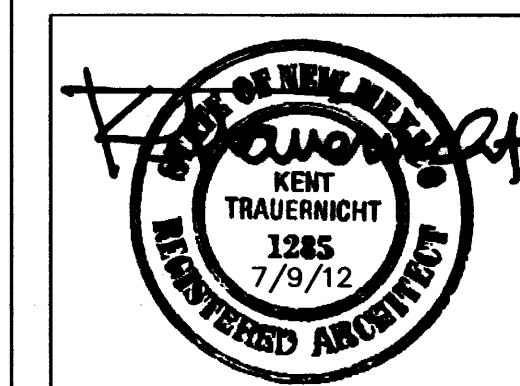


CONSULTANT



PROJECT

**ABQ HEALTH
PARTNERS
PRIMARY &
URGENT
CARE
FACILITY
PARKING**

PROJECT ADDRESS

9101 MONTGOMERY
BLVD NE

MARK	DATE	DESCRIPTION

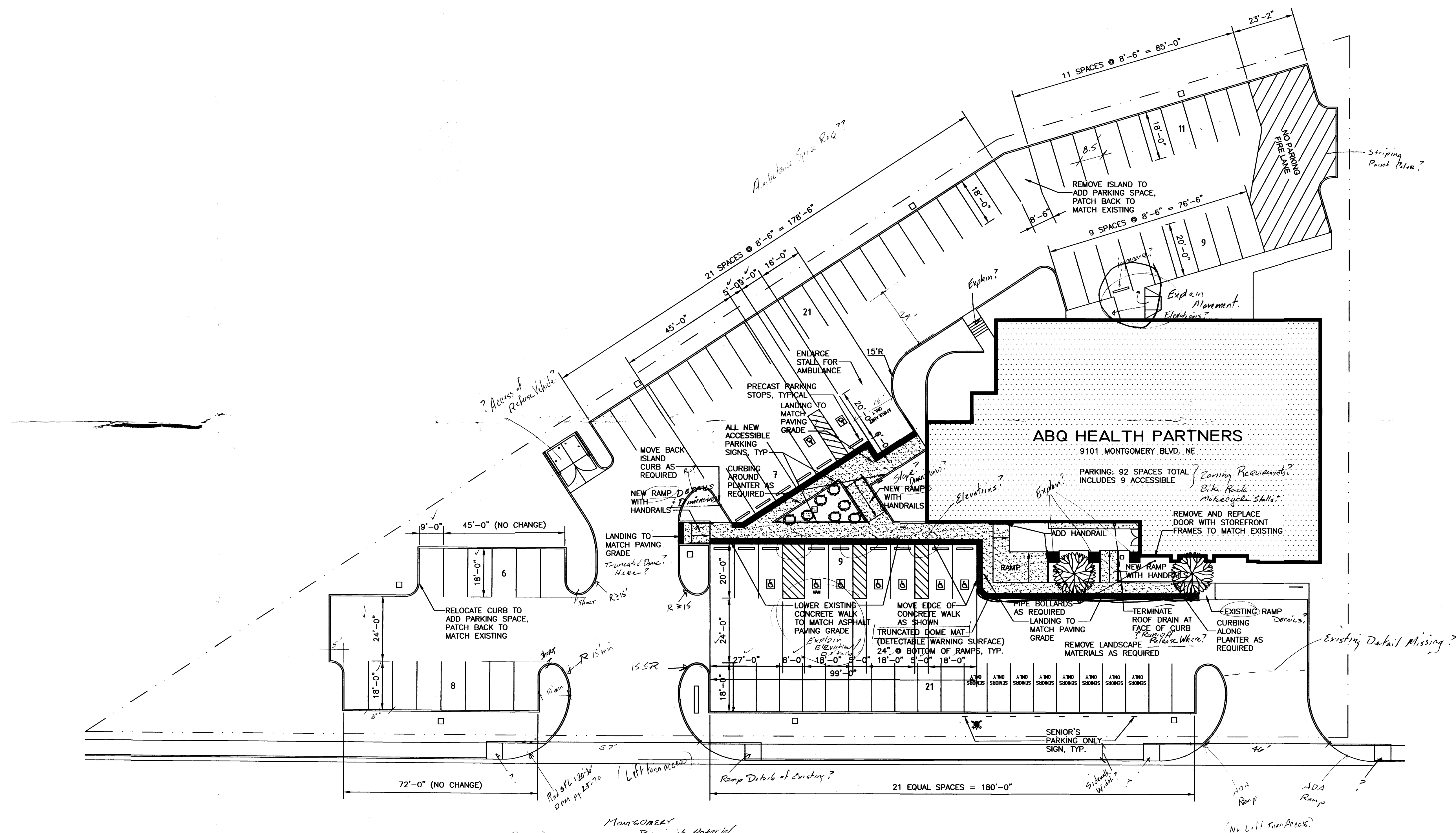
ISSUE DATE:

