CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

October 30, 2020

Ryan Morrissey
Burkhardt Engineering Company
28 N. Cherry St.
Germantown, OH 45327

Re: 4516 Wyoming NE
Request Permanent C.O.
Engineer's Stamp dated: 6-10-19 (F20D005)
Certification dated: 10-15-2020

Dear Mr. Morrissey,

Based upon the information provided in your submittal received 10/15/2020 and site visit on 10/30/20, this plan is approved for Certificate of Occupancy by Hydrology.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: Champion Xpress Car Wash Building Permit #: BP-2019-00083 Hydrology File #: F20D005

DRB#: PR-2019-001951 EPC#: _____ Work Order#: 436680

Legal Description: Portion of Tract 11-N, Block 11 of Ofimiano J. Gutierrez Lower Terrace, City of Albuquerque, Bernalillo County, New Mexico

City Address: 4516 Wyoming Blvd. N. E. , Albuquerque, NM 8711

Applicant: VIA Real Estate, LLC. Contact: Derrick Merchant

Address: 13105 Dover Ave., Lubbcok, TX 79424

Phone#: 806-368-7843 Fax#: _____ E-mail: derrick@7bdev.com

Other Contact: Burkhardt Engineering Company Contact: Ryan Morrissey

Address: 28 N. Cherry St., Germantown, OH 45327

Phone#: 937-388-0060 Fax#: _____ E-mail: rmorrissey@burkhardtinc.com

TYPE OF DEVELOPMENT:_____ PLAT (# of lots) _____ RESIDENCE __X__ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes __X__ No

DEPARTMENT: __X__TRAFFIC/TRANSPORTATION __X__ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

__X__ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

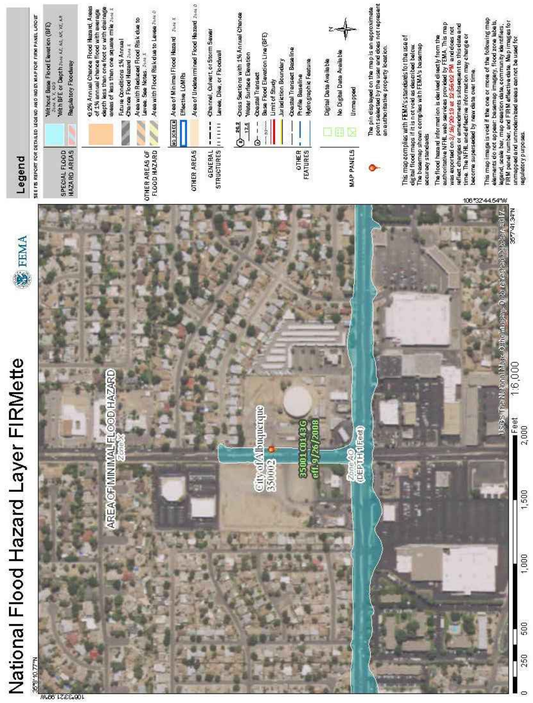
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

