

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 26, 2019

Jonathan D. Burkhardt, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
4516 Wyoming Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 06/10/19
Hydrology File: F20D005**

Dear Mr. Burkhardt:

Based upon the information provided in your resubmittal received 06/13/2019, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality ponds sewer per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

June 25, 2019

City of Albuquerque
RENÉE CHRISTINA BRISSETTE, PE CFM
Senior Engineer, Hydrology

Re: 4516 Wyoming Blvd NE, Albuquerque, NM
Seller: Godori Investments, LLC

Dear Renee:

Per your request, this letter is to confirm my understanding and agreement as managing member of the Seller, Godori Investments, LLC, that the purchaser and their contractors, upon closing of the above referenced property will need to utilize part of the remaining property to do minor site and grading work.

My email address: kyuho105@gmail.com

Sincerely,

The image shows the Authentisign logo, which consists of a blue square with the word "Authentisign" in white. To the right of the logo is a handwritten signature in black ink. Below the signature, the text "6/25/2019 5:12:01 PM MDT" is printed.

06/25/2019

Kyuho Choi, managing member



TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT
AREA WHICH WERE NOT LOCATED BY THE SURVEYOR.
NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: David Campbell
Telephone: 505.924.3860
Email: dscampbell@cabq.gov

SANITARY SEWER / WATER
Albuquerque Water Utility Authority
Contact: Customer Service
Telephone: 505.842.9287