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SHEET TITLE

**SITE PLAN
RECEIVED
TRAFFIC
CIRCULATION
HYDROLOGIC
SECTION**
JUL 12 2007

AS-101



Throat Depth / Length?
Arterial
DPM pg 23-91
{ 13,050 SF
100 FT Length
36-48' mi }

Legend



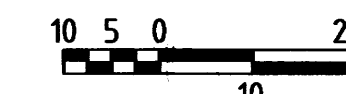
?

?

CUT, REMOVE, AND REPLACE EXISTING CONCRETE WALKS AS SHOWN, MATCHING EXISTING, TO IMPROVE ACCESSIBILITY.

✓ Per COA Standard
and DPM/ADA

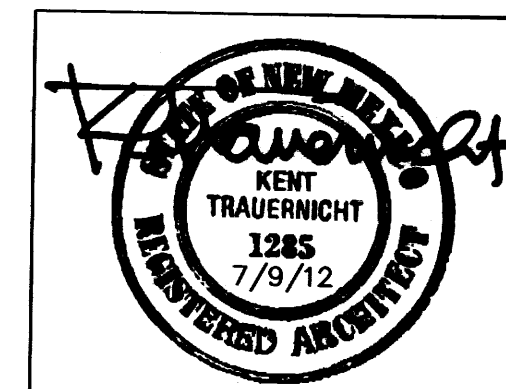
PROPOSED PARKING PLAN

$$1'' = 20'$$




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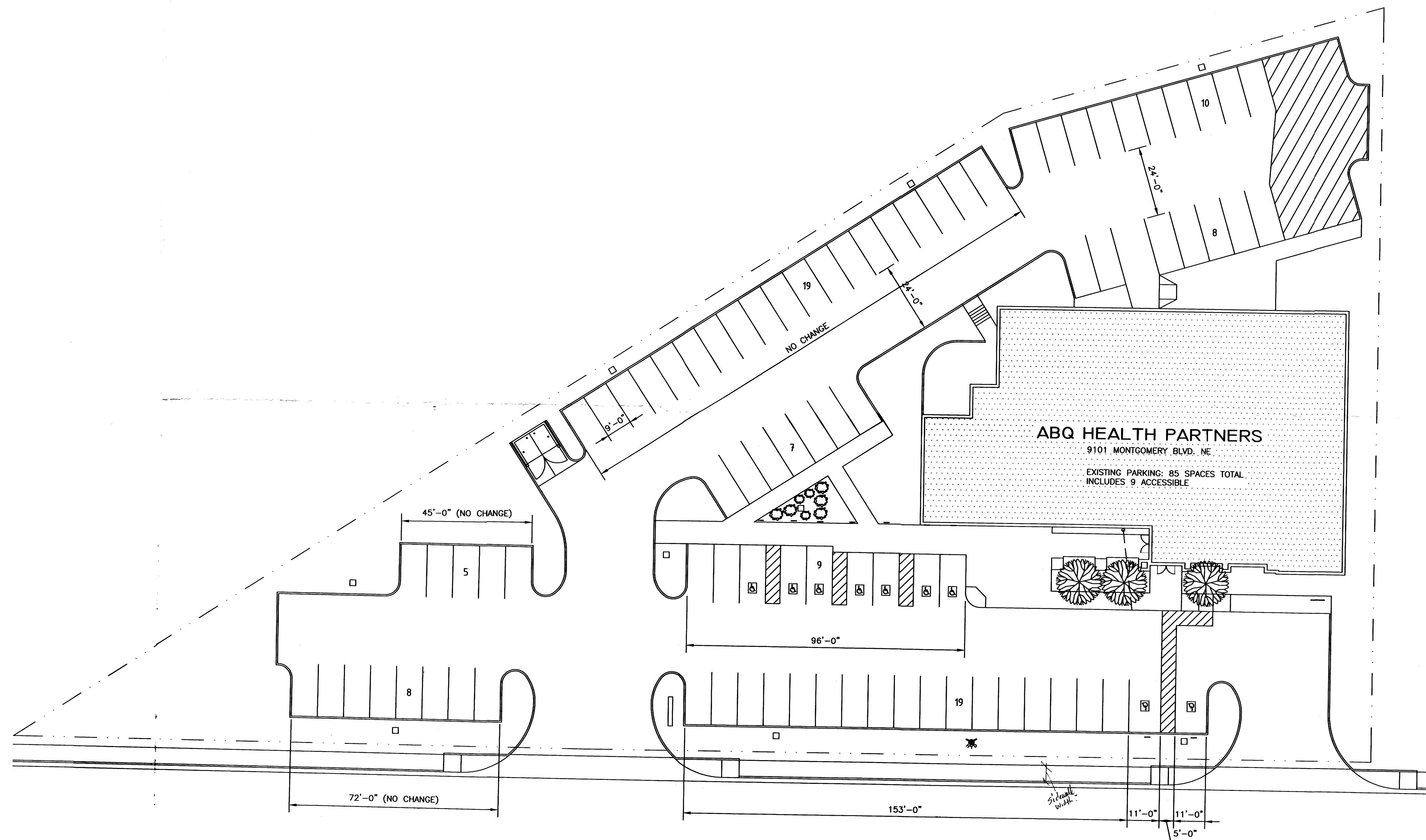
EXISTING
PARKING

