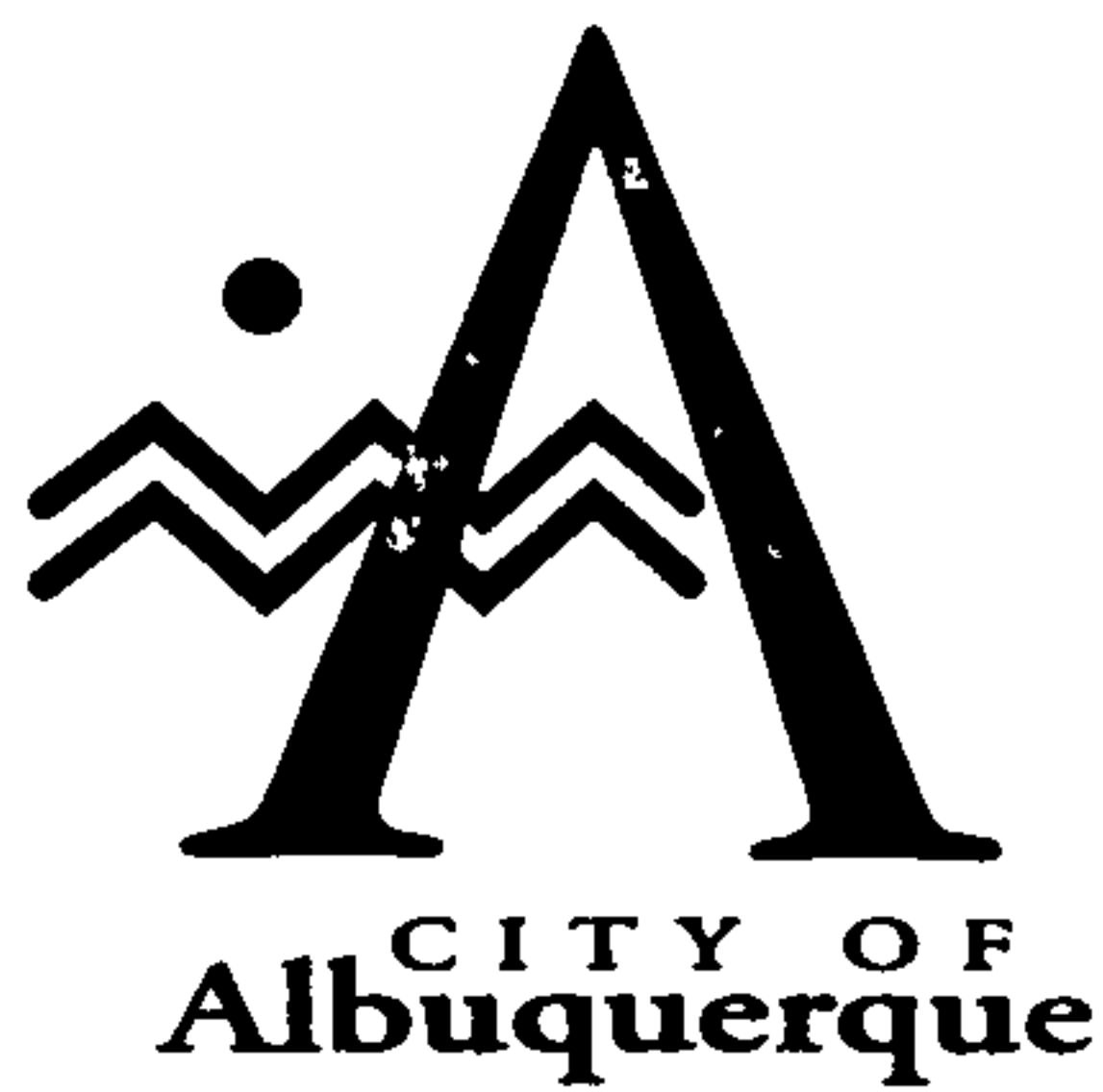




July 18, 1996

Martin J. Chávez, Mayor

Gilbert Aldaz
Aldaz Engineering & Surveying Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

RE: ENGINEER CERTIFICATION FOR GOLDEN TARGET STORAGE (F20-D25)
CERTIFICATION STATEMENT DATED 7/1/96.

Dear Mr. Aldaz:

Based on the information provided on your July 2, 1996 submittal,
Engineer Certification for the above referenced site is
acceptable.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: GOLDEN TARGET STORAGE ZONE ATLAS/DRNG. FILE #: F-20/D25
 DRB #: 95-336 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: TRACT 11-C, BLOCK 11, OF IMIANO GUTIERREZ TERRACE SUBD
 CITY ADDRESS: MONTGOMERY BLVD, BETWEEN WYOMING & LA BARRANCA
 ENGINEERING FIRM: ALDAR ENGR & SURVEYING, INC CONTACT: GILBERT ALDAR
 ADDRESS: 1605 BLAIR DRIVE PHONE: 237-1456
 OWNER: GEORGE KOURY CONTACT: George Koury
 ADDRESS: 1717 LOUISIANA NE, SUITE 118 PHONE: 262-1323
 ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
 ADDRESS: 1118 PARK AV SW, 87102 PHONE: 242-1859
 SURVEYOR: ALDAR ENGR & SURVEYING, INC CONTACT: GILBERT ALDAR
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER 5-2-95 (SPECIFY)

DATE SUBMITTED: 06-30-95
 BY: Gilbert Aldar

JUL - 2 1995

Existing Power Pole 45.95 EL.

Existing Rebar 46.53 EL.

Add 8" Solid Block
Around 24" Opening
Connect To Pond Wall

Build Wall Around
MH Barrel, Top
of Wall EL = 45.90

Existing
24" diameter
Opening, 44.43 EL.