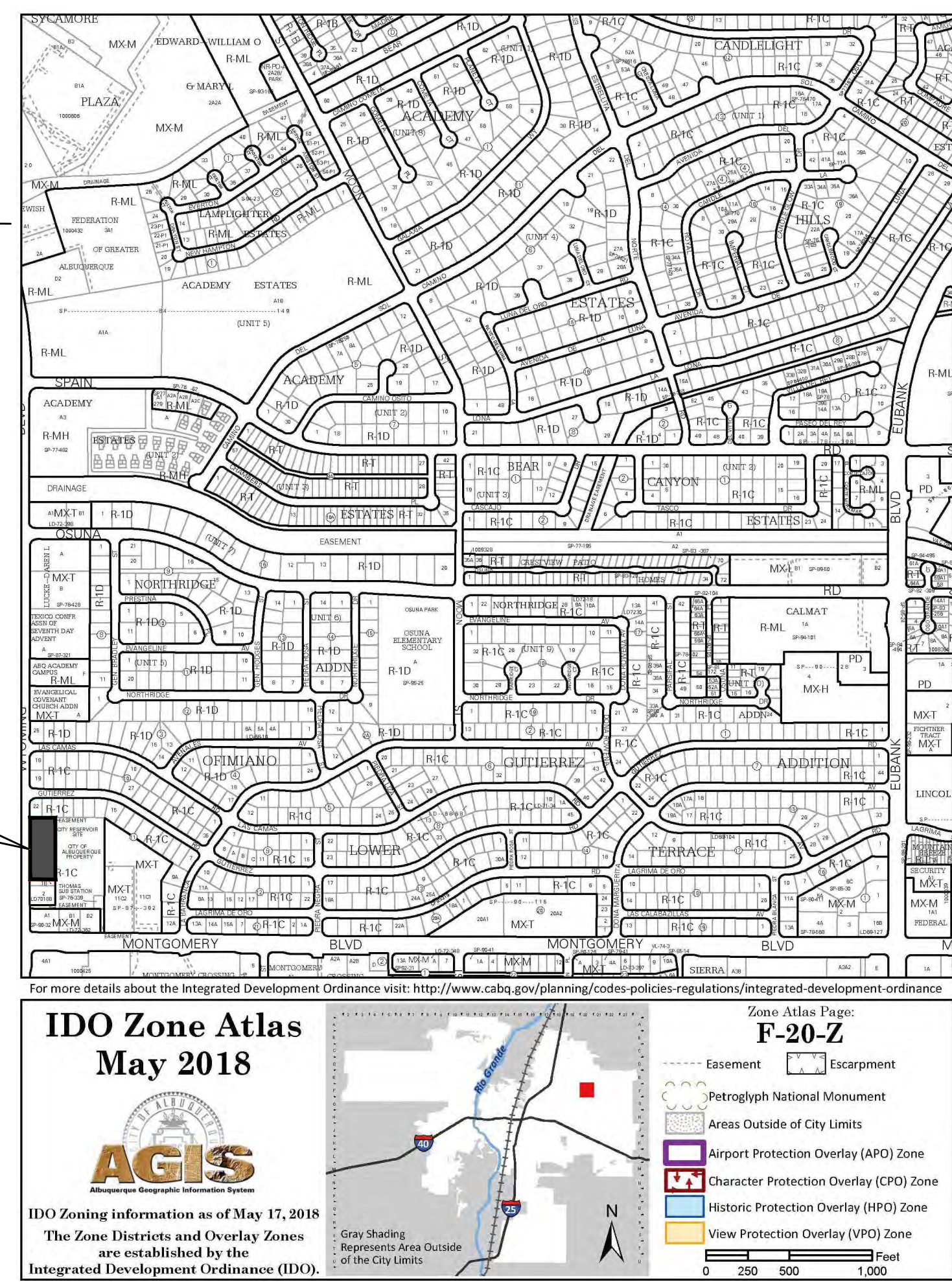
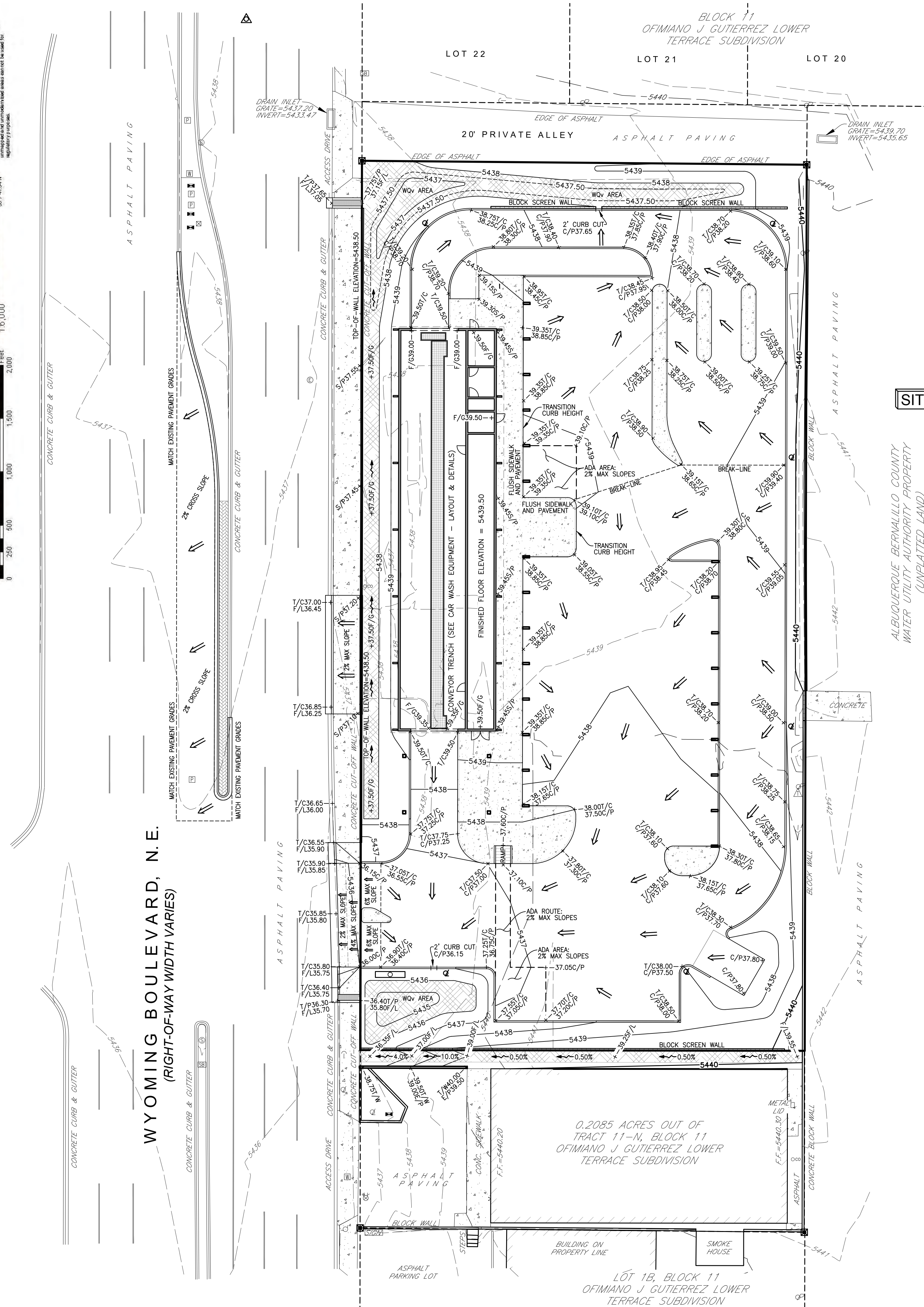
GAS
New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313




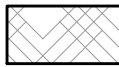


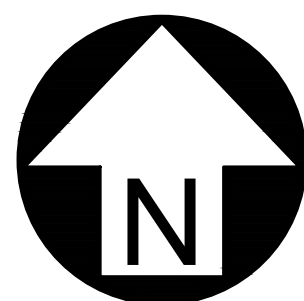
ELEVATION BENCHMARK
ACS Control Monument "13_F19"
Elevation = 5434.324 (NAVD 88)



Address: 4516 Wyoming Blvd. N.E., Albuquerque, NM 87111
Legal Description: Portion of Tract 11-N, Block 11 of Ofmian J. Gutierrez Lower
Terrace, City of Albuquerque, Bernalillo County, New Mexico.
Area: 1.0307 acres
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
Flood Zone: FIRM # 35001C0143G, effective date: September 26, 2008
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.
Note - Wyoming Boulevard subject to flooding depth of 1'

SEE GRADING & DRAINAGE NOTES
AND DETAILS, SHEET C-3.1 FOR
ADDITIONAL INFORMATION, FLOW
CALCULATIONS, GENERAL NOTES,
DETAILS AND CROSS SECTIONS.