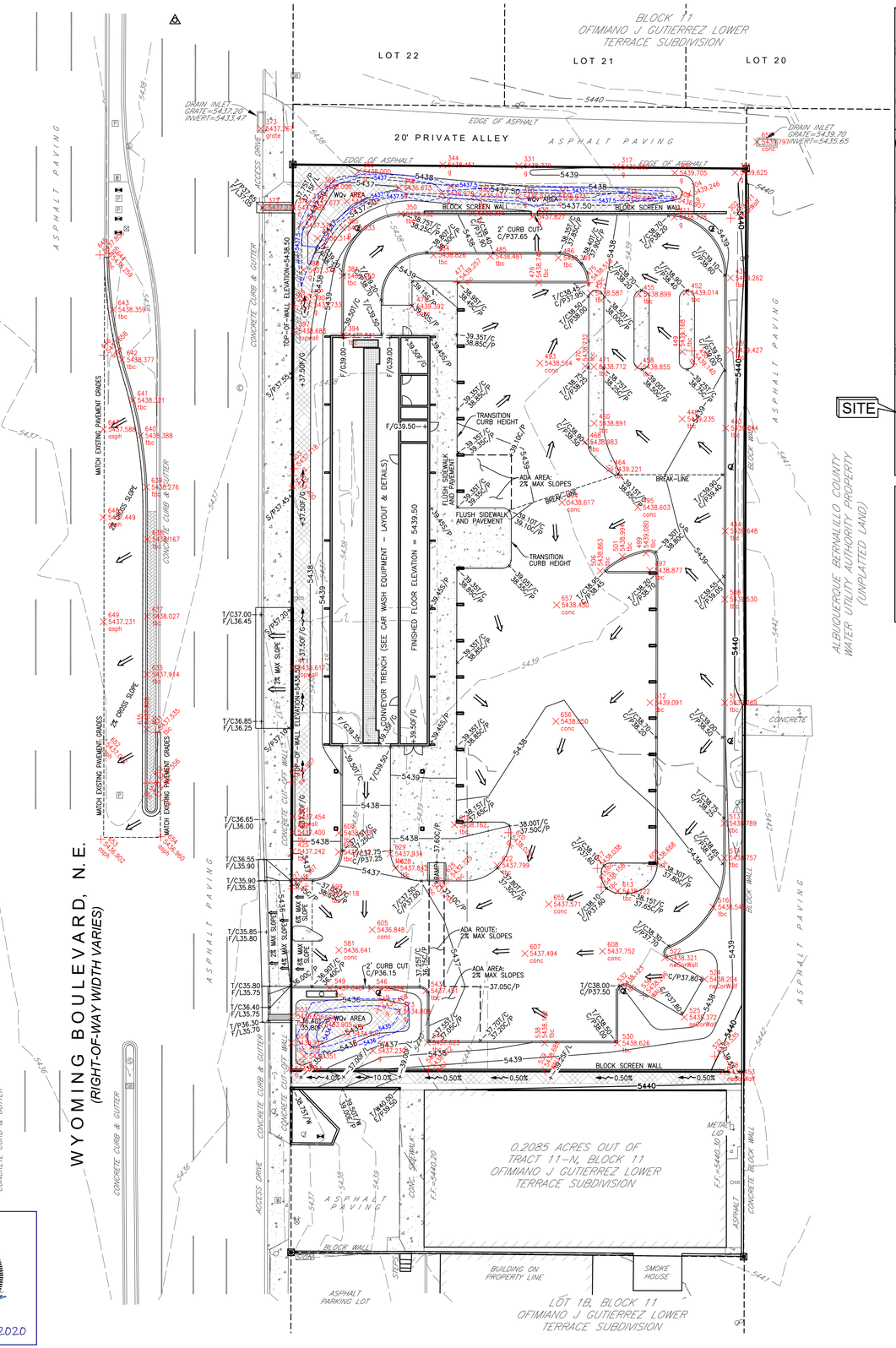
____ BUILDING PERMIT APPROVAL
__X__ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

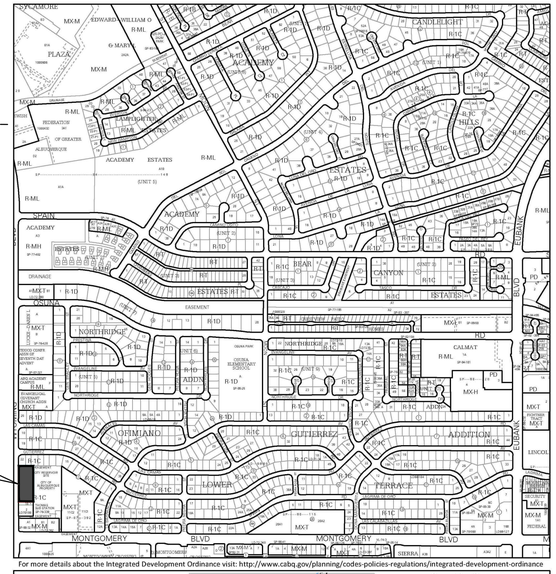
DATE SUBMITTED: 10-14-2020 By: Burkhardt Engineering

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____







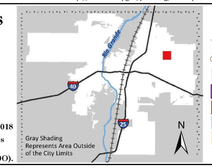
For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance

IDO Zone Atlas May 2018

AGIS Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page: **F-20-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: David Campbell
Telephone: 505.924.3860
Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER
Albuquerque Water Utility Authority
Contact: Customer Service
Telephone: 505.842.9287

GAS
New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

811 Know what's below. Call before you dig.

DRAINAGE CERTIFICATION

I, RYAN JOSEPH MORRISSEY, NMPE 25323, OF THE FIRM BURKHARDT ENGINEERING COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/10/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEVEN JOHN SANDOVAL, NMPS 12315, OF THE FIRM CONSTRUCTION SURVEYING SERVICES.