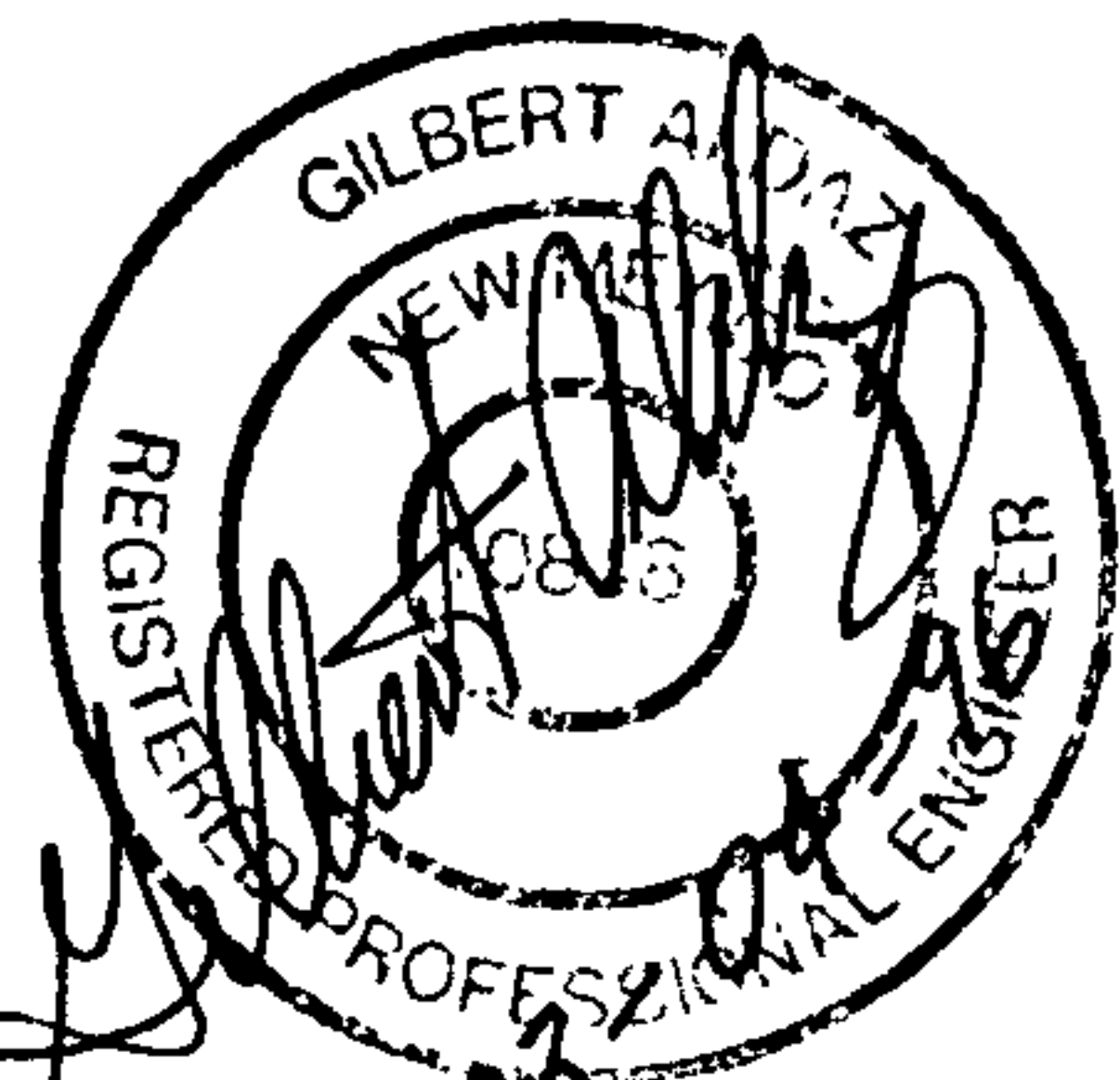
45.90 EL
T.W.

Pond Wall

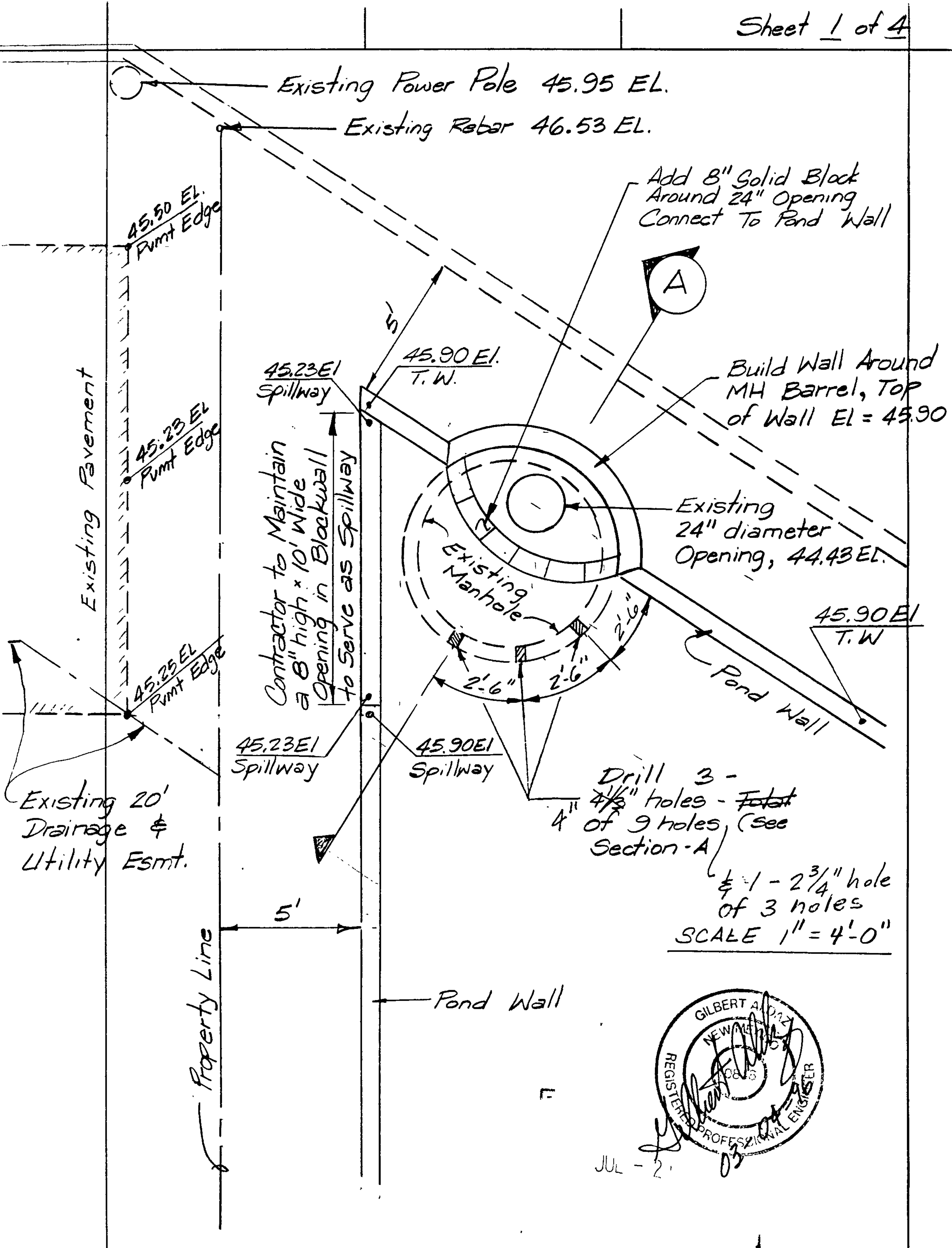
Drill 3 -
4 1/8" holes - ~~Total~~
of 9 holes (see
Section - A)