RECEIVED

JUL 12 2012

HYDROLOGY
SECTION

AS-100

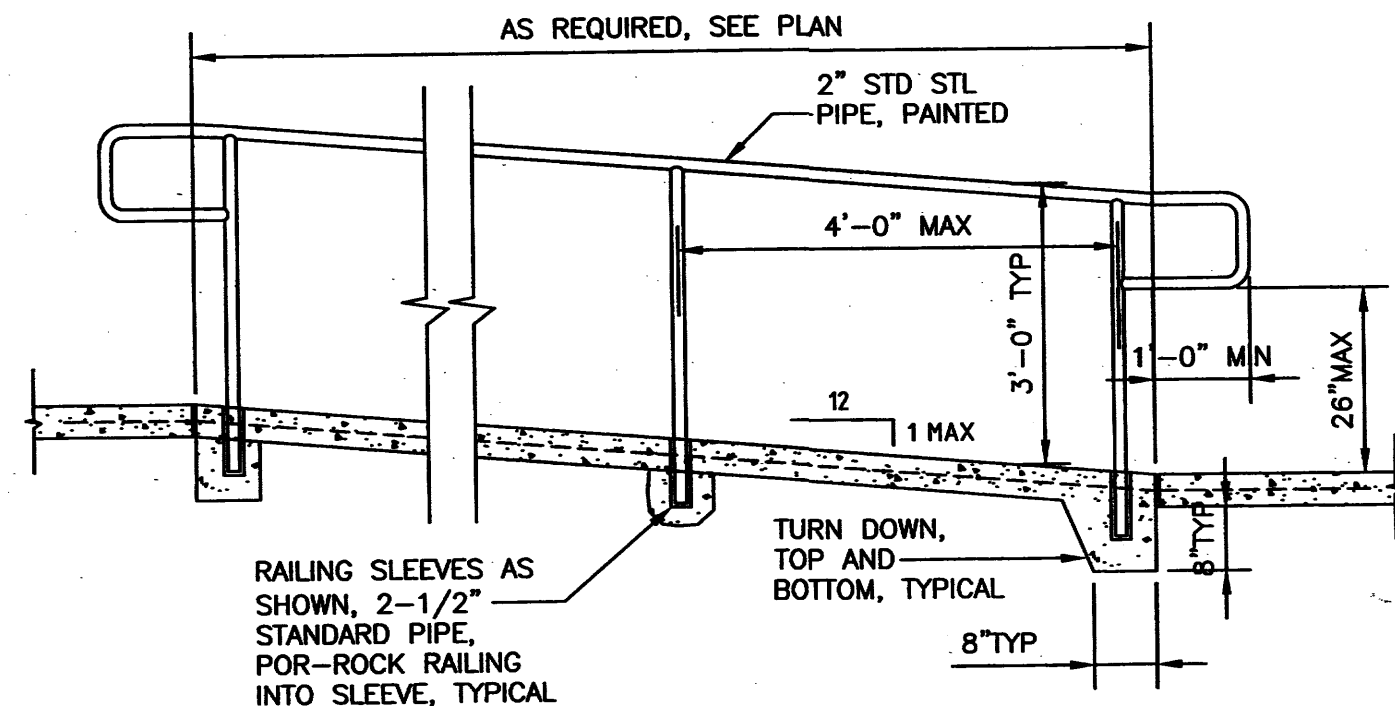


EXISTING PARKING PLAN

1" = 20'-0"

10 5 0 20
10

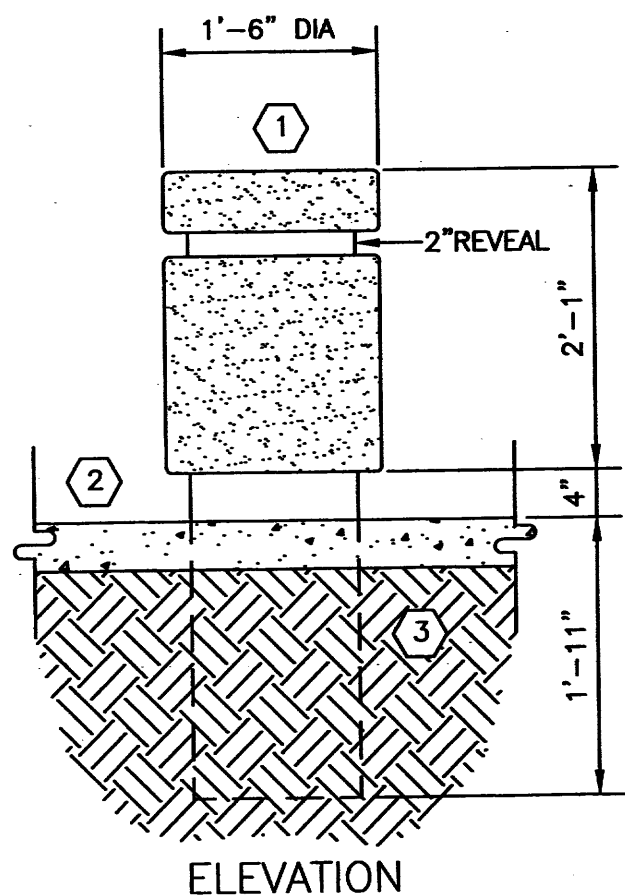
EXISTING
PARKING
CONDITIONS FOR
INFORMATION ONLY



ALL ACCESSIBLE RAMPS SHALL BE MAXIMUM 1-INCH IN RISE FOR EVERY 12" IN RUN, TYPICAL. RAMP RAILING TYPICAL: CONFIGURE AS SHOWN ON PLAN, EXTEND ENDS PAST BOTTOM AND TOP OF RAMP APPROXIMATELY 12-INCHES, 1-1/2" OD STEEL PIPE, HOLD MINIMUM 1-1/2" OFF FACE OF WALLS AND OTHER OBSTRUCTIONS, RETURN BOTH ENDS TO FACE OF WALLS, WHERE OCCURRING. ATTACH TO WALLS WITH BRACKETS AND LAG BOLTS AS REQUIRED TO RESIST USER WEIGHT, MOUNT RAILING AT +/- 36" AFF.