I FURTHER CERTIFY THAT I HAVE PERSONALLY REVIEWED PHOTOGRAPHY AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT.

THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RYAN JOSEPH MORRISSEY NEW MEXICO 25323 PROFESSIONAL ENGINEER
10/15/2020

PROPERTY INFORMATION

Address: 4516 Wyoming Blvd. N.E., Albuquerque, NM 87111
Legal Description: Portion of Tract 11-N, Block 11 of Ofimiano J. Gutierrez Lower Terrace, City of Albuquerque, Bernalillo County, New Mexico.
Area: 1.0307 acres
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
Flood Zone: FIRM # 35001C0143G, effective date: September 26, 2008
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.
Note - Wyoming Boulevard subject to flooding depth of 1'

SEE GRADING & DRAINAGE NOTES AND DETAILS, SHEET C-3.1 FOR ADDITIONAL INFORMATION, FLOW CALCULATIONS, GENERAL NOTES, DETAILS AND CROSS SECTIONS.

GRADING LEGEND

T/C	TOP-OF-CURB
S/P	SIDEWALK PAVEMENT
C/P	CONCRETE PAVEMENT
T/P	TOP-OF-PLATE (FOR CURB CULVERT)
F/G	FINISHED GRADE
F/L	FLOW LINE
T/W	TOP-OF-WALL
E/P	EDGE OF PAVEMENT
⇐	SHEET FLOW
⇜	CHANNEL FLOW
+00.00	SPOT ELEVATION
0000	PROPOSED CONTOUR
	12" THICK STONE LINER

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

N

RYAN JOSEPH MORRISSEY NEW MEXICO 25323 PROFESSIONAL ENGINEER
06/10/2019

Item	Date	Description
1	02.15.19	Rev 1 - Revised per City Comments.
2	03.18.19	Rev 2 - Revised per City Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
4516 WYOMING BOULEVARD N.E.
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11
OFIMIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT ENGINEERS • SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-9000 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: RJM	Proj: 18.160
Draw: RJM	Dwg: 18-160.dwg
Check: JDB	Tab: C3.0-GP
Scale: 1" = 20'	
Date: 01.04.2019	
Sheet: GRADING & DRAINAGE PLAN	
Sheet No.: C-3.0	

AS-BUILT DRAWINGS

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
    - Ramps - 1:12 (8.3%) max.
    - Routes - 1:20 (5.0%) max.
    - Parking - 1:50 (2.0%) max.
    - Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

811 Know what's below. Call before you dig.

DRAINAGE CERTIFICATION

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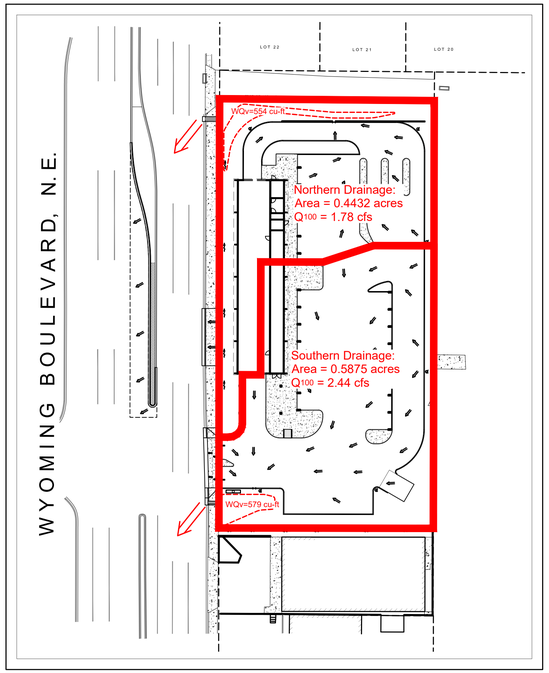
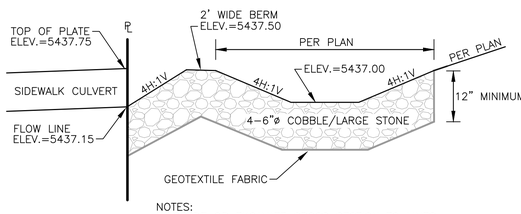
RYAN JOSEPH MORRISSEY NEW MEXICO 25323 PROFESSIONAL ENGINEER