& 1 - 2 3/4" hole
of 3 holes
SCALE 1" = 4'-0"

Pond Wall



JUL - 2 - 03



22-141 50 SHEETS
22-142 100 SHEETS
22-144 200 SHEETS

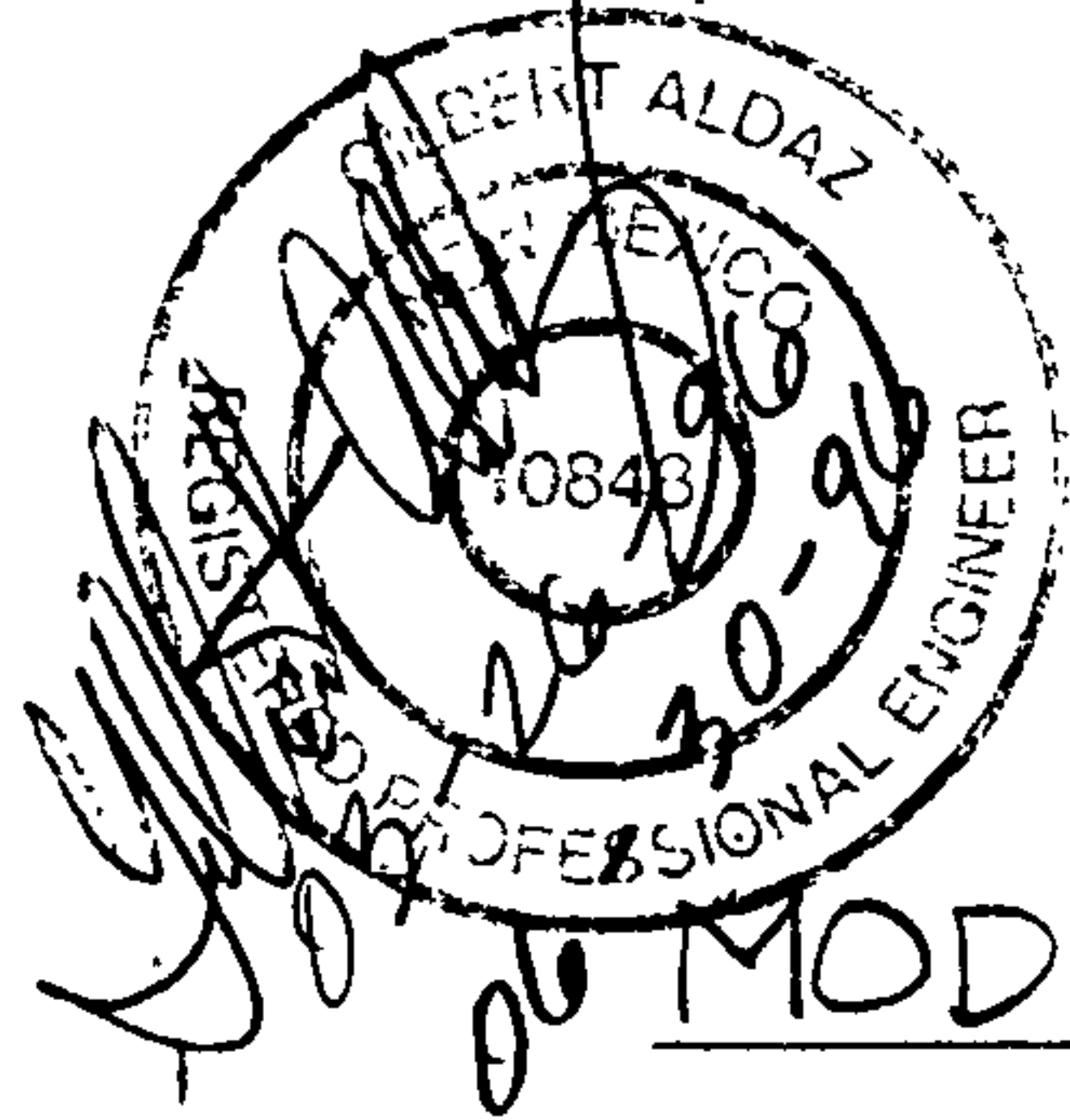


* As-Built

4 1/8" holes
3- 4" holes
& 1- 2 3/4" hole
each row

3-26-96/Revision No. 1: Change Wall & Footing to Monolithic Concrete Thrust Block 3'-6" x 38" Wide