1 TYPICAL RAILING DETAIL

1/2" = 1'-0"

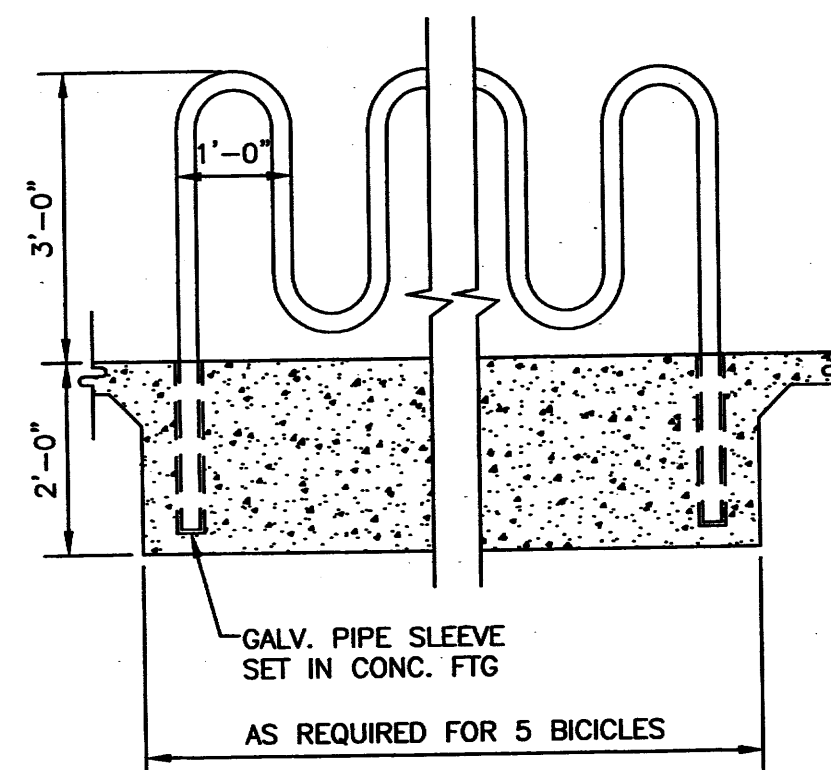


KEYED NOTES

- BOLLARD #1852 BY "MATERIALS, INC.", WT-905 LBS, SAND BLASTED FINISH, COLOR TO MATCH BUILDING BRICK
- SOLID UNDISTURBED OR COMPACTED SOIL
- TOP OF CONCRETE WALK

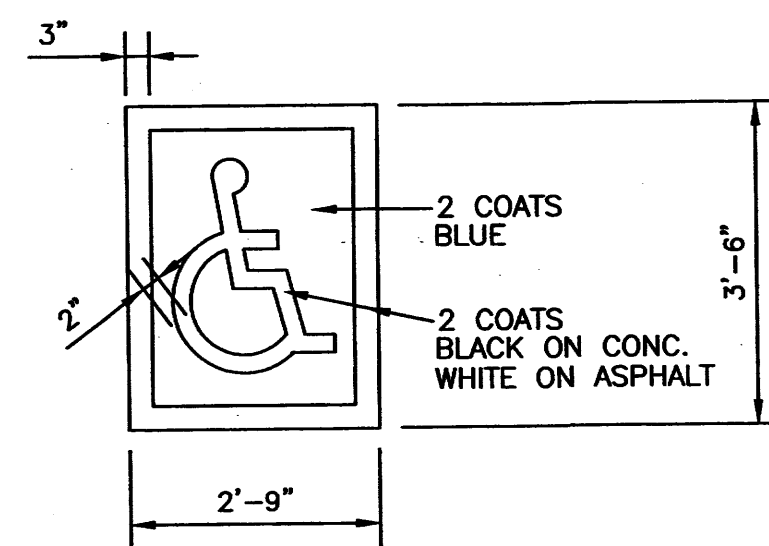
3 BOLLARD, TYP.

N.T.S.