10/15/2020

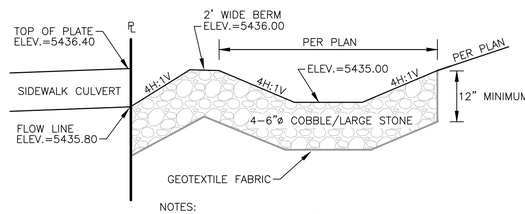


DRAINAGE AREA MAP
Scale: 1"=50'



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

NORTHERN WQv AREA SECTION
NOT TO SCALE



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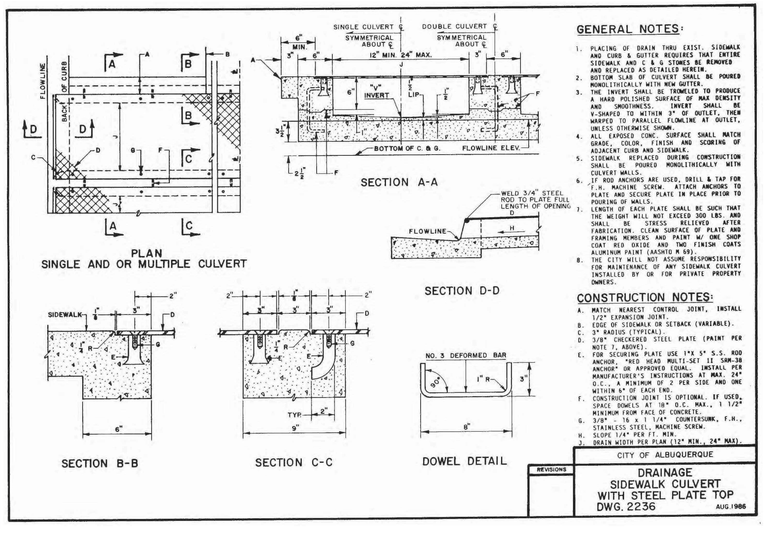
SOUTHERN WQv AREA SECTION
NOT TO SCALE



GENERAL NOTES:

1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

CONSTRUCTION NOTES:

A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT.
B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
C. 3" RADIUS (TYPICAL).
D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE).
E. FOR SECURING PLATE USE 1"X 5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SAM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITHIN 6" OF EACH END.
F. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX., 1/2" MINIMUM FROM FACE OF CONCRETE.
G. 3/8" - 16 x 1 1/4" COUNTERSUNK, F.H., STAINLESS STEEL, MACHINE SCREW.
H. SLOPE 1/4" PER FT.
J. DRAIN WIDTH PER PLAN (12" MIN., 24" MAX).

CITY OF ALBUQUERQUE

REVISIONS

DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP
DWG. 2236 AUG.1986

STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 90% impervious / 10% landscaping
Proposed Lot Coverage - 80% impervious / 20% landscaping

Net Decrease in Storm Water Runoff due to Development
No Storm Water Detention Required

Methodology:
Albuquerque Development Process Manual
Chapter 22, Section 2, Part A;
"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

Storm Water Quality Volume (WQv) = Impervious Area x 0.26 inches

Precipitation Zone:
Precipitation Zone 3: "Between the San Mateo and Eubank"

Northern Drainage:
Area = 0.4432 acres
Treatment B (Desert Landscaping Area) - 24%
Treatment D (Impervious Area) - 76% = 0.3370 acres
100-year peak Discharge Rate = 4.01 cfs/acre (Table A-9)
Q_{100} = 1.78 cfs
WQv = 318 cu-ft (required)

Provided Water Quality Storage Volume:

Elevation (ft)	Contour Area (sq-ft)	Surface Vol. (cu-ft)	Stone Vol. (cu-ft)	ΣVolume (cu-ft)
5437	206	0	82	82
5437.50	772	245	309	**554** - overflow to R/W

*Average End Area Method used to calculate storage volumes.
*Stone Storage at Elevation = Contour Area x 12"(stone depth) x 40% void space.

Provided Water Quality Storage Volume (As-Built):

Elevation (ft)	Contour Area (sq-ft)	Inc. Vol. (cu-ft)	ΣSurface Volume (cu-ft)
5437	473	0	0
5437.5	875	337	**337**

*Average End Area Method used to calculate storage volumes.
*Stone Storage not included although it was installed.
*Provided Surface Volume exceeds Required Volume.