Pond Bottom
El. = 40.0



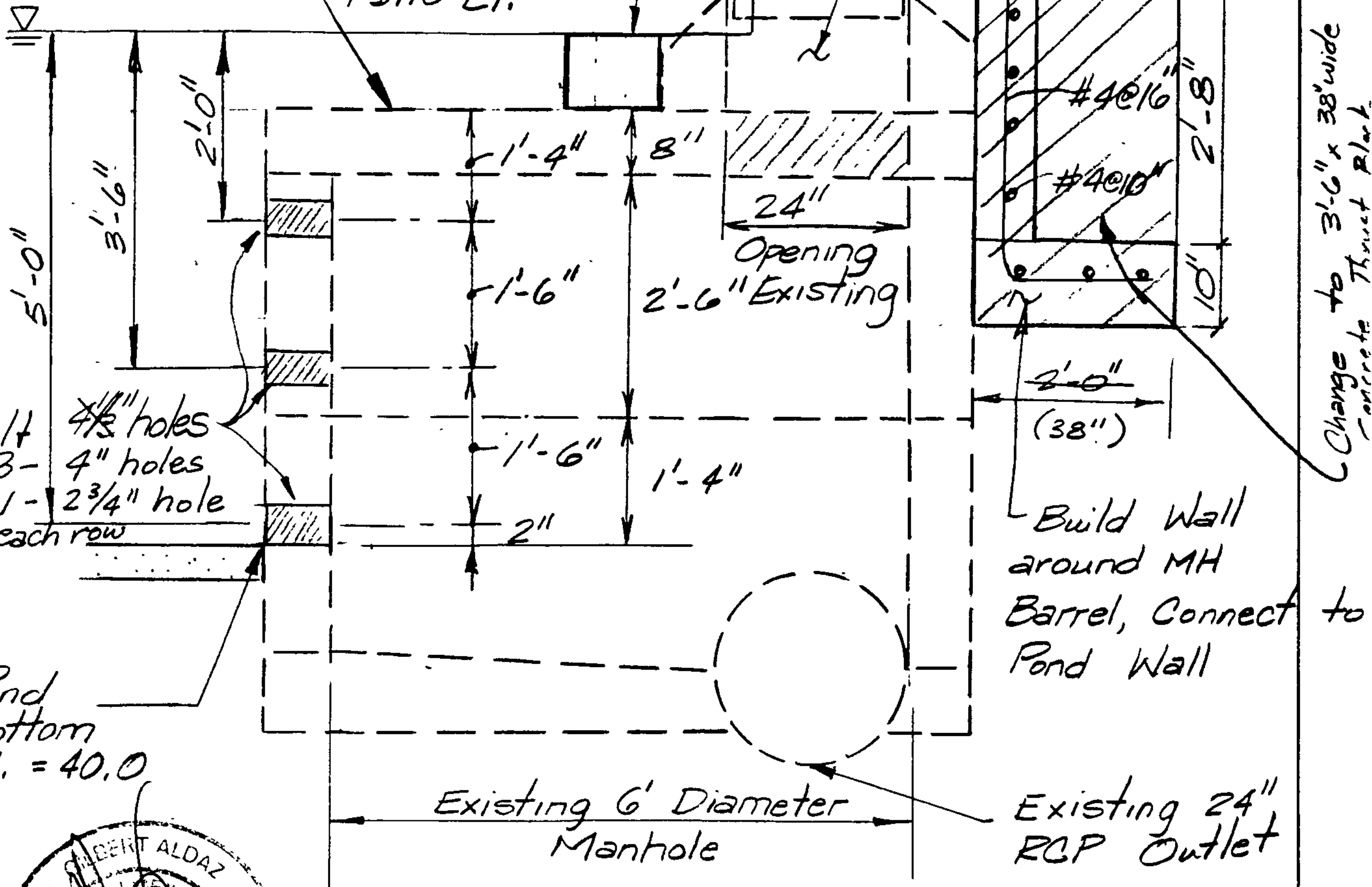
45.65 El. Top of
Existing Rim

44.43 El. Top
of Existing
Cover

Add 8" Solid
Block Around 24"
Opening Connect
to Pond Wall
45.10 El.

Remove Existing
Frame & Cover

Top of Wall
Elev. = 45.90



SECTION A

A

SCALE 1" = 2'-0"

MODIFICATIONS TO EXISTING TYPE "E" MANHOLE

Note: Contractor is to clean all exposed joints then grout or add joint sealant to assure a water tight seal for the existing manhole. The only openings allowed are the 9 - 4 1/8" diameter holes, and the existing 24" opening.

JUL - 2 1996

3/28/96

$$\begin{array}{ll} d = 4\frac{1}{2}" & A = 47.7 \text{ in}^2 \\ d = 4" & A = 37.7 \text{ in}^2 \end{array} \quad \left. \vphantom{\begin{array}{l} d = 4\frac{1}{2}" \\ d = 4" \end{array}} \right\} 43.5 \text{ in}^2$$

$$(43.5 - 37.7) = 5.8 \text{ in}^2$$

$$5.8 = \frac{\pi d^2}{4} \quad d = \left(\frac{4 \times 5.8}{\pi} \right)^{1/2} = \underline{2\frac{3}{4}"}$$

3-4" holes & 1-2 $\frac{3}{4}$ " hole each Row

Revision due to 4 $\frac{1}{3}$ " diameter bit not available

Orifice Control

$$Q = CA\sqrt{2gh}$$

$$Q_{\text{ALLOWED}} = 8.75 \text{ cfs}$$

$$Q = CA\sqrt{2gh_1} + CA\sqrt{2gh_2} + CA\sqrt{2gh_3}$$

$$h_1 = 2' , h_2 = 3'-6" , h_3 = 5'-0"$$

$$C = 0.65 \quad Q = 8.75 \text{ cfs} \quad g = 32.2 \text{ ft/sec}^2$$

$$Q = 0.65 A \sqrt{2 \times 32.2 \times 2'} + 0.65 A \sqrt{2 \times 32.2 \times 3.5'} + 0.65 A \sqrt{2 \times 32.2 \times 5.0'}$$

$$Q = 7.38A + 9.76A + 11.66A$$

$$Q = 28.80A = 8.75 \text{ cfs}$$

$$A = \frac{8.75}{28.80}$$

$$A = 0.30 \text{ ft}^2 = 43.5 \text{ in}^2$$

Try 3 holes

$$3 \times \frac{\pi d^2}{4} = \underline{43.5 \text{ in}^2} , \quad d = \left(\frac{4 \times 43.5}{3\pi} \right)^{1/2}$$

$$d = 4.29"$$

drill 3 - 4 1/3" diameter holes at each level.

Size Spillway Opening

$$Q = CLH^{3/2} \quad H = 45.90 - 45.23 = 0.67'$$

$$C = 3.0 , \quad Q = 15.33 \text{ cfs}$$

$$L = \left(\frac{Q}{CH^{3/2}} \right) = \frac{15.33}{3.0 \times (0.67)^{3/2}} = 9.3 \text{ feet}$$

JUL - 2 1993

As-Built

Due to Core Drills not available
with a diameter of $4\frac{1}{3}$ inches
Contractor was instructed and
drilled 3 - 4" holes and 1 - $2\frac{3}{4}$ "
hole due to availability of core bits.