GRADING LEGEND	
T/C	TOP-OF-CURB
S/P	SIDEWALK PAVEMENT
C/P	CONCRETE PAVEMENT
T/P	TOP-OF-PLATE (FOR CURB CULVERT)
F/G	FINISHED GRADE
F/L	FLOW LINE
T/W	TOP-OF-WALL
E/P	EDGE OF PAVEMENT
	SHEET FLOW
	CHANNEL FLOW
+00.00	SPOT ELEVATION
	PROPOSED CONTOUR
	12" THICK STONE LINER



CHAMPION XPRESS CAR WASH

4516 WYOMING BOULEVARD N.E.
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11
OF MIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT
ENGINEERS ▴ SURVEYORS



Design: RJM	Proj: 18.160
Draw: RJM	Dwg: 18-160.dwg
Check: JDB	Tab: C3.0-GP
Scale: 1" = 20'	

Date: 01.04.2019

Sheet

GRADING & DRAINAGE PLAN

Sheet No.:

C-3.0

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

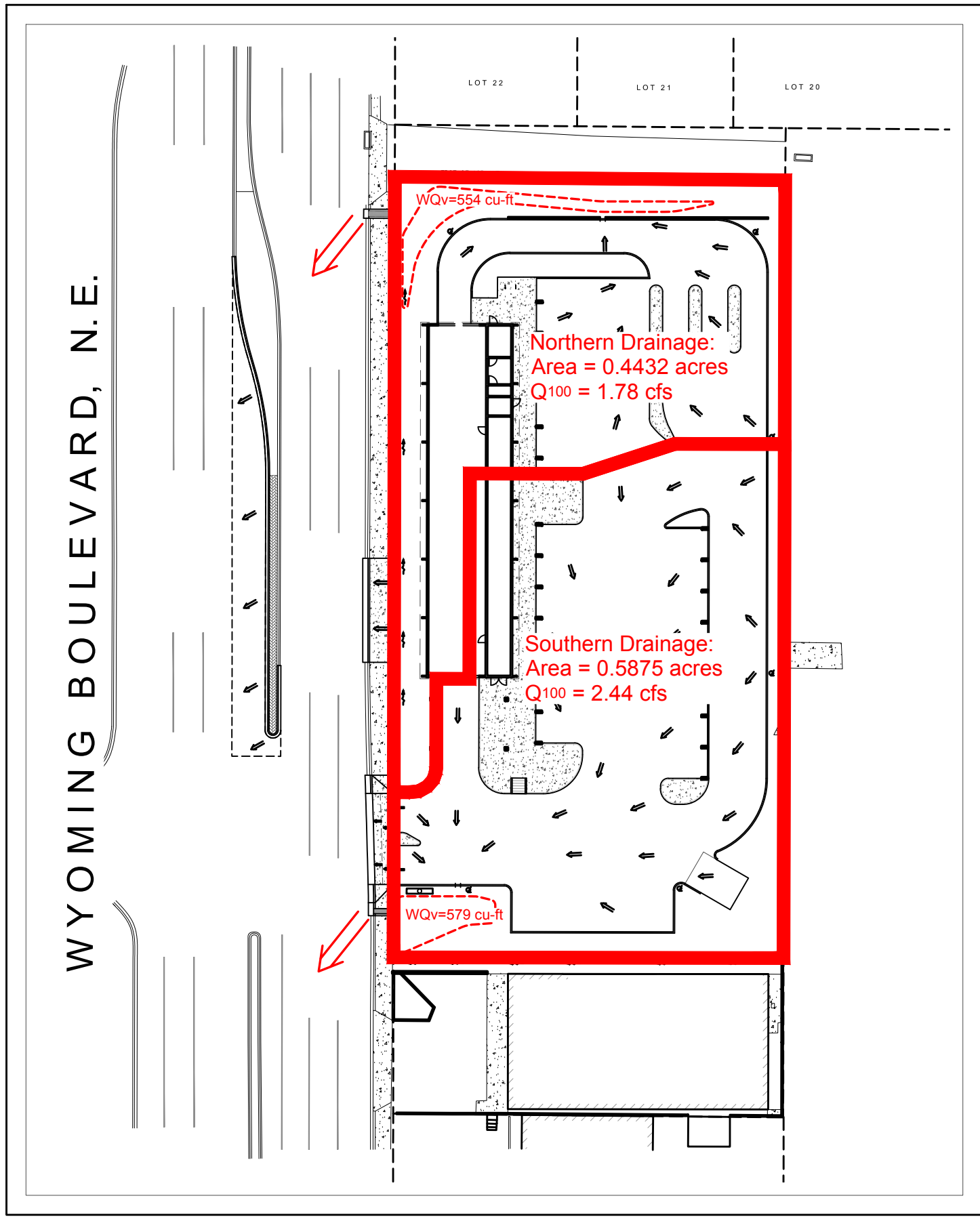
- All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
- The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
- The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
- The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
- The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
- The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
- The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
- In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
- The Contractor shall provide positive drainage in all areas and away from all buildings.
 - All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
- ADA accessible areas shall not exceed the following slopes:
 - Ramps - 1:12 (8.3%) max.
 - Routes - 1:20 (5.0%) max.
 - Parking - 1:50 (2.0%) max.
 - Cross Slopes - 1:50 (2.0%) max.
- The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
- Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
- The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
- Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
- The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