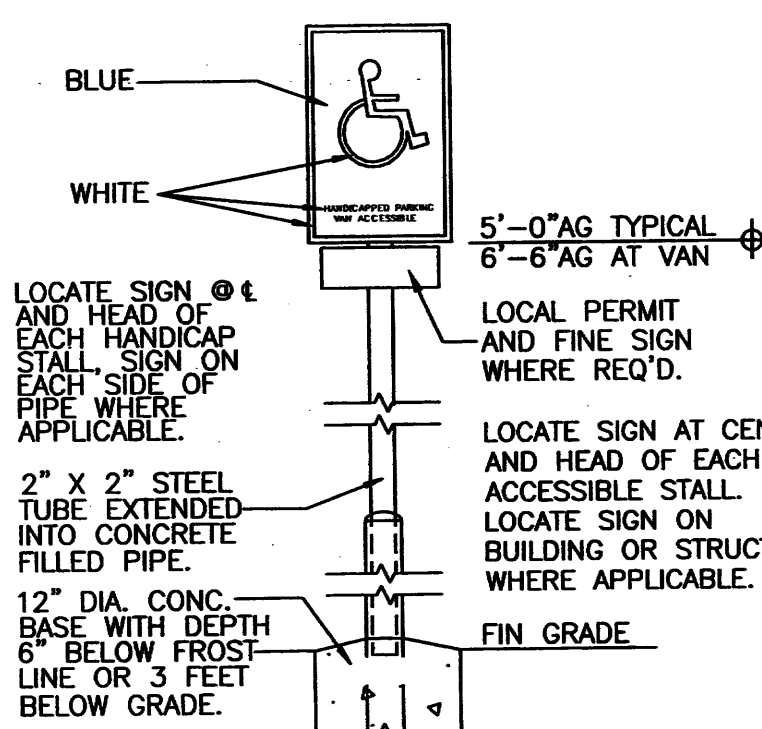
6 BIKE RACK

1/2" = 1'-0"



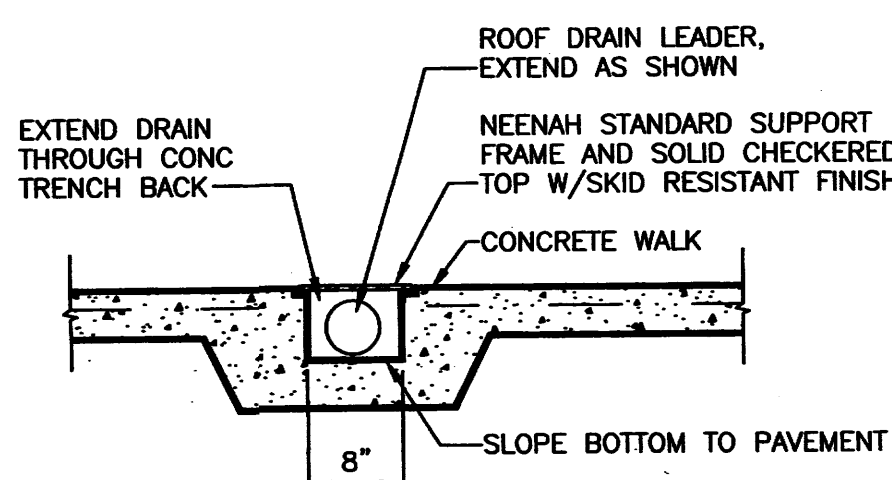
2 ACCESSIBLE PARKING