Total Required diameter Area Per Calculations

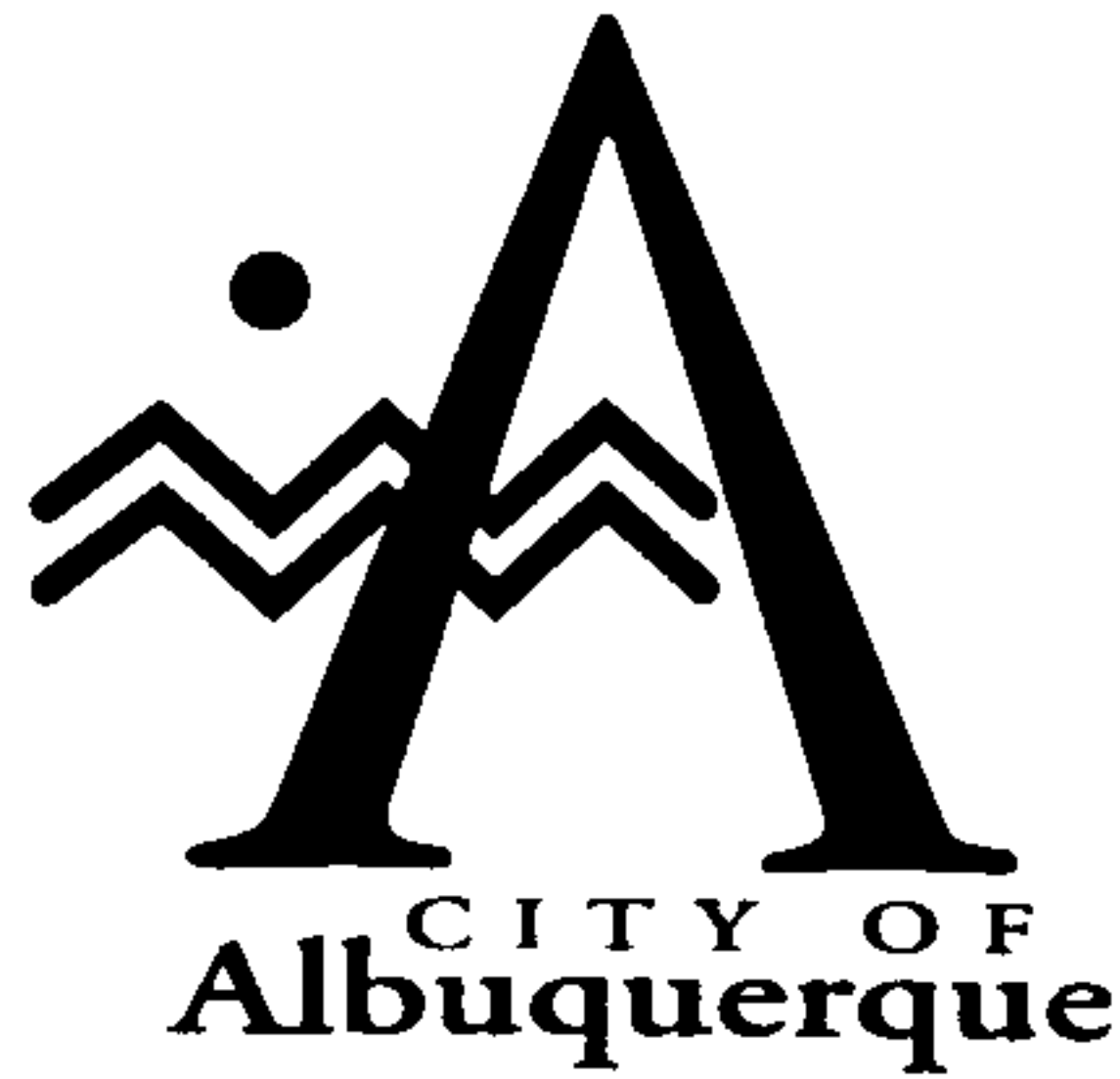
$$3 \times \frac{\pi (4\frac{1}{3})^2}{4} = \underline{\underline{43.5 \text{ in}^2}}$$

Check 3 - 4" and 1 - $2\frac{3}{4}$ " diameter

$$3 \times \frac{\pi (4")^2}{4} + \frac{\pi (2\frac{3}{4})^2}{4} = 43.6 \text{ in}^2 \approx 43.5 \text{ in}^2$$

OK





May 29, 1996

Martin J. Chávez, Mayor
Gilbert Aldaz
Aldaz Engineering & Surveying
1605 Blair Dr. NE
Albuquerque, NM 87112

RE: TEMPORARY CERTIFICATE OF OCCUPANCY FOR GOLDEN TARGET
STORAGE (F20-D25) TEMPORARY CERTIFICATION STATEMENT
DATED 5/19/96.

Dear Mr. Aldaz:

Based on the information provided on your May 20, 1996 submittal,
temporary Certificate of Occupancy for the above referenced site
for the office/apartment is acceptable.

Please be advised that a new submittal will be required for the
permanent Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia

File



DRAINAGE INFORMATION SHEET

PROJECT TITLE: GOLDEN TARGET STORAGE ZONE ATLAS/DRNG. FILE #: F-20/D25
 DRB #: 95-336 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: TRACT 11-C, BLOCK 11, OF IMIANO GUTIERREZ TERRACE SUBD
 CITY ADDRESS: MONTGOMERY BLVD, BETWEEN WYOMING & LA BARRANCA
 ENGINEERING FIRM: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
 ADDRESS: 1605 BLAIR DRIVE PHONE: 237-1456
 OWNER: GEORGE KOURY CONTACT: George Koury
 ADDRESS: 1717 LOUISIANA NE, SUITE 118 PHONE: 262-1323
 ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
 ADDRESS: 1118 PARK AV SW, 87102 PHONE: 242-1859
 SURVEYOR: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER TEMPORARY (SPECIFY)

CERTIFICATION FOR
OFFICE / APARTMENT (60 days)

DATE SUBMITTED: _____

BY: _____

05-20-96

MAY 20 1996



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 7, 1996

Gilbert Aldaz
Aldaz Engineering & Surveying Inc.
1605 Blair Drive SE
Albuquerque, NM 87112

RE: REVISION TO GOLDEN TARGET STORAGE OUTFALL CONCEPT (F20-D25)
ENGINEER'S STAMP DATED 3/4/96.

Dear Mr. Aldaz:

Based on the additional information provided on your March 5, 1996 submittal, modifications to the existing type "E" manhole are acceptable.

Please be advised that it is critical that your design be implemented as approved. Engineer Certification on the system will also be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: GOLDEN TARGET STORAGE ZONE ATLAS/DRNG. FILE #: F-20/D25
 DRB #: 95-336 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: TRACT 11-C, BLOCK 11, OF IMIANO GUTIERREZ TERRACE SUBD
 CITY ADDRESS: MONTGOMERY BLVD, BETWEEN WYOMING & LA BARRANCA
 ENGINEERING FIRM: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
 ADDRESS: 1605 BLAIR DRIVE PHONE: 237-1456
 OWNER: GEORGE KOURY CONTACT: George Koury
 ADDRESS: 1717 LOUISIANA NE, SUITE 118 PHONE: 262-1323
 ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
 ADDRESS: 1118 Park Av SW, 87102 PHONE: 242-1859
 SURVEYOR: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
X OTHER ADDENDUM

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D. APPROVAL
 ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
X OTHER Hydrology Approval (SPECIFY)

PRE-DESIGN MEETING:

____ YES
 ____ NO
 ____ COPY PROVIDED

DATE SUBMITTED:

03-04-96

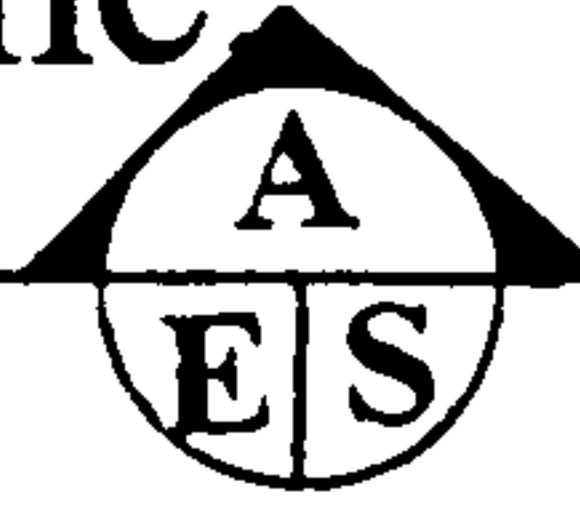
BY:

Gilbert Aldaz

MAR 1996

Aldaz Engineering and Surveying, Inc

Civil Engineering, Land Planning & Surveying



March 4, 1996

Mr. Bernie Montoya
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM

RE: REQUEST TO UTILIZE EXISTING MANHOLE AT GOLDEN TARGET
SELF STORAGE (F 20 / D 25)

Dear Mr. Montoya:

The owner of the above referenced site has requested that I provide you with the necessary calculations and modifications needed to salvage the existing manhole. I was unable to provide this information on the original submittal because we were not able to locate the manhole during the design survey, it was covered with existing pavement.