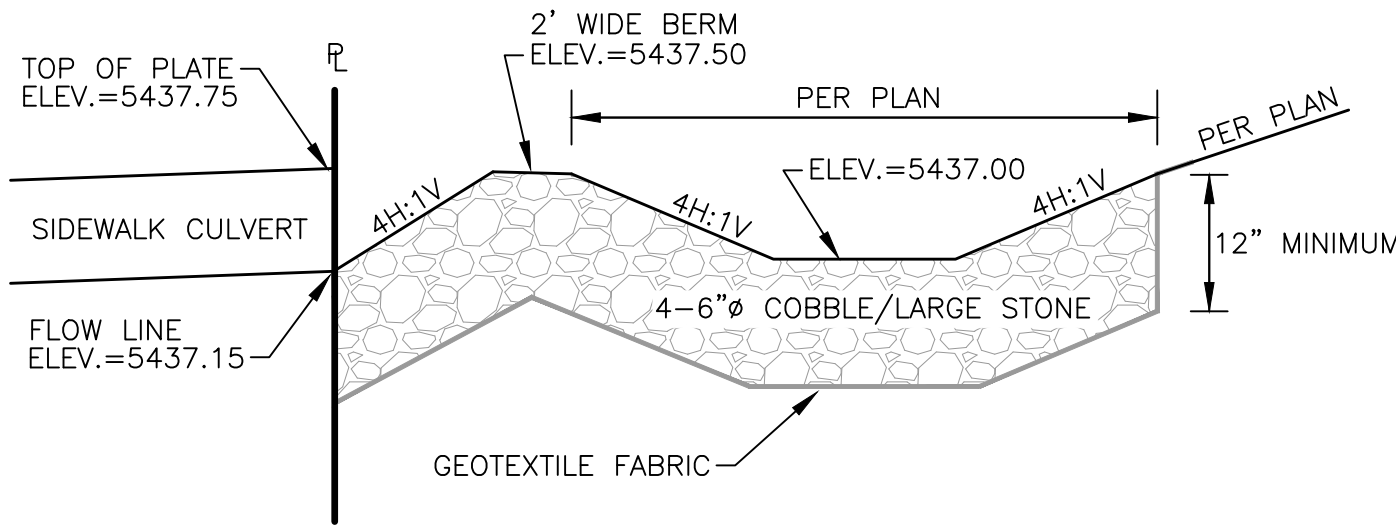
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial **"811"** [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.



Know what's below.
Call before you dig.

