



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 15, 1983

Mrs. McClure, Manager
Mission Hill North Apartments
5222 Wyoming Blvd. NE
Albuquerque, New Mexico 87111

Dear Mrs. McClure:

On February 10, 1983 a field survey was conducted to determine if the site in question was built according to the approved drainage plan. The field survey has revealed that the site is in non-compliance of the approved drainage plan.

In order to provide fair, effective enforcement of the drainage policy, it is imperative that you do one of three alternatives stated below.

1. Comply with the original approved drainage plan.
2. Have an engineer submit an as-built plan showing that what exists is in close compliance to the original approved drainage requirements for the site.
3. Submit a new drainage plan in compliance with the new Drainage Ordinance.

Please notify me when you have determined which alternative will be pursued, and work will be scheduled for City forces to further protect the drainage structures and the channel.

If you have any questions, please feel free to call me at 766-7644.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya
Hydrologic Engineering Technician

BJM/el

cc: ✓ Drainage File
Reading File

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE COMPLAINT REPORT

Location 5225 WYOMING NE, WYOMING Sheet of 1

PLACE APTS, WYOMING & SPAIN, So. of BLAQA.

Reported by: MRS MC CLURE, MRLR Phone

Address: 5225 WYOMING Ext. 821 8953

Complainant Phone

Address Ext.

Taken by: BOB BORN Date

COMPLAINT BANK ERODING NEXT TO ~~WALL~~ ^{CEGAR} FENCE -

~~CEGAR~~

Referred to: BOB BORN

INVESTIGATION — CAUSE POOR CONSTRUCTION OF RUN DOWN

DRAINS INTO ARROYO -

Recommendation:

Investigated by: Date

Action taken:

Taken by: Date

Follow Up:

Taken by: Date

Project No. Plan No. Drainage Map Zone Atlas F20
Approved Date Complaint Report No. F20383001 Date 1-25-83

Questions

Summary Plats approved by administrative action: Example Summary plat showing a portion of tract "A" Academy estate, Unit 2
No review by city engineer. Original plat filed prior to Amador Res 72-2 - Only perfunctory and inadequate drainage report
Property appears to be in flood plain
no commitment by developer to execute Flood protection measures.

315 J/camore SE

[illegible]

S-69-27-1
Z-71-91
Z-77-54

B13-141

SPAIN ROAD APTS.

WYOMING BLVD. N.E.

SPAIN ROAD N.E.

SCALE 1"=40'-0"

SITE PLAN

INFORMATION FROM EXISTING MAP PREPARED BY
"P.T. HARRISON-SURVEYOR, INC." ALBUQUERQUE, NEW
MEXICO.

BUILDINGS
196 UNITS TOTAL
28 2 BEDROOM UNITS
168 1 BEDROOM UNITS

PARKING
REQUIRED PARKING SPACES: 196 UNITS @ 1.0 SPACE/UNIT = 196 SPACES
1.0 SPACE/UNIT PER BATH = 196 SPACES
TOTAL PARKING SPACES REQUIRED = 196 SPACES
TOTAL PARKING SPACES PROVIDED = 196 SPACES
SURPLUS OF PARKING SPACES = 0 SPACES
HANDICAP SPACES
2.0% OF TOTAL PARKING SPACES
TOTAL HANDICAP SPACES REQUIRED = 4 SPACES
TOTAL HANDICAP SPACES PROVIDED = 4 SPACES
SURPLUS OF HANDICAP SPACES = 0 SPACES

APARTMENT SITE
APPROXIMATE SITE AREA = 2,67,219 SQ. FT.
MAXIMUM ALLOWABLE DENSITY = 2,67,219 SQ. FT.
AREA OF BUILDINGS
AREA PER BUILDING = 21,780 SQ. FT.
NUMBER OF BUILDINGS = 7
TOTAL AREA OF BUILDINGS = 169,960 SQ. FT.
SURPLUS OF ALLOWABLE DENSITY = 1,07,259 SQ. FT.
AREA OF PARKING AND DRIVE = 90,040 SQ. FT.
MINIMUM REQUIRED LANDSCAPING
7% OF TOTAL AREA TO BE LANDSCAPED
MINIMUM LANDSCAPING REQUIRED = 18,709 SQ. FT.
AMOUNT OF LANDSCAPING PROVIDED = 18,709 SQ. FT.
SURPLUS OF LANDSCAPING = 0 SQ. FT.
OPEN SPACE REQUIRED
(168) 1 BR. UNITS @ 2,000 SQ. FT. = 336,000 SQ. FT.
(28) 2 BR. UNITS @ 2,500 SQ. FT. = 70,000 SQ. FT.
TOTAL OPEN SPACE REQUIRED = 406,000 SQ. FT.
TOTAL OPEN SPACE PROVIDED = 196,000 SQ. FT.
SURPLUS OF OPEN SPACE = 210,000 SQ. FT.
PRESENT ZONING = R-10

