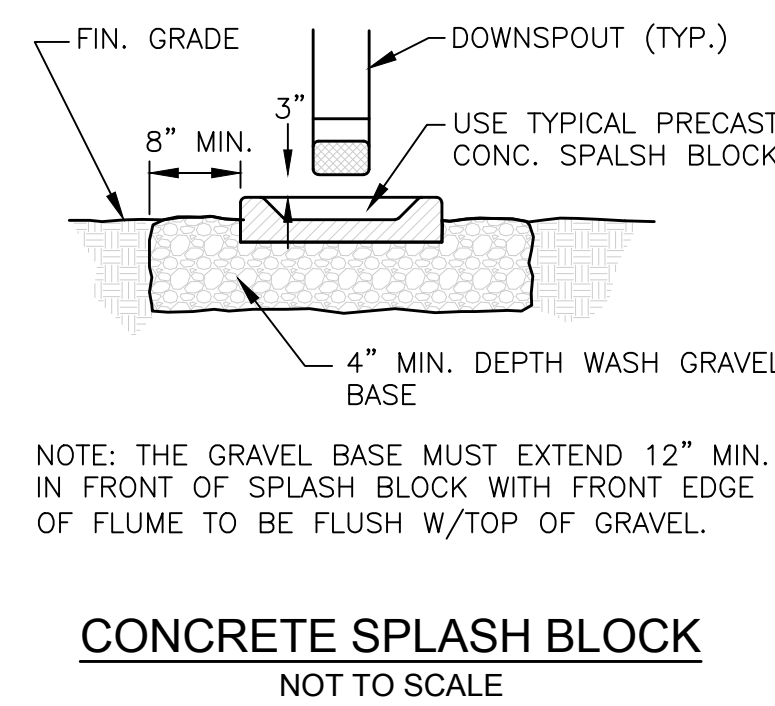
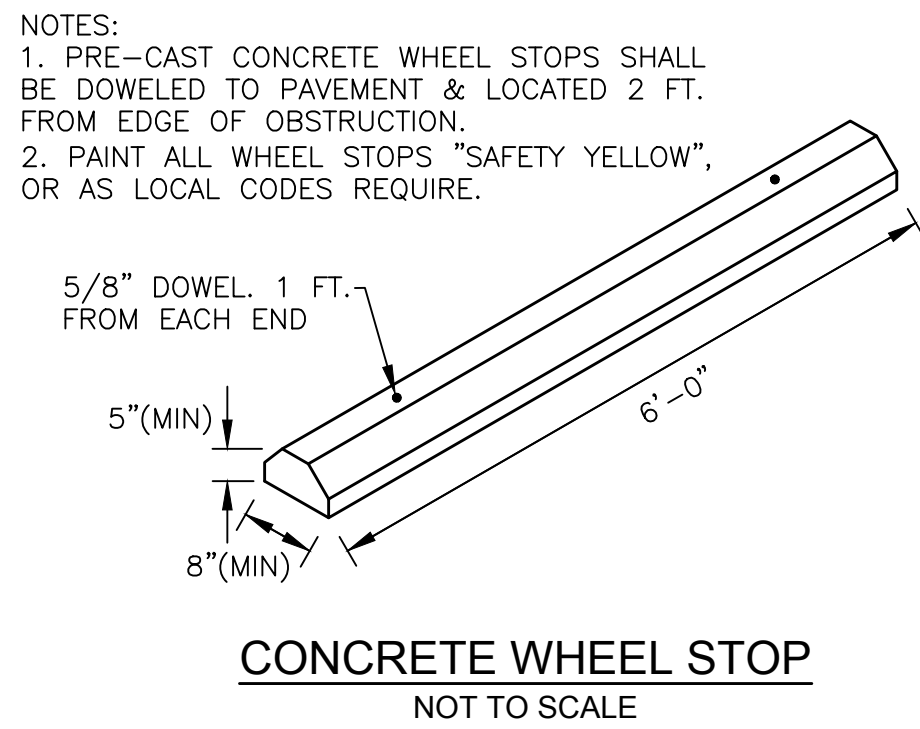
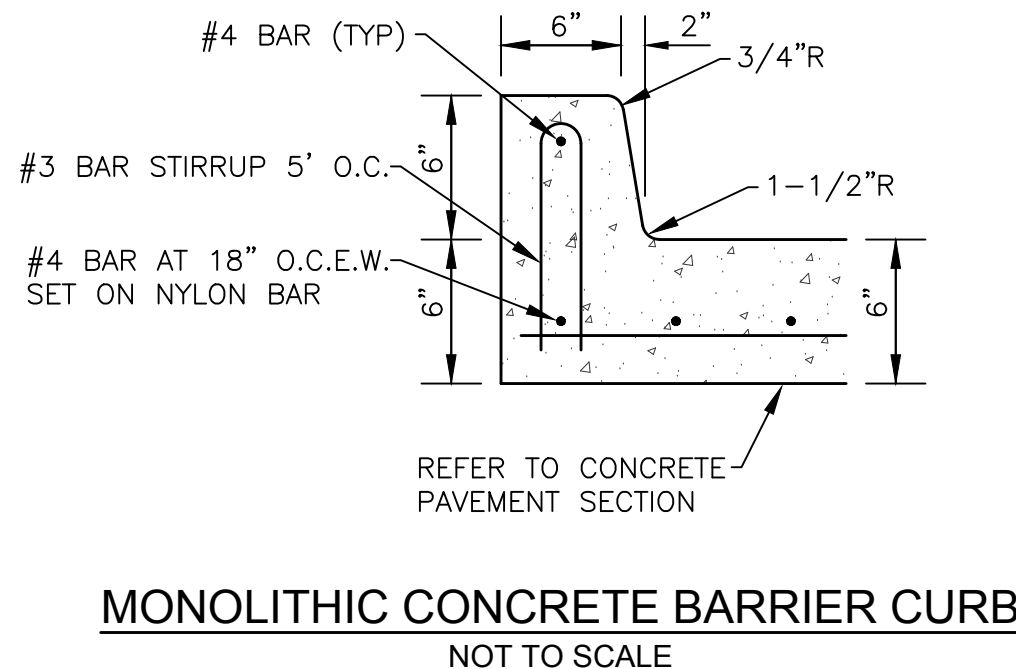
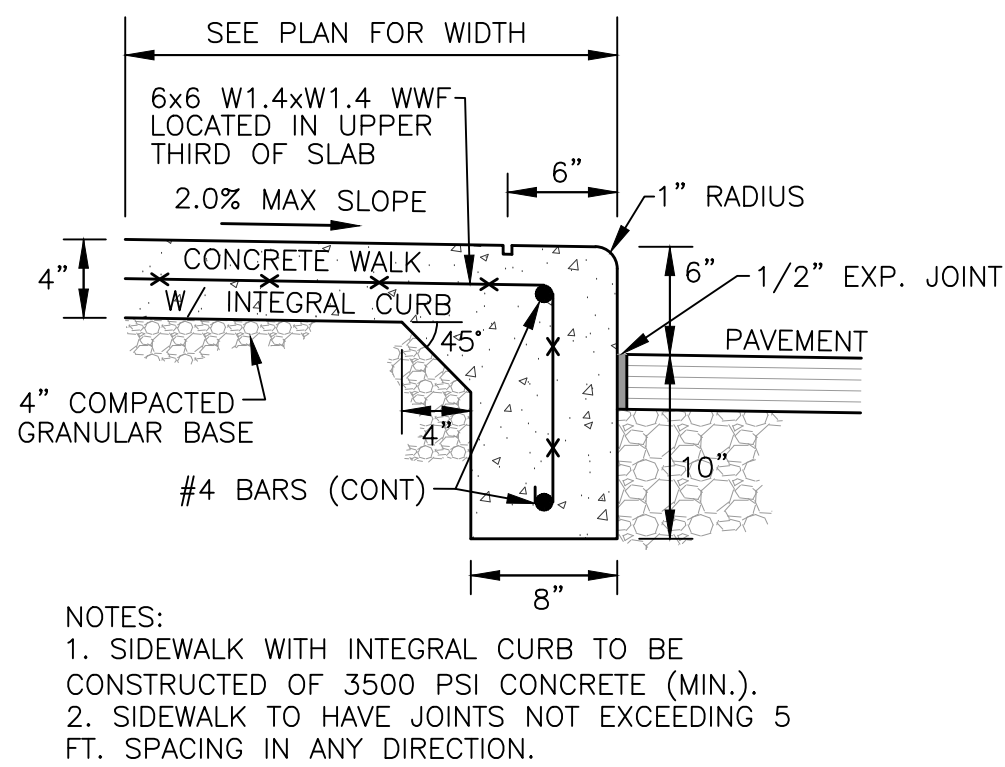
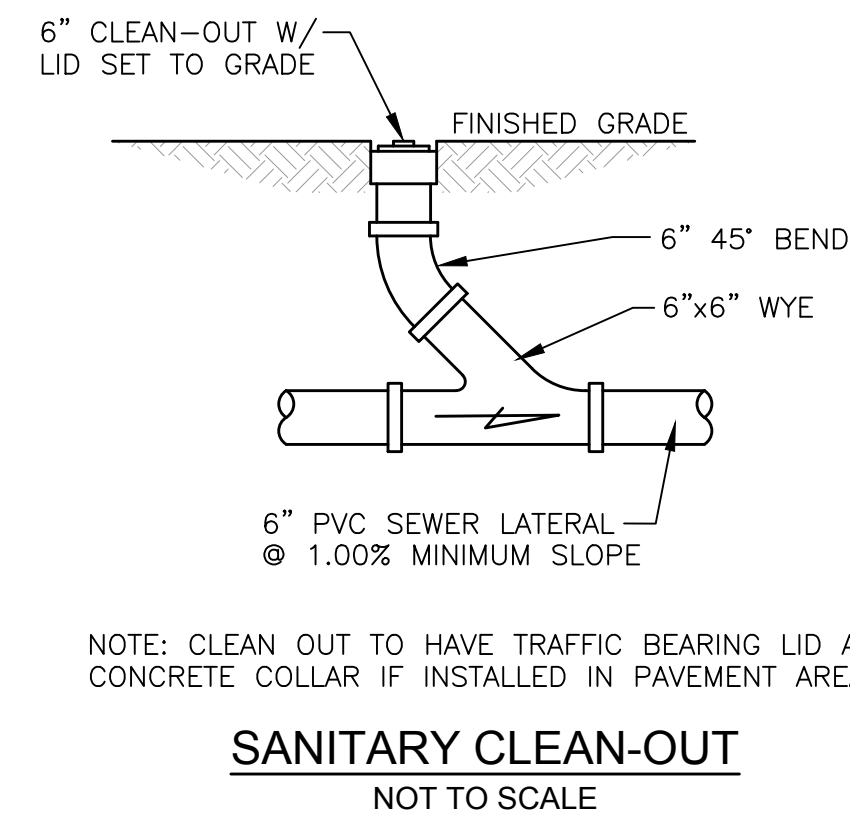
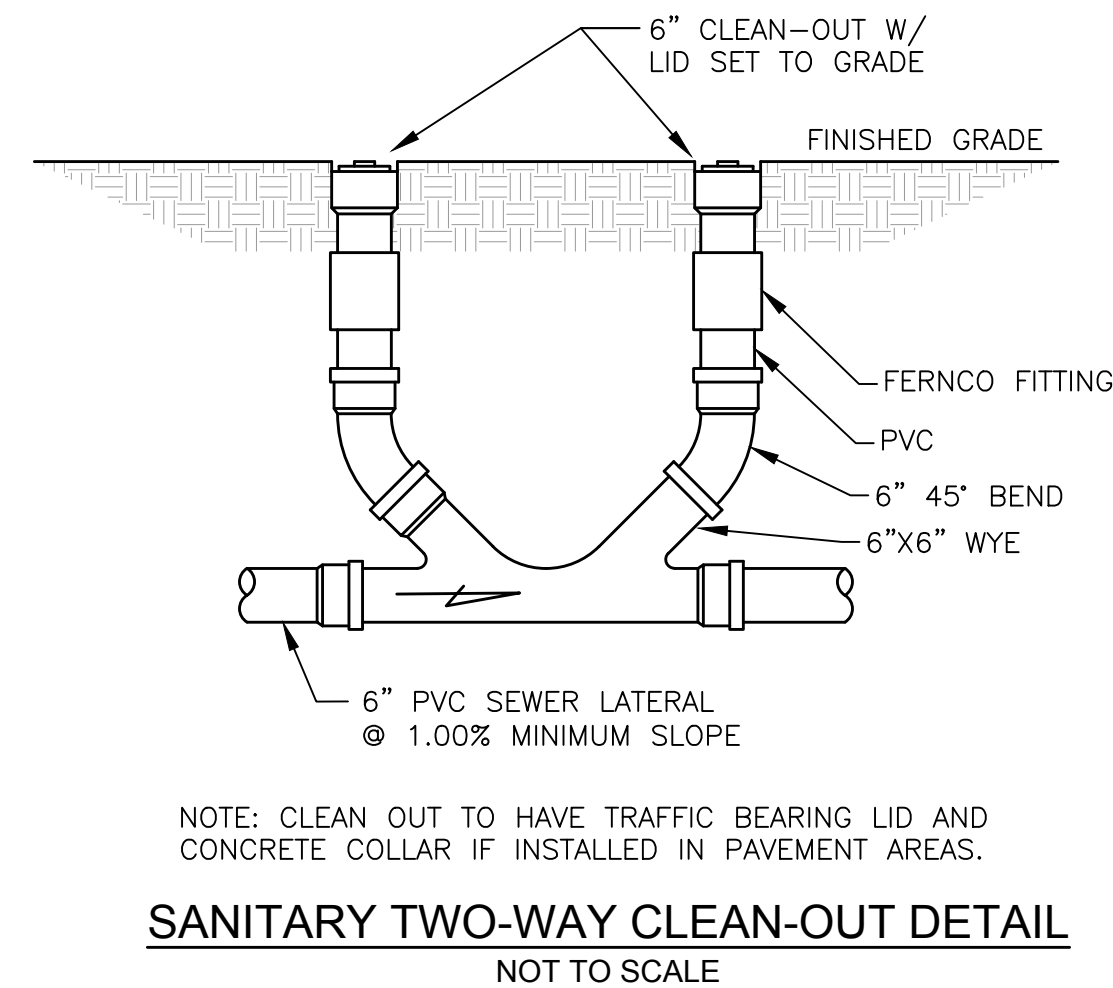