3/4" = 1'-0"



4 PARKING SIGNS

N.T.S.



5 SIDEWALK TRENCH DRAIN

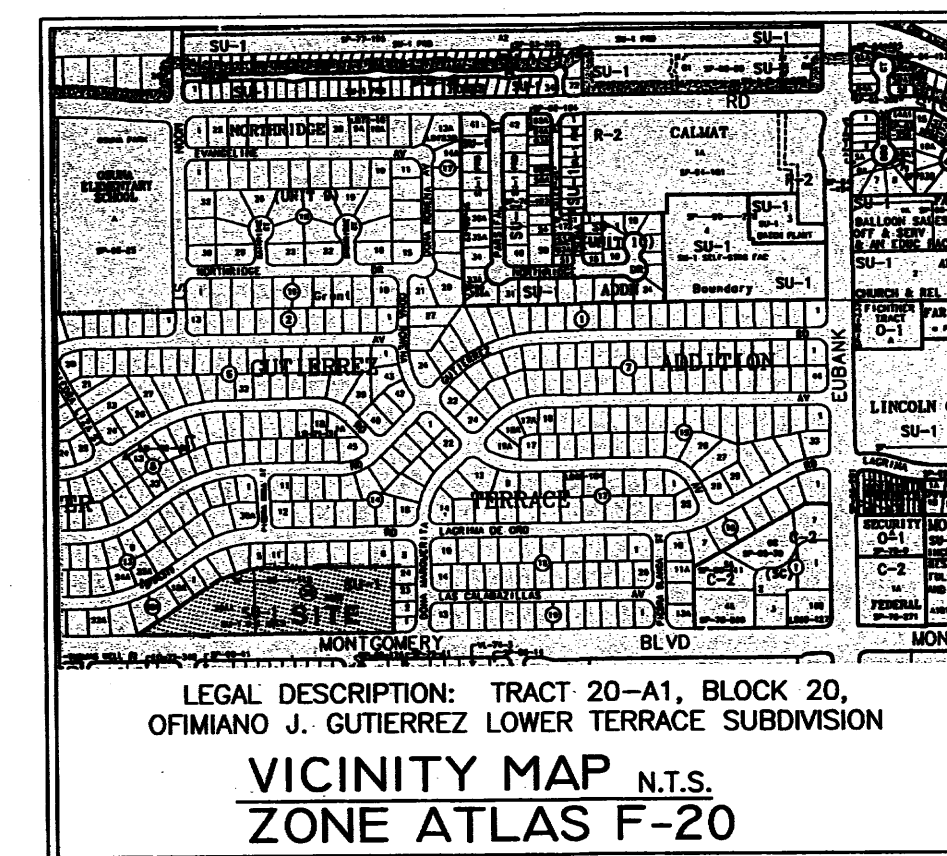
N.T.S.