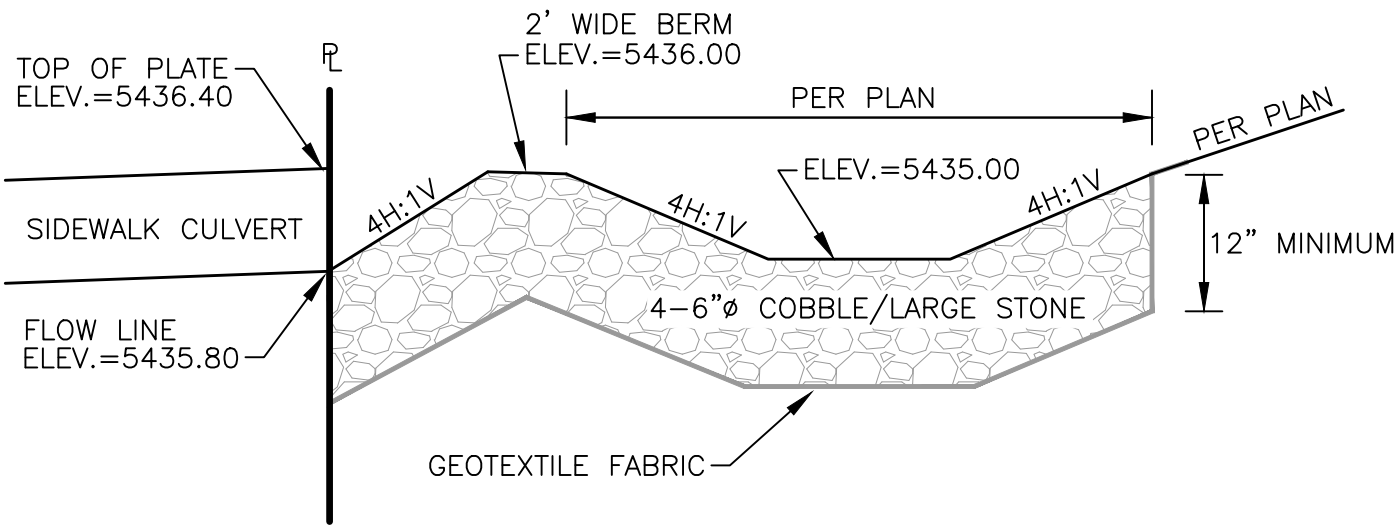


DRAINAGE AREA MAP
Scale: 1"=50'



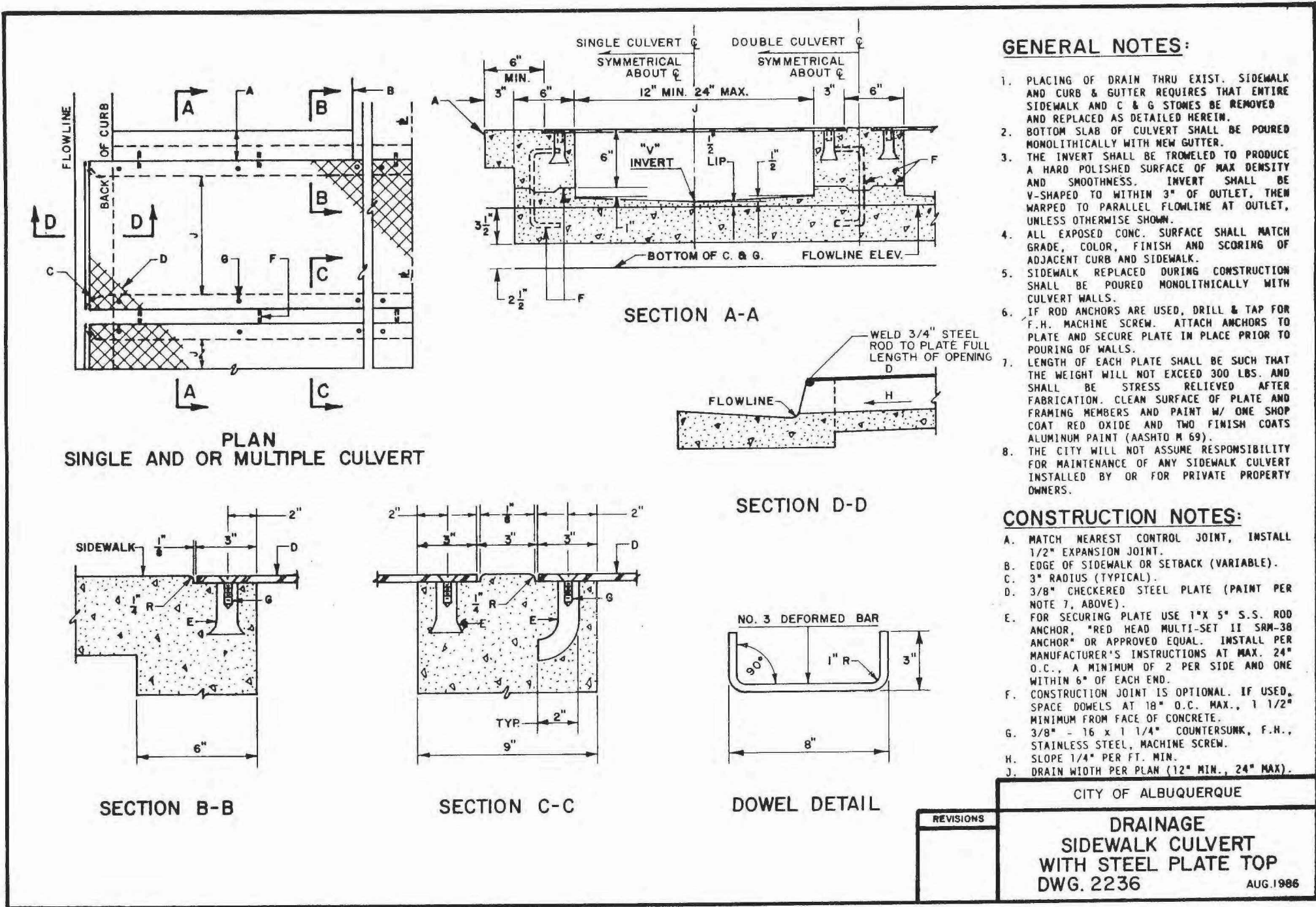
NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