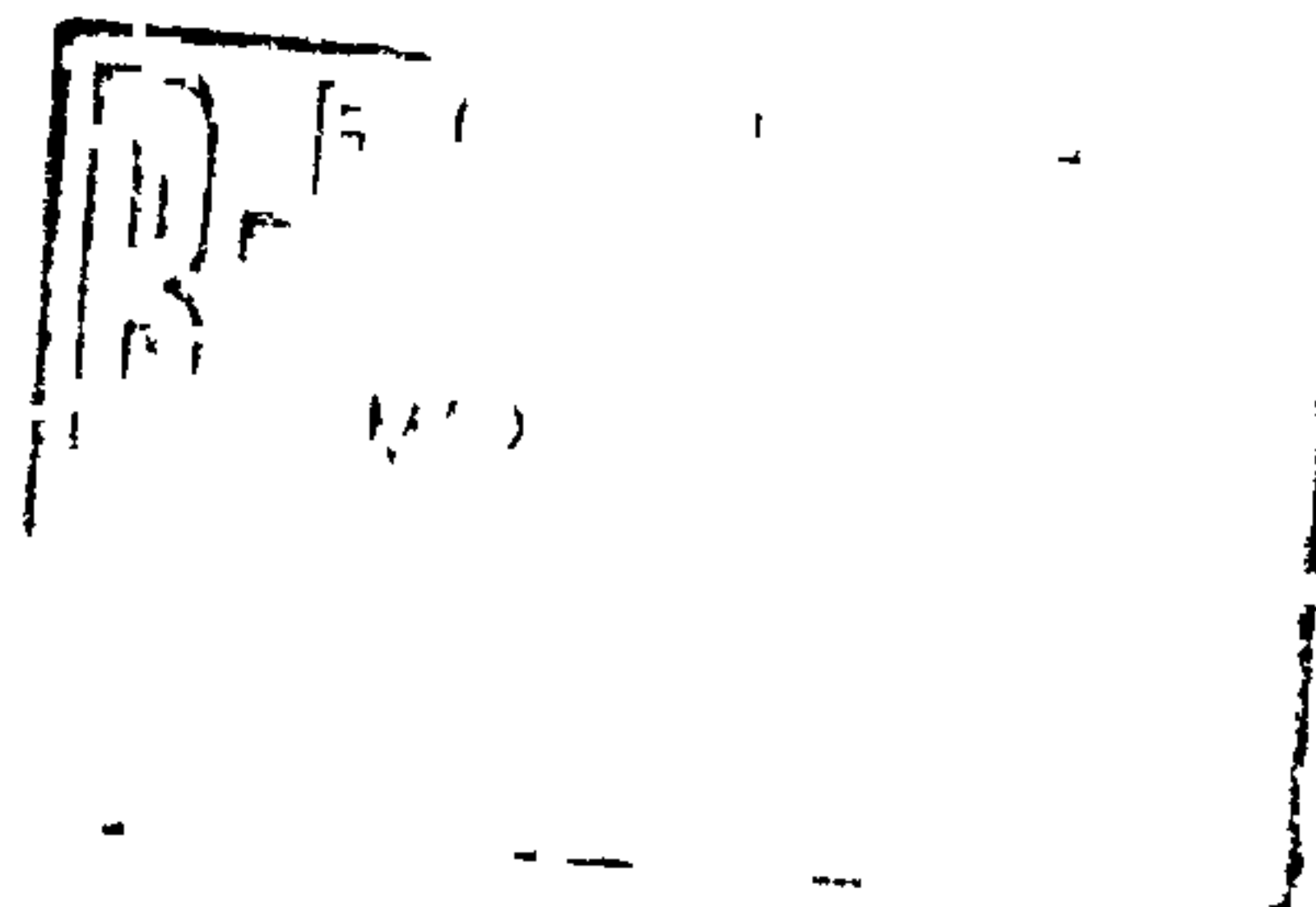
The manhole is a 6 foot diameter, type "E". Based on the attached calculations and re-sizing of the drilled holes for maintaining the orifice control, and raising the spillway elevation to account for the volume taken up by this existing manhole, the manhole will function appropriately. Due to the concrete contractor wanting to complete this work in the next couple of weeks we would appreciate a response as soon as practical, even a verbal.