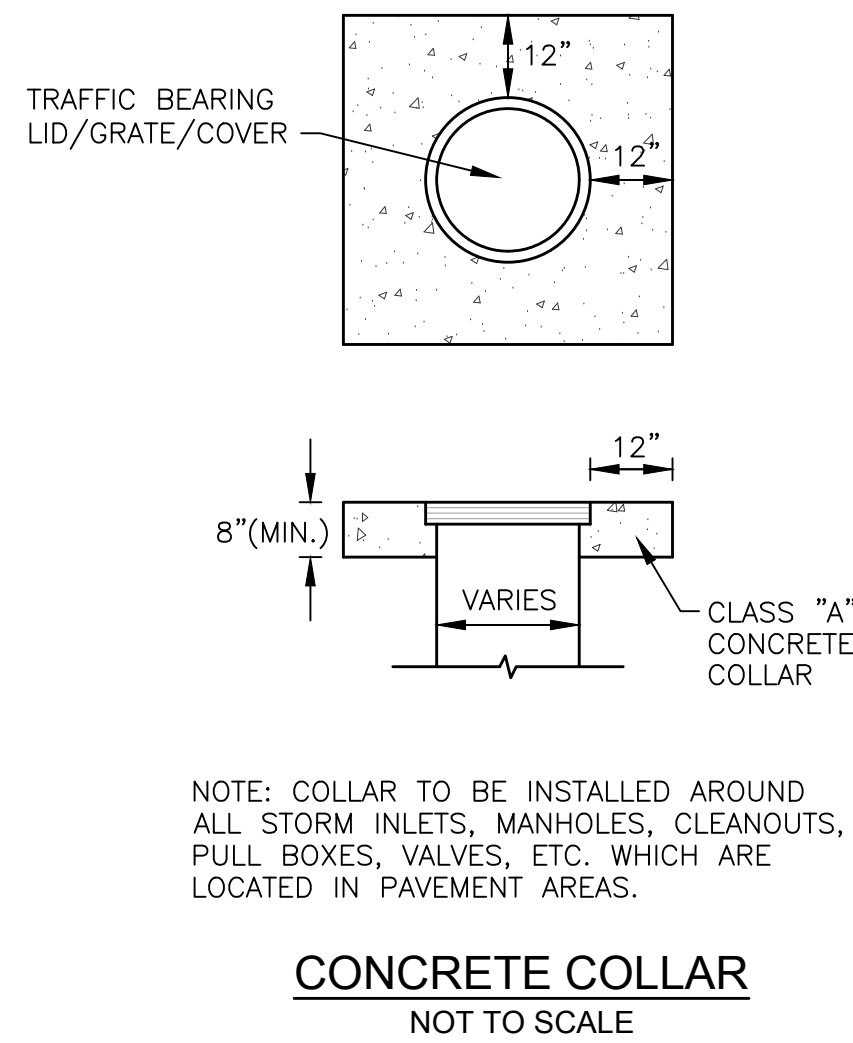
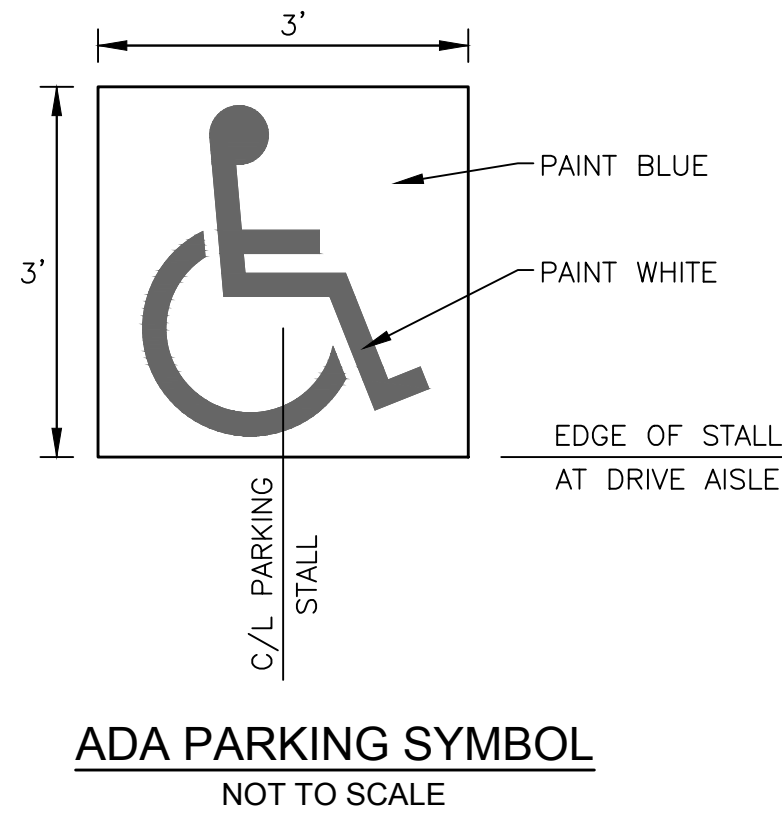
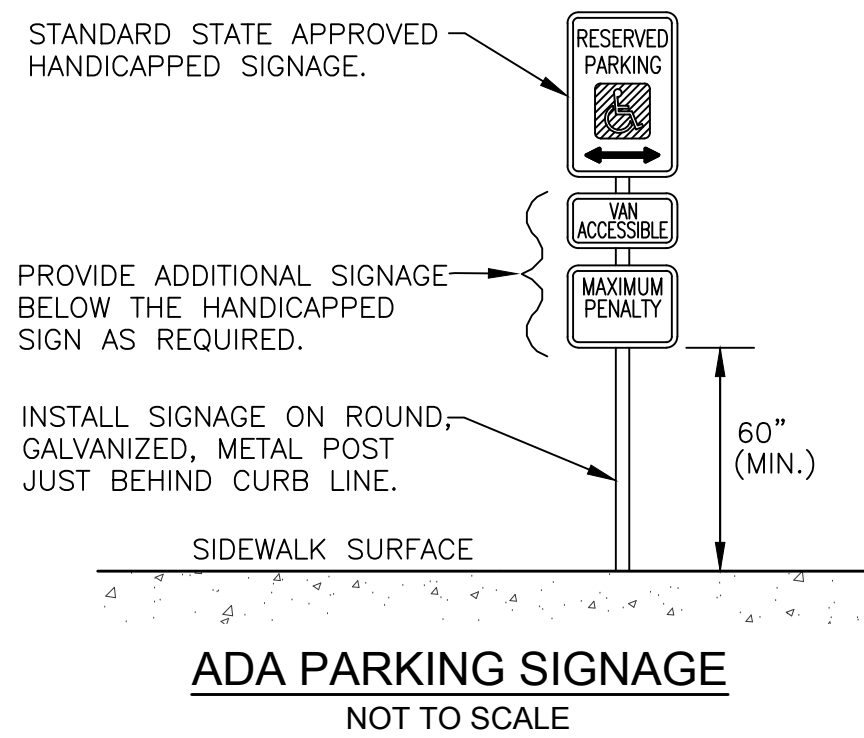
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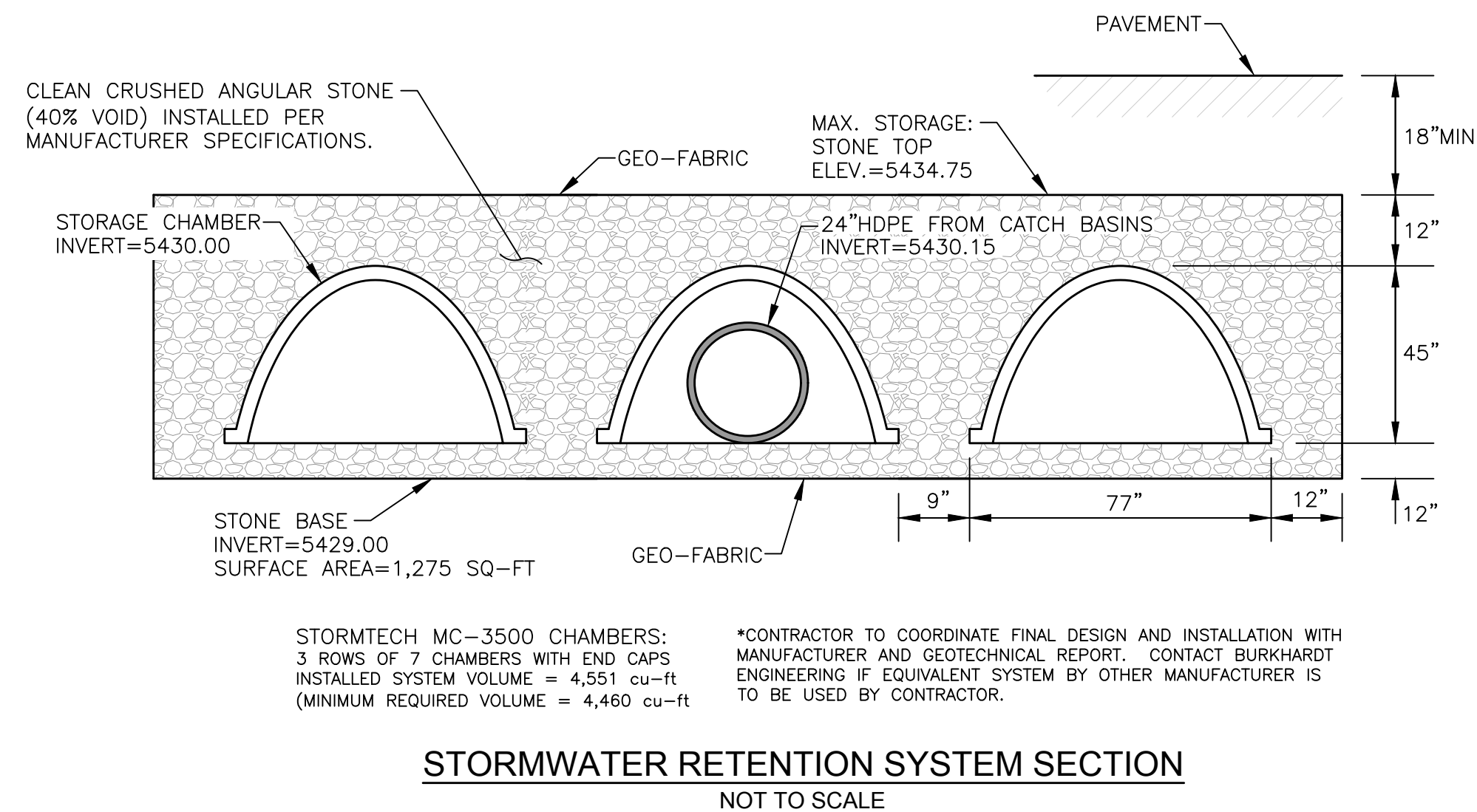