NORTHERN WQv AREA SECTION
NOT TO SCALE



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

SOUTHERN WQv AREA SECTION
NOT TO SCALE



STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 90% impervious / 10% landscaping
Proposed Lot Coverage - 80% impervious / 20% landscaping

Net Decrease in Storm Water Runoff due to Development
No Storm Water Detention Required

Methodology:

Albuquerque Development Process Manual

Chapter 22, Section 2, Part A:

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

Storm Water Quality Volume (WQv) = Impervious Area x 0.26 inches

Precipitation Zone:

Precipitation Zone 3: "Between the San Mateo and Eubank"

Northern Drainage:

Area = 0.4432 acres
Treatment B (Desert Landscaping Area) - 24%
Treatment D (Impervious Area) - 76% = 0.3370 acres
100-year peak Discharge Rate = 4.01 cfs/acre (Table A-9)
Q₁₀₀ = 1.78 cfs
WQv = 318 cu-ft (required)

Provided Water Quality Storage Volume:

Elevation (ft)	Contour Area (sq-ft)	Surface Vol. (cu-ft)	Stone Vol. (cu-ft)	Σ Volume (cu-ft)
5437	206	0	82	82
5437.50	772	245	309	554 - overflow to R/W

*Average End Area Method used to calculate storage volumes.

*Stone Storage at Elevation = Contour Area x 12" (stone depth) x 40% void space.

Southern Drainage:

Area = 0.5875 acres
Treatment B (Desert Landscaping Area) - 17%
Treatment D (Impervious Area) - 83% = 0.4876 acres
100-year peak Discharge Rate = 4.15 cfs/acre (Table A-9)
Q₁₀₀ = 2.44 cfs
WQv = 460 cu-ft (required)

Provided Water Quality Storage Volume:

Elevation (ft)	Contour Area (sq-ft)	Surface Vol. (cu-ft)	Stone Vol. (cu-ft)	Σ Volume (cu-ft)
5435	163	0	65	65
5436	553	358	221	579 - overflow to R/W

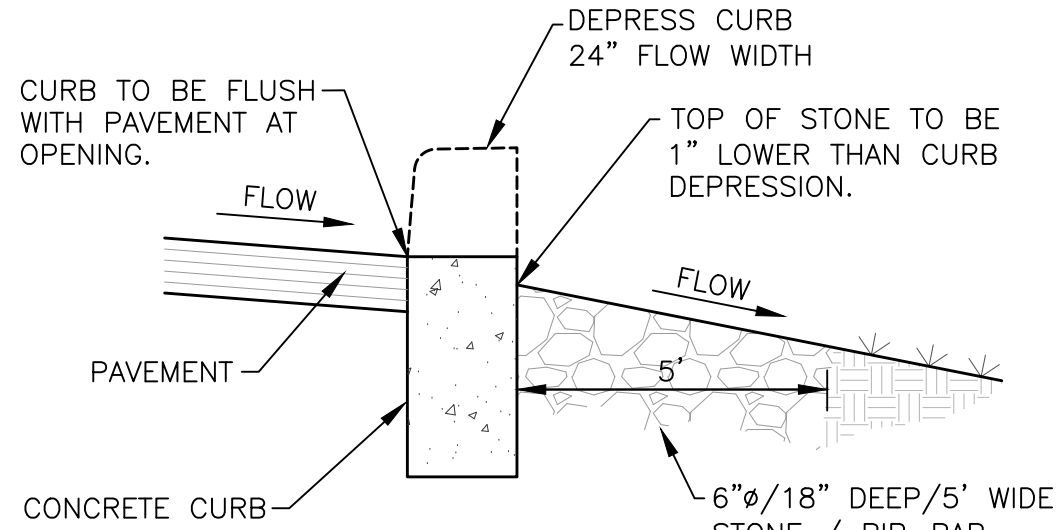
*Average End Area Method used to calculate storage volumes.

*Stone Storage at Elevation = Contour Area x 12" (stone depth) x 40% void space.