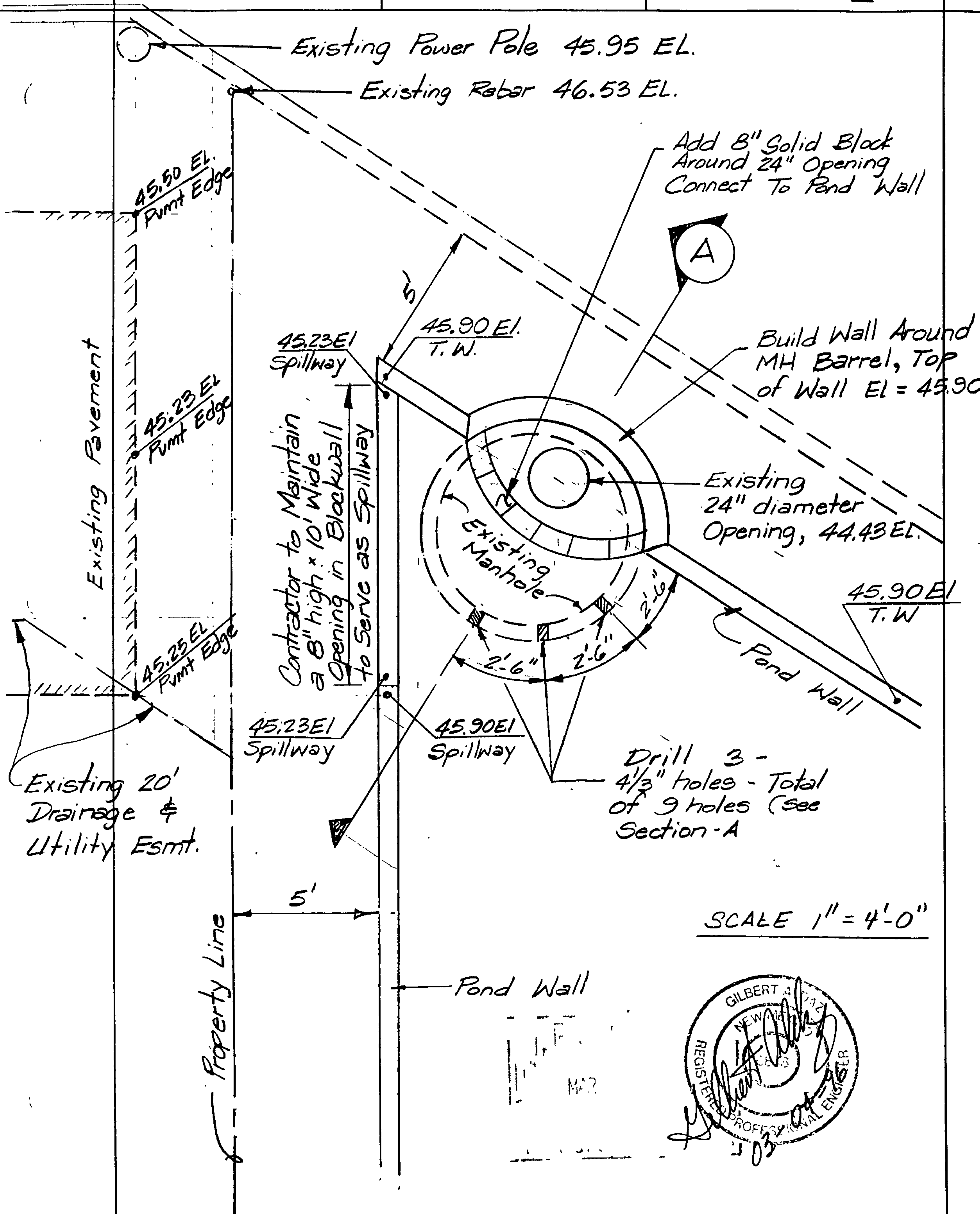
If you should have any questions, please do not hesitate to call me at 237-1456.

Sincerely,

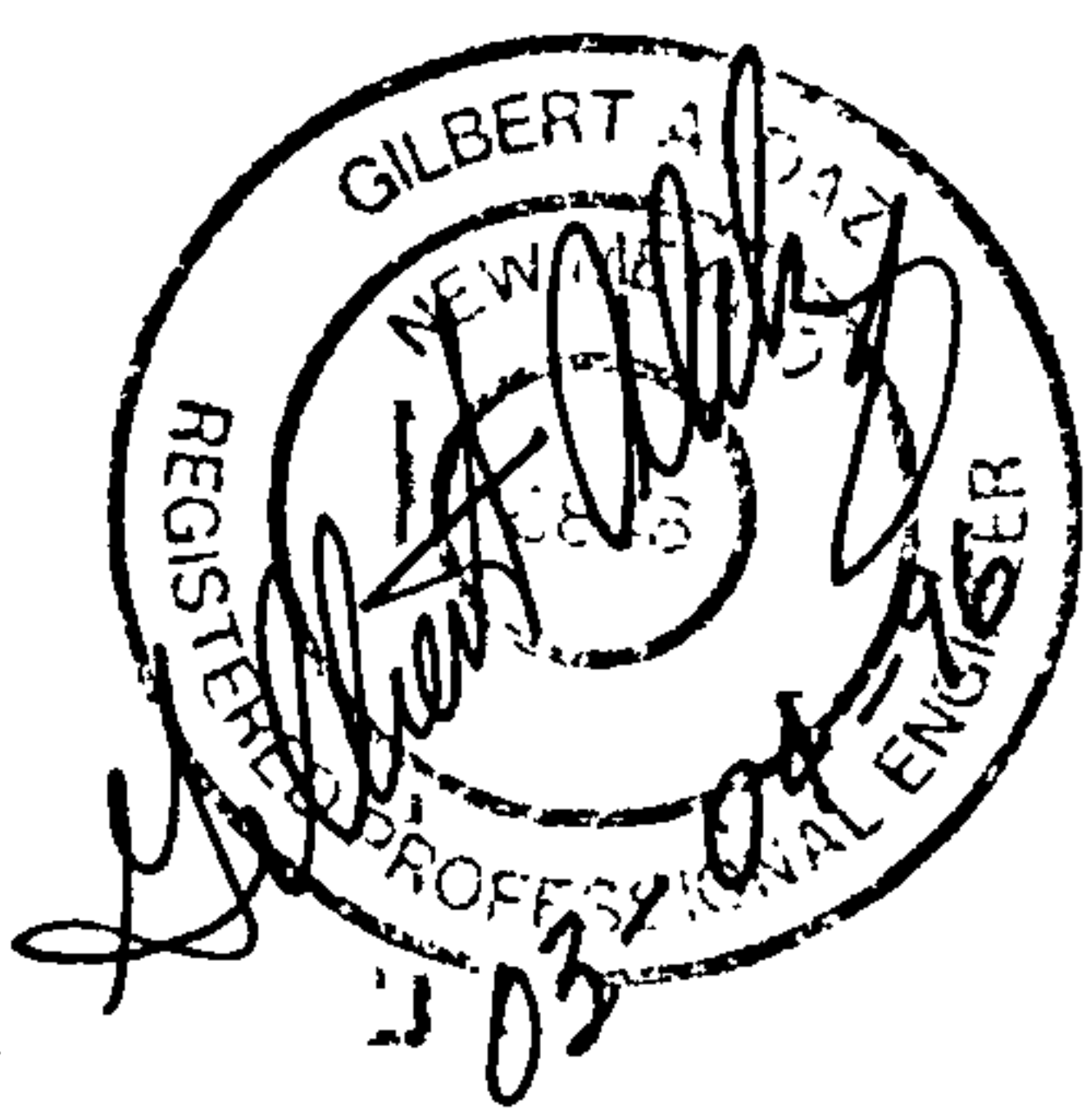
Gilbert Aldaz, P.E. and P.S.