ELECTRICAL CONSTRUCTION NOTES
1. METER LOCATION. SEE POWER RISER DIAGRAM, SHEET E-1.
2. PUBLIC SERVICE CO. TRANSFORMER.
3. 24"X36"X6" DEEP RAIN-TIGHT TELEPHONE CABINET WITH LOCK AND PLYWOOD BACKBOARD UP 36" ABOVE GRADE TO BOTTOM. -INSTALL CABINET RECESSED AND RUN 2" OUT TOWARD TEL. CO. EASEMENT. CAP. COORDINATE WITH MOUNTAIN BELL.

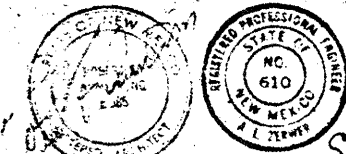
DRAINAGE AND UTILITY EASEMENT

ACADEMY ESTATES ADDITION

ALBUQUERQUE, N.M.

NEW MEXICO

SPAIN ROAD APARTMENTS



SHEET #1

$\text{IV} = 180^\circ$ $\text{III} = 90^\circ$
 $\text{II} = 170^\circ$ $\text{III} = 80^\circ$
 $\text{Vol. I} = 14 \text{ m.u.}$ $\text{Vol. II} = 7 \text{ m.u.}$ $\text{F2nd II} \neq \text{I}$
 $\text{IV} = 180^\circ$ $\text{II} = 170^\circ$
 $\text{Vol. I} = 12 \text{ m.u.}$ F2nd I

BOND VALUES			
BOND A			14.0000
BOND B			14.0000
BOND C	2 FUND	3	14.0000
BOND D	2 FUND	3	14.0000
BOND E	2 FUND	3	14.0000
BOND F	2 FUND	3	14.0000
BOND G			14.0000
MAINBOND			2458.0000
TOTAL FUNDING			2458.0000

$$VOLUME = \frac{h}{3} \left[Area_{top} + Area_{bottom} + \sqrt{Area_{top} \times Area_{bottom}} \right]$$

(where "h" = depth)

- [4'-] EXISTING GRASS ES
 FF4'- FINISHED PAVING ELEV.
 FF4'- FINISHED FLOOR ELEV.
 TL4'- EXISTING TOP CURB ELEV.
 L PARKING ROAD PROFILE DATUM
 - [4'-] EXISTING PAVEMENT

"PAVEMENT" INCLUDES - PAVING,
PARKING, DRIVES, POOL DECK,
AND WALKS.

INVERTED CROWN IN
EXISTING PAVING
DIVERTED TO ARROYO

UNDEVELOPE

EXISTING SLOPE	12%
NATURAL RUNOFF EFFICIENT	0.10
TIME OF CONCENTRATION	17.25 Minutes
INTENSITY	4.42 In/hr per in.
100 YEAR 6 HOUR PRECIPITATION	2.6 In/hr
RAIF-NATURAL RUNOFF	10.93 cfs
VOLUME-NATURAL RUNOFF	0.583 Acre-ft

DEVELOPED	AREA (ACRES)	C	AXC	RATE (\$/YR)	VOLUME (CU YD)
FLAT ROOF	2.0302	0.575	1776	9.5304	20.249
SHED ROOF	0.221	0.02	2215	1.1512	0.246
PAVEMENT	2.5043	0.02	2259	12.7886	2.504
LANDSCAPE	0.5520	0.10	1680	50.844	0.280

$$1.1774 \text{ Acre-ft (Dev)} - 0.533 \text{ Acre-ft (Nat)} = 0.6444 \text{ Acre-ft (28,70 cu ft) REQUIRED}$$

AREAS TO BE RETAINED	%	VOLUME
FLAT ROOF	72	0.2771
SHED ROOF	100	0.0462
PAVEMENT	22	0.1123
LANDSCAPE	59	0.2346

AREA TO BE PAVED	%	RATE	VOLUME
FLAT ROOF	25	2.50	6.1677
PAVEMENT	78	2.872	6.287
LANDSCAPE	11	2.4451	2.6259

TOTAL PONDING VOLUME = 28524 cu-ft

DRAINAGE AND UTILITY EASEMENT

SHEET 1-A