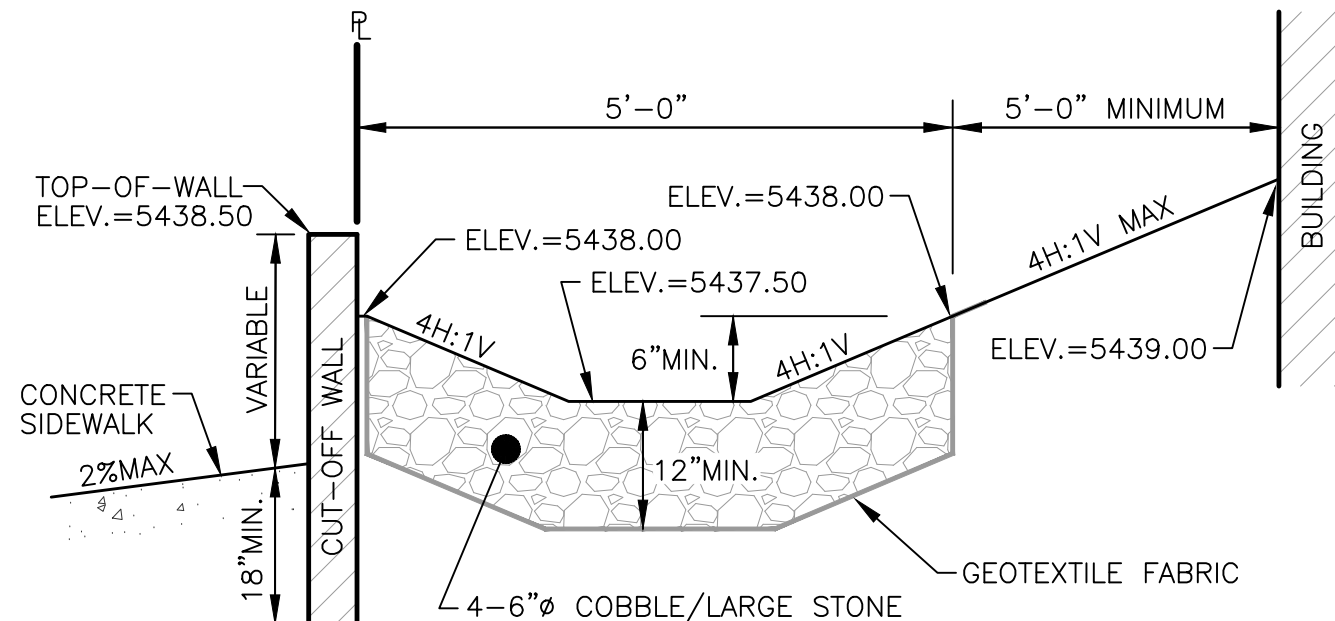
Curb Cut and Sidewalk Culvert Capacity:

Weir Equation: $Q = CxLH^{3/2}$ where:
Q = discharge (cfs)
C = weir coefficient = 3.33
L = length of weir (ft)
H = head or depth (ft)

For the 24" wide Curb Cuts and Sidewalk Culverts with a max depth of 7";
Maximum Flow = 2.97 cfs (exceeds 100-year discharge of both watersheds)