Southern Drainage:
Area = 0.5875 acres
Treatment B (Desert Landscaping Area) - 17%
Treatment D (Impervious Area) - 83% = 0.4876 acres
100-year peak Discharge Rate = 4.15 cfs/acre (Table A-9)
Q_{100} = 2.44 cfs
WQv = 460 cu-ft (required)

Provided Water Quality Storage Volume:

Elevation (ft)	Contour Area (sq-ft)	Surface Vol. (cu-ft)	Stone Vol. (cu-ft)	ΣVolume (cu-ft)
5435	163	0	65	65
5436	553	358	221	**579** - overflow to R/W

*Average End Area Method used to calculate storage volumes.
*Stone Storage at Elevation = Contour Area x 12"(stone depth) x 40% void space.

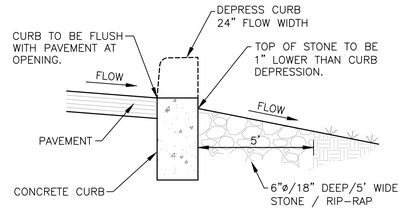
Provided Water Quality Storage Volume (As-Built):

Elevation (ft)	Contour Area (sq-ft)	Inc. Vol. (cu-ft)	ΣSurface Volume (cu-ft)
5434	28	0	0
5435	280	154	154
5436	504	392	**546**

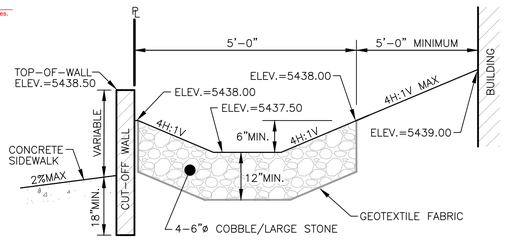
*Average End Area Method used to calculate storage volumes.
*Stone Storage not included although it was installed.
*Provided Surface Volume exceeds Required Volume.

Curb Cut and Sidewalk Culvert Capacity:
Weir Equation; $Q = CxLxH^{3/2}$ where,
Q = discharge (cfs)
C = weir coefficient = 3.33
L = length of weir (ft)
H = head or depth (ft)

For the 24" wide Curb Cuts and Sidewalk Culverts with a max depth of 7";
Maximum Flow = 2.97 cfs (exceeds 100-year discharge of both watersheds)



CURB CUT FOR CROSS DRAINAGE DETAIL
NOT TO SCALE



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

DRAINAGE SWALE SECTION ALONG WYOMING BOULEVARD FRONTAGE
NOT TO SCALE

NOTES:
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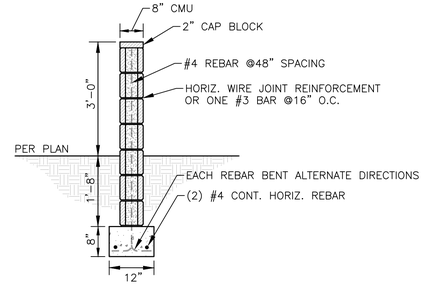
DRAINAGE SWALE SECTION ALONG SOUTH PROPERTY LINE
NOT TO SCALE



NOTES:
1. FOOTING TO BE IN COMPACTED SOIL @95%.
2. CONCRETE TO BE 2500 PSI MINIMUM.
3. REBAR TO BE GRADE 40.
4. 8" CMU TO BE fm=1350psi
5. MORTAR/GROUT TO BE TYPE S fm=1800psi
6. COLOR AND TEXTURE OF BLOCK TO BE SPECIFIED ON PLANS
7. INSTALL 1" EXPANSION JOINT WHEN ABUTTING PAVEMENT OR CURBING.

BLOCK SCREENING WALL DETAIL
NOT TO SCALE

RYAN JOSEPH MORRISSEY NEW MEXICO 25323 PROFESSIONAL ENGINEER
06/10/2019

Item	Description	Date
1	Rev 2 - Revised per City Comments.	03.18.19

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
4516 WYOMING BOULEVARD N.E.
1.0307 ACRES OUT OF TRACT 11-N, BLOCK 11
OFIMIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT ENGINEERS ▼ SURVEYORS
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-8080 | BURKHARDTENG.COM

Design: RJM	Proj: 18.160
Draw: RJM	Dwg: 18-160.dwg
Check: JDB	Tab: C3.1-GP
Scale: N/A	

Date: 01.04.2019

Sheet: GRADING & DRAINAGE NOTES AND DETAILS

Sheet No.: C-3.1

AS-BUILT DRAWINGS