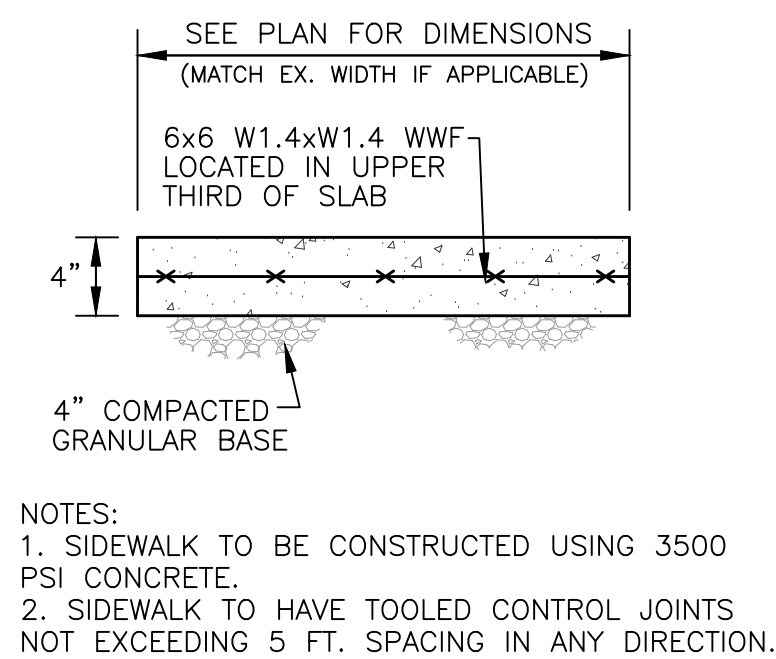
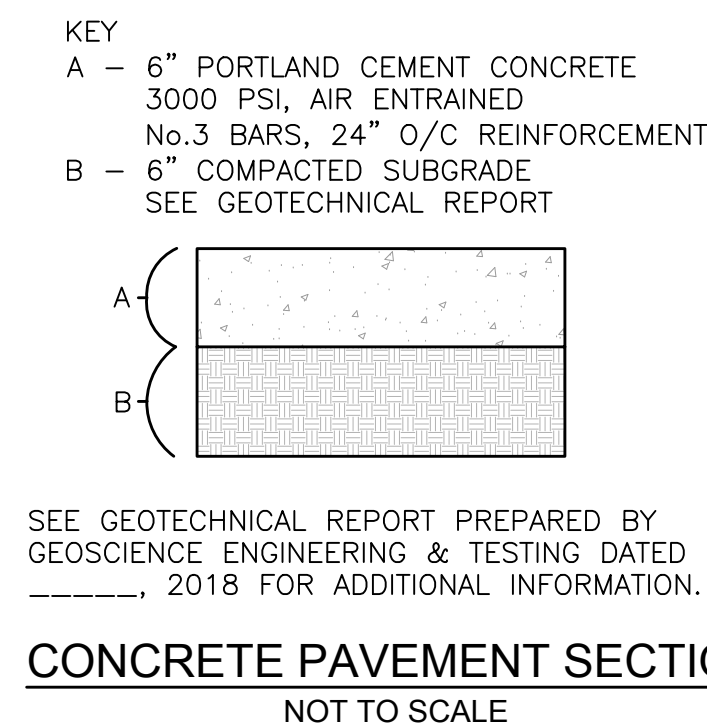
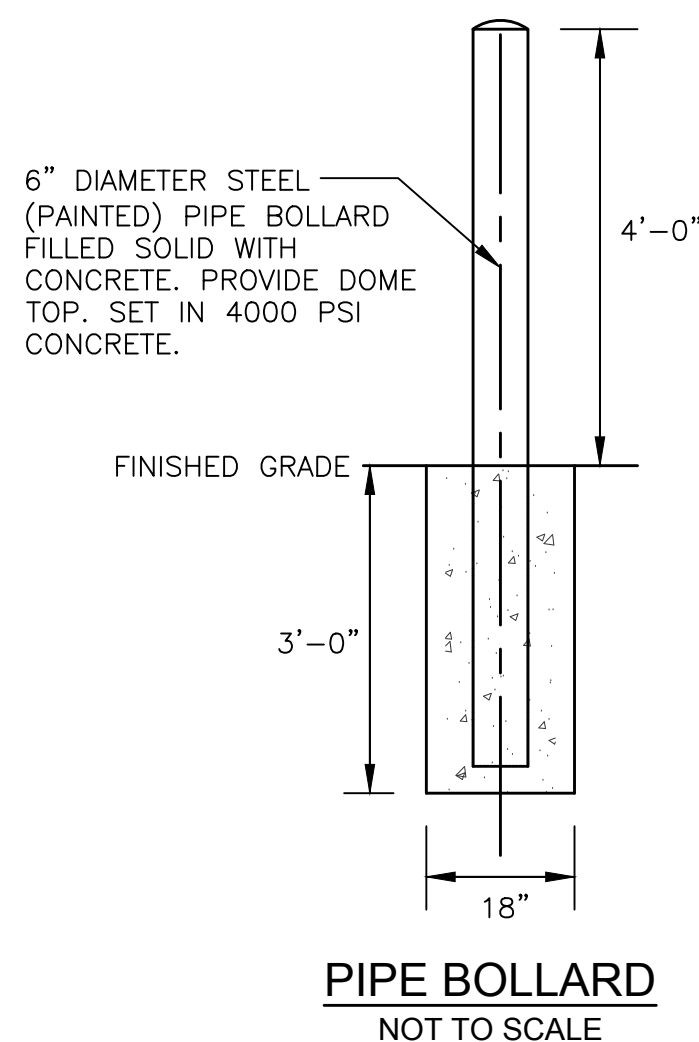
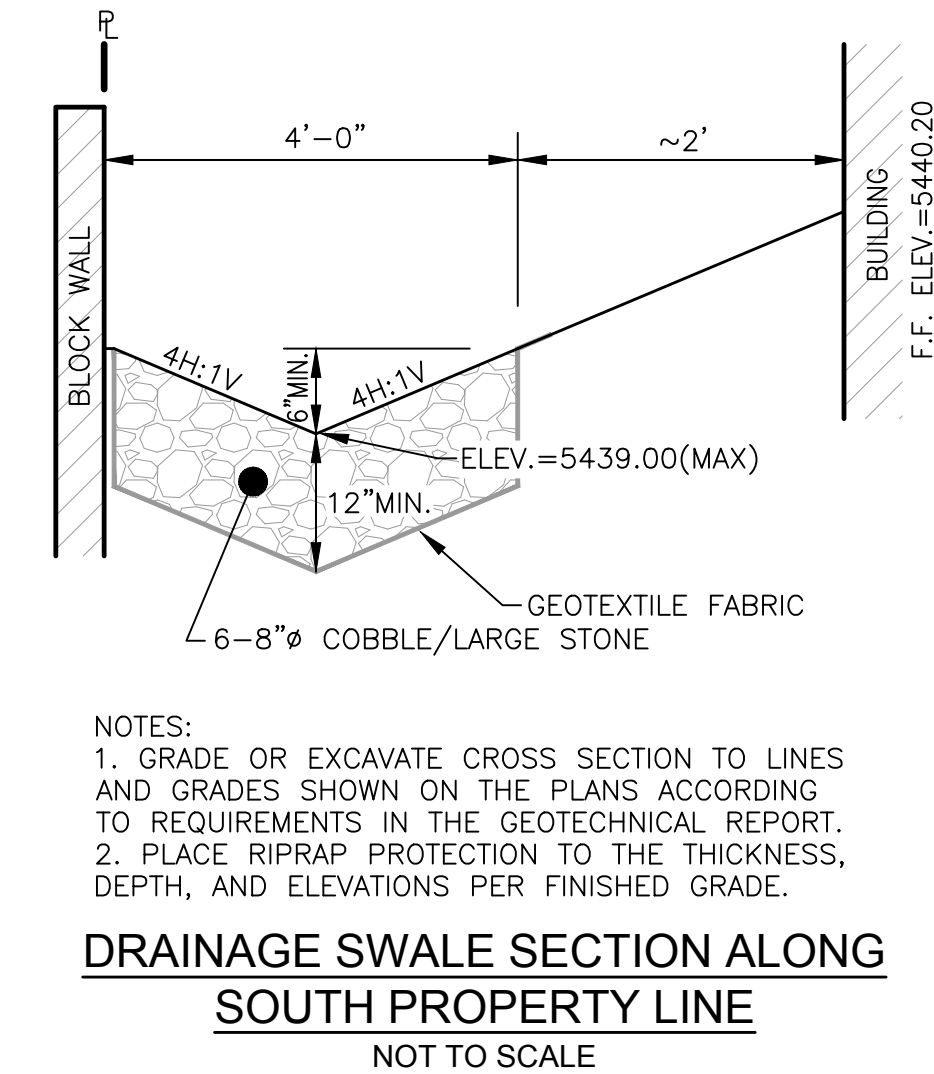
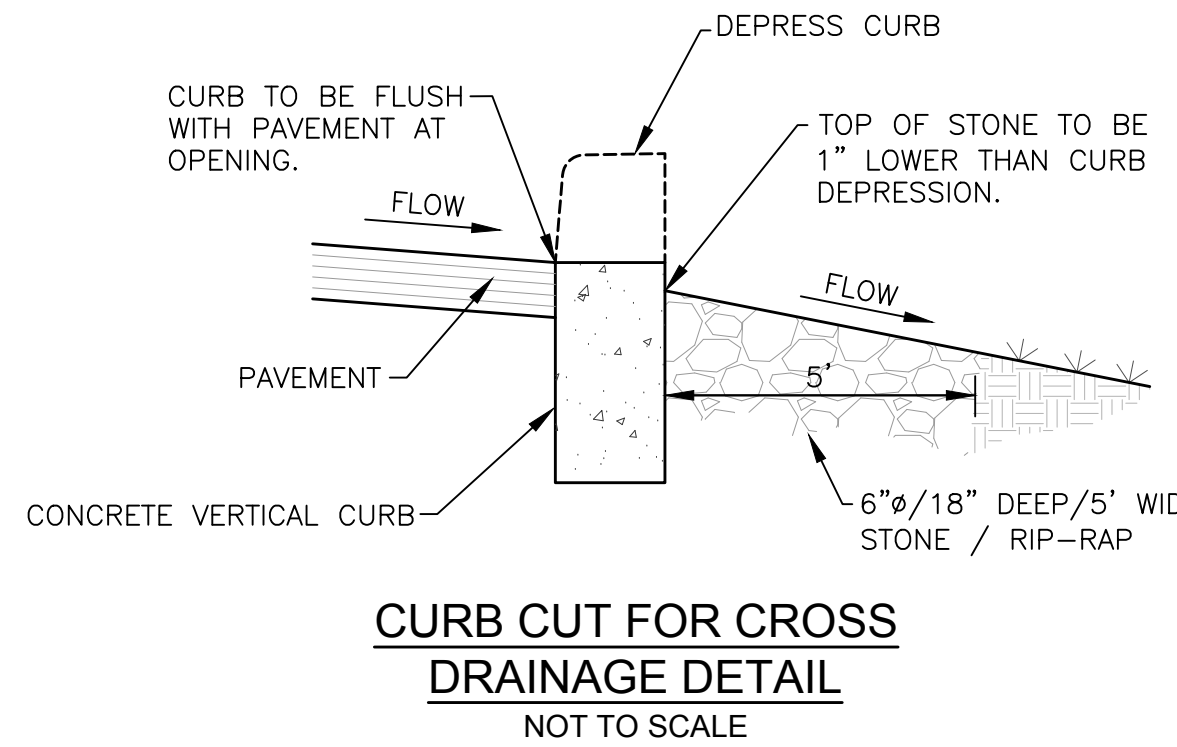
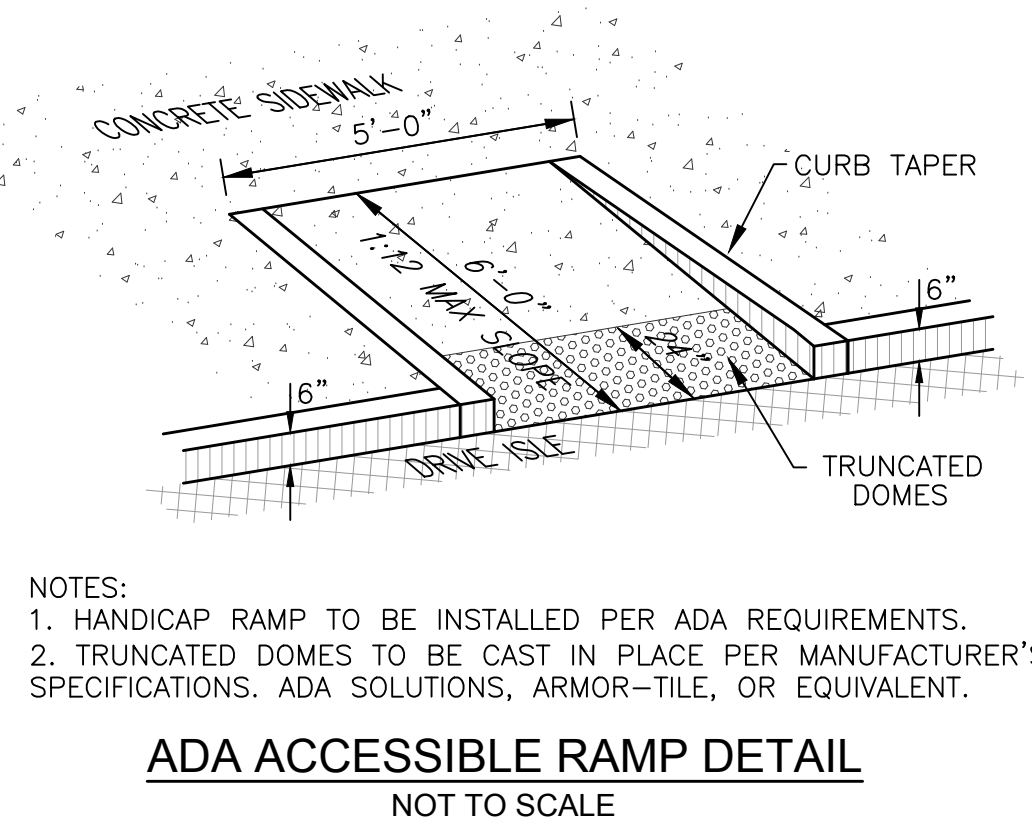