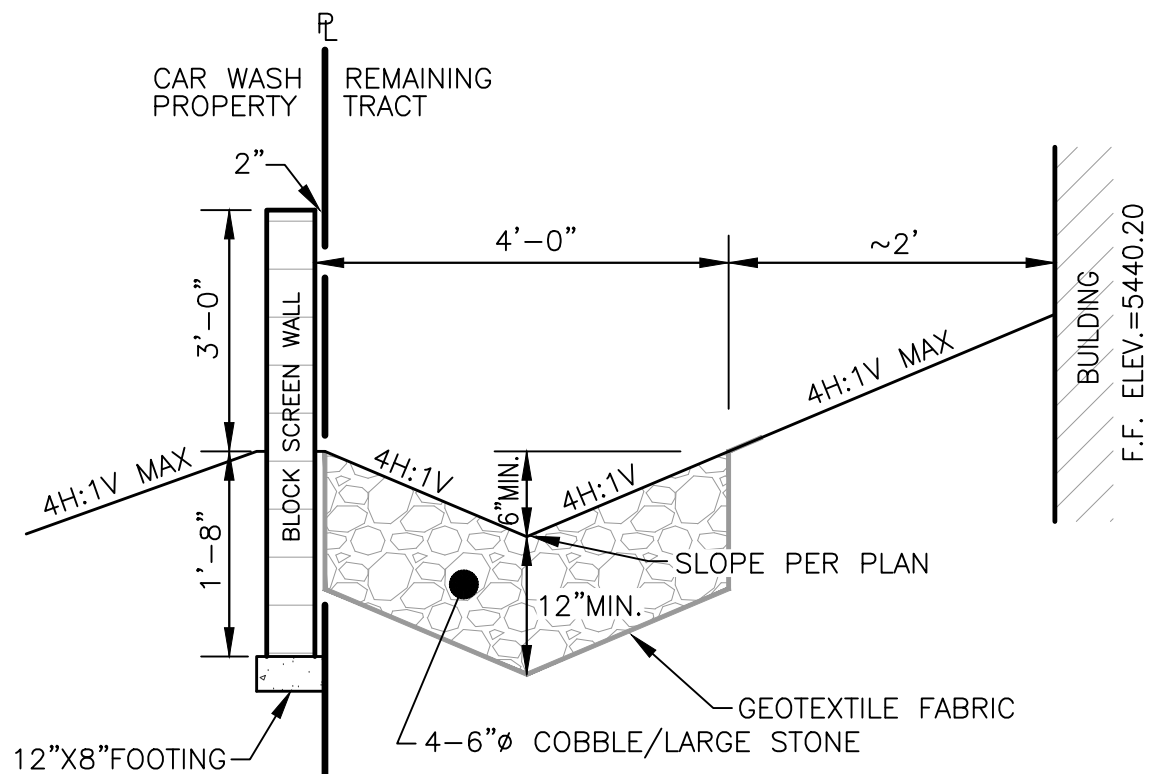


CURB CUT FOR CROSS
DRAINAGE DETAIL
NOT TO SCALE



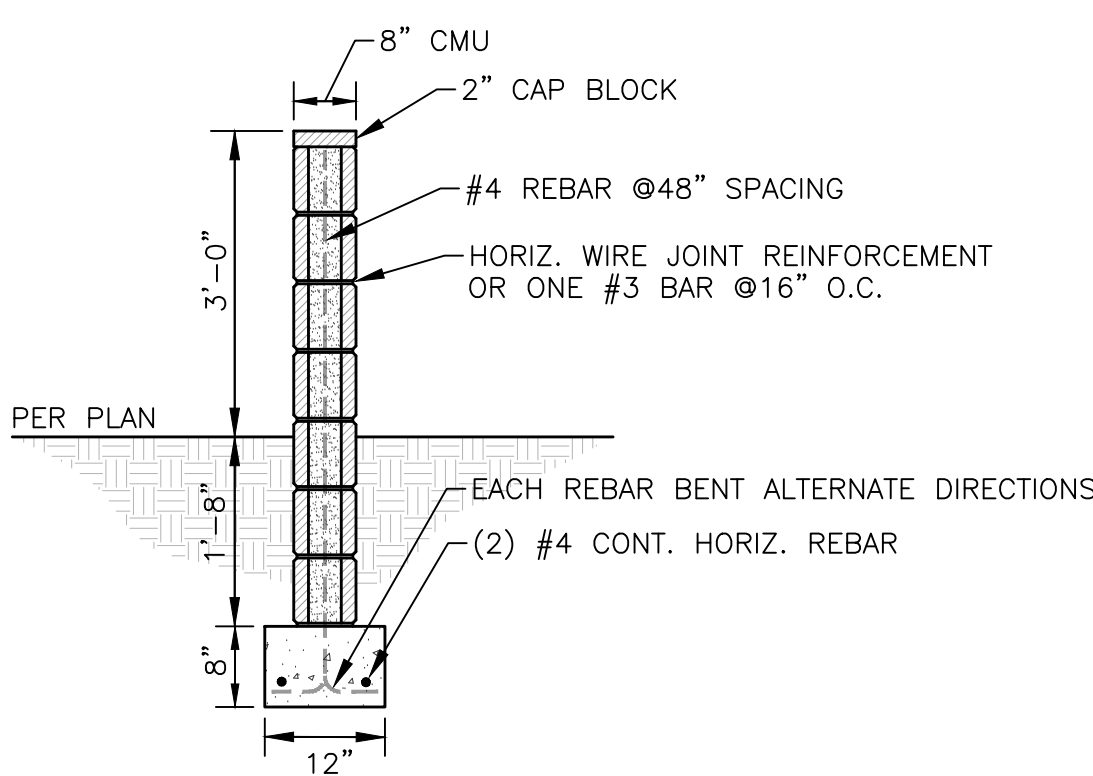
NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

DRAINAGE SWALE SECTION
ALONG WYOMING BOULEVARD FRONTAGE
NOT TO SCALE



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

DRAINAGE SWALE SECTION ALONG
SOUTH PROPERTY LINE
NOT TO SCALE



NOTES:
1. FOOTING TO BE IN COMPACTED SOIL @95%.
2. CONCRETE TO BE 2500 PSI MINIMUM.
3. REBAR TO BE GRADE 40.
4. 8" CMU TO BE fm=1350psi
5. MORTAR/GROUT TO BE TYPE S fm=1800psi
6. COLOR AND TEXTURE OF BLOCK TO BE SPECIFIED ON PLANS
7. INSTALL 1" EXPANSION JOINT WHEN ABUTTING PAVEMENT OR CURBING.

BLOCK SCREENING WALL DETAIL
NOT TO SCALE



Date	03.18.19
Description	Rev 2 - Revised per City Comments.
Item	1

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
4516 WYOMING BOULEVARD N.E.
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11
OF MIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 18.160
Draw: RJM	Dwg: 18-160.dwg
Check: JDB	Tab: C3.1-GP

Scale: N/A
Date: 01.04.2019

Sheet:
GRADING & DRAINAGE
NOTES AND DETAILS

Sheet No.:
C-3.1