ZONING DATA

ZONING: SU-1 FOR O-1 (OFFICE AND INSTITUTIONAL)
ADDRESS: 79101 MONTGOMERY BLVD. NE 87111
SITE AREA: 1.586 ACRES (+/- 69,065 SF)
EXISTING BUILDING AREA (NO CHANGE): 11,260 SF
REQUIRED PARKING: 11,260 SF / 200 = 56 SPACE (INCLUDES 4 ACCESSIBLE SPACES)
EXISTING ON-SITE PARKING: 85 SPACES (9 ACCESSIBLE)
REVISED ON-SITE PARKING: 92 SPACES (9 ACCESSIBLE) INCLUDES 8 REGULAR ACCESSIBLE PARKING SPACES AND 1 VAN, PER NM BLDG CODE
BIKE PARKING: 92/20 = 5 SPACES

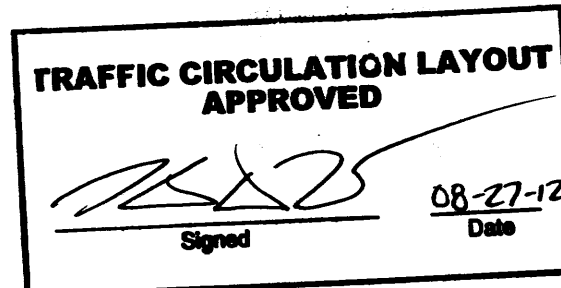
EXISTING LANDSCAPING CALCULATIONS

EXISTING LOT AREA (NO CHANGE): 69,065 SF (1.586 ACRE)
NET LOT AREA: 52,539 SF - 11,260 SF (EXISTING BLDG) = 41,280 SF
REQUIRED LANDSCAPE (15% NET LOT AREA): 0.15 x 41,280 SF = 6,192 SF
LANDSCAPE PROVIDED: 16,700 (ON SITE) + 1,120 (ROW) = 17,820 SF
LANDSCAPING VEGETATED AREAS (MATURE): 13,365 SF / 17,820 SF = 75%
GRASS AREAS: 1,360 / 17,820 = 7.6%



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



REMODEL PARKING PLAN

1" = 20'-0"

10 5 0 20

REMODEL NOTES

- CUT, REMOVE, AND REPLACE EXISTING CONCRETE WALKS, ASPHALT, CURBS, AND LANDSCAPING AS SHOWN, PATCH BACK TO MATCH EXISTING, TO IMPROVE ACCESSIBILITY. SHOWN HATCHED.
- RESTRIP ALL PARKING AREAS, AS SHOWN, TO INCREASE PARKING AND TO IMPROVE ACCESSIBILITY.
- REPAINT EXISTING TO REMAIN PARKING MARKINGS, PAINT OUT AREAS TO BE REVISED. REVISE MARKINGS AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS: TWO COATS TRAFFIC PAINT, 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT).
- REMOVE LANDSCAPE MATERIALS AND REVISE IRRIGATION AS REQUIRED BY REMODEL.

akt architects, LLC

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SITE PLAN
AND
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CIRCULATION

AS-101