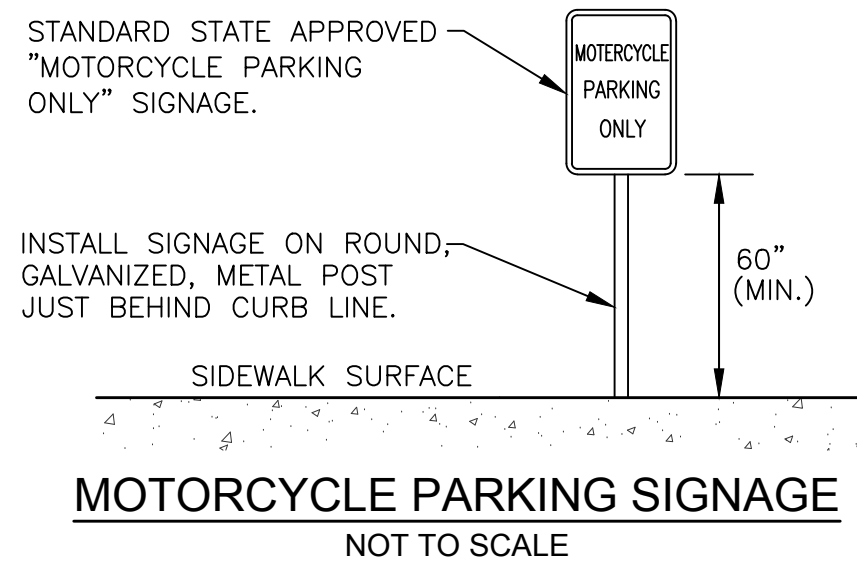
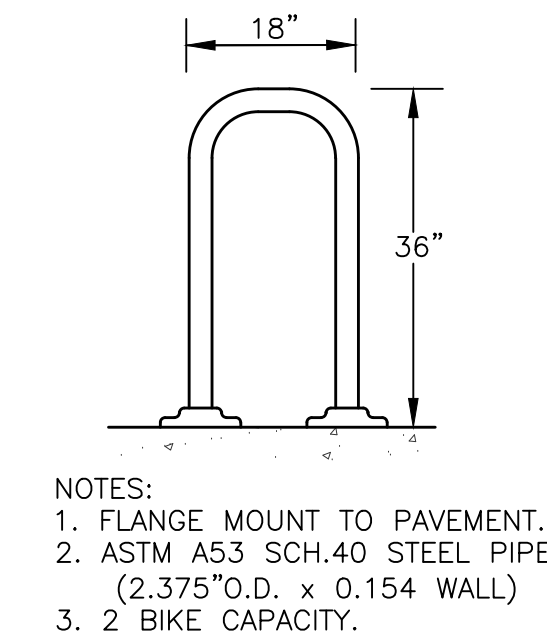


| Date     | Description                        | Item |
|----------|------------------------------------|------|
| 02.15.19 | Rev 1 - Revised per City Comments. | 1    |
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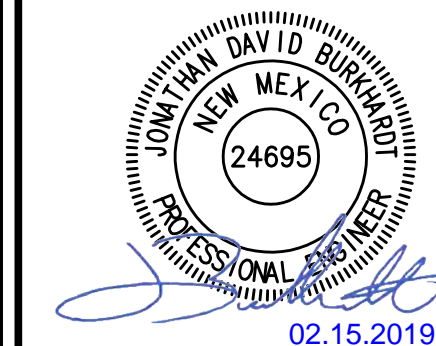




**CONCRETE SIDEWALK WITH INTEGRAL CURB**  
NOT TO SCALE



\*\*\*PENDING RECEIPT OF FINAL GEOTECHNICAL REPORT\*\*\*



| Date        | 02/15/19                          |
|-------------|-----------------------------------|
| Description | Rev 1 - Revised per City Comments |
| Item        | 1                                 |

**SITE DEVELOPMENT PLANS FOR**  
**CHAMPION XPRESS CAR WASH**  
4516 WYOMING BOULEVARD N.E.  
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11  
OF MIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



|             |                 |
|-------------|-----------------|
| Design: RJM | Proj: 18.160    |
| Draw: RJM   | Dwg: 18-160.dwg |
| Check: JDB  | Tab: C5.0-DET   |

Scale: N/A  
Date: 01.04.2019

Sheet: SITE DETAILS

Sheet No.: C-5.0



Know what's below.  
Call before you dig.