xc: Rick Bennett
Janet Brooks, Triumph Construction

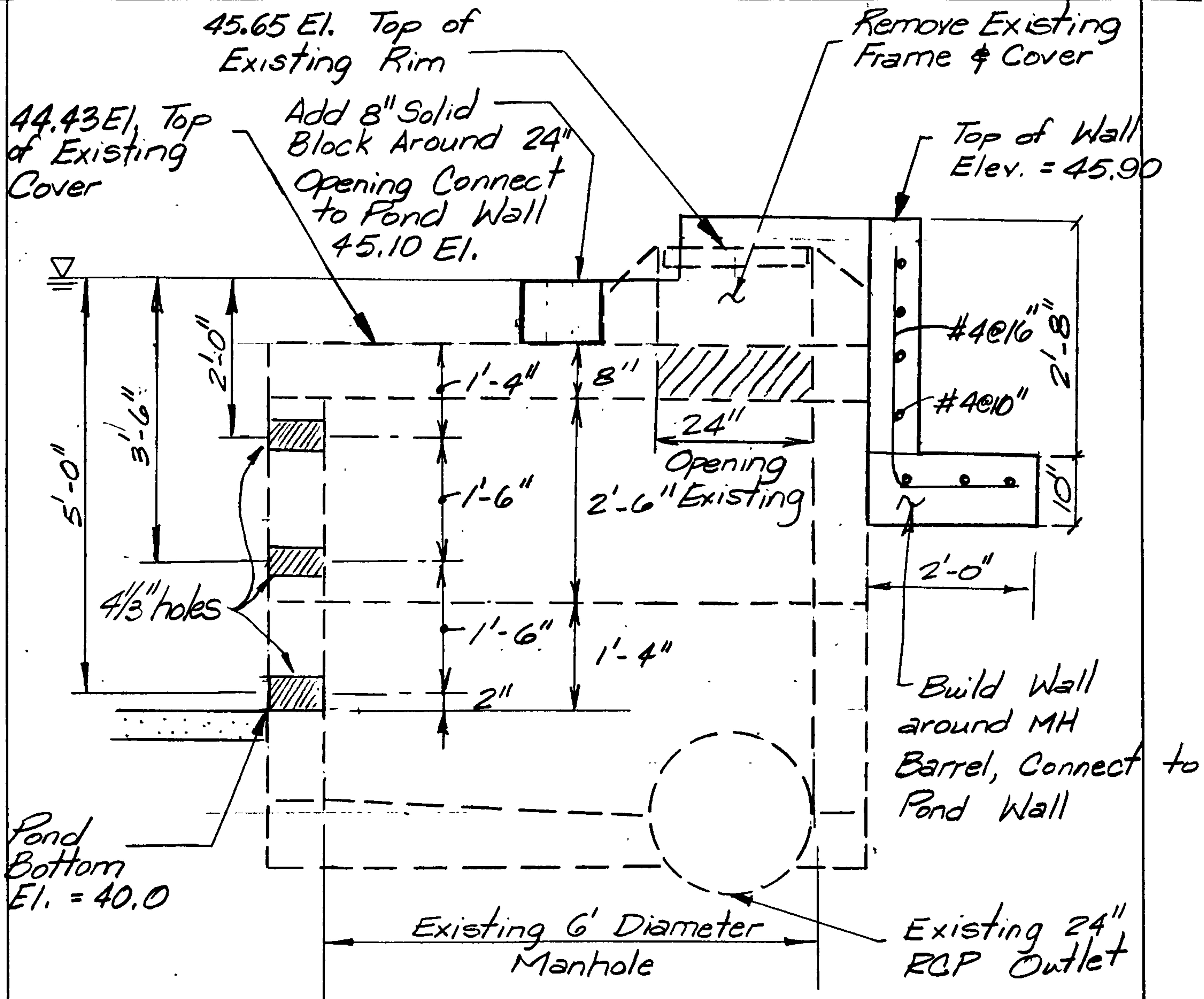




SCALE 1" = 4'-0"



22-141 50 SHEETS
22-142 100 SHEETS
22-144 200 SHEETS



SECTION A (A)
SCALE 1" = 2'-0"

MODIFICATIONS TO EXISTING TYPE "E" MANHOLE

Note: Contractor is to clean all exposed joints then grout or add joint sealant to assure a watertight seal for the existing manhole. The only openings allowed are the 9 - 4 1/3" diameter holes, and the existing 24" opening.

Orifice Control

$$Q = CA\sqrt{2gh}$$

$$Q_{\text{ALLOWED}} = 8.75 \text{ cfs}$$

$$Q = CA\sqrt{2gh_1} + CA\sqrt{2gh_2} + CA\sqrt{2gh_3}$$

$$h_1 = 2' , h_2 = 3'-6" , h_3 = 5'-0"$$

$$C = 0.65 \quad Q = 8.75 \text{ cfs} \quad g = 32.2 \text{ ft/sec}^2$$

$$Q = 0.65 A \sqrt{2 \times 32.2 \times 2'} + 0.65 A \sqrt{2 \times 32.2 \times 3.5'} + 0.65 A \sqrt{2 \times 32.2 \times 5.0'}$$

$$Q = 7.38A + 9.76A + 11.66A$$

$$Q = 28.80A = 8.75 \text{ cfs}$$

$$A = \frac{8.75}{28.80}$$

$$A = 0.30 \text{ ft}^2 = 43.5 \text{ in}^2$$

Try 3 holes

$$3 \times \frac{\pi d^2}{4} = 43.5 \text{ in}^2, \quad d = \left(\frac{4 \times 43.5}{3\pi} \right)^{1/2}$$

$$d = 4.29"$$

drill 3 - 4 1/3" diameter holes at each level.

Size Spillway Opening

$$Q = CLH^{3/2} \quad H = 45.90 - 45.23 = 0.67'$$

$$C = 3.0, \quad Q = 15.33 \text{ cfs}$$

$$L = \left(\frac{Q}{CH^{3/2}} \right) = \frac{15.33}{3.0 \times (0.67)^{3/2}} = 9.3 \text{ feet}$$



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 5, 1996

Gilbert Aldaz
Aldaz Engineering & Surveying Inc.
1605 Blair Drive SE
Albuquerque, NM 87112

RE: REVISED DRAINAGE PLAN FOR GOLDEN TARGET STORAGE
(F20-D25) REVISION DATED 11/22/95.

Dear Mr. Aldaz:

Based on the information provided on your January 31, 1996 resubmittal, the above referenced site is approved for Grading & Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

Please advise your client that because the storage units are non-habitable and the Flood plain Ordinance does not apply. It would be advisable for them to purchase insurance for the contents.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
Rick Bennett
George Koury
File

PROJECT TITLE: GOLDEN TARGET STORAGE ZONE ATLAS/DRNG. FILE #: F-20/1025
DRB #: 95-336 EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TRACT 11-C, BLOCK 11, OFIMIANO GUTIERREZ TERRACE SUBD
CITY ADDRESS: MONTGOMERY BLVD, BETWEEN WYOMING & LA BARRANCA
ENGINEERING FIRM: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
ADDRESS: 1605 BLAIR DRIVE PHONE: 237-1456
OWNER: GEORGE KOURY CONTACT: George Koury
ADDRESS: 1717 LOUISIANA NE, SUITE 118 PHONE: 262-1323
ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
ADDRESS: 1118 PARK AV SW, 87102 PHONE: 242-1859
SURVEYOR: ALDAZ ENGR & SURVEYING, INC CONTACT: GILBERT ALDAZ
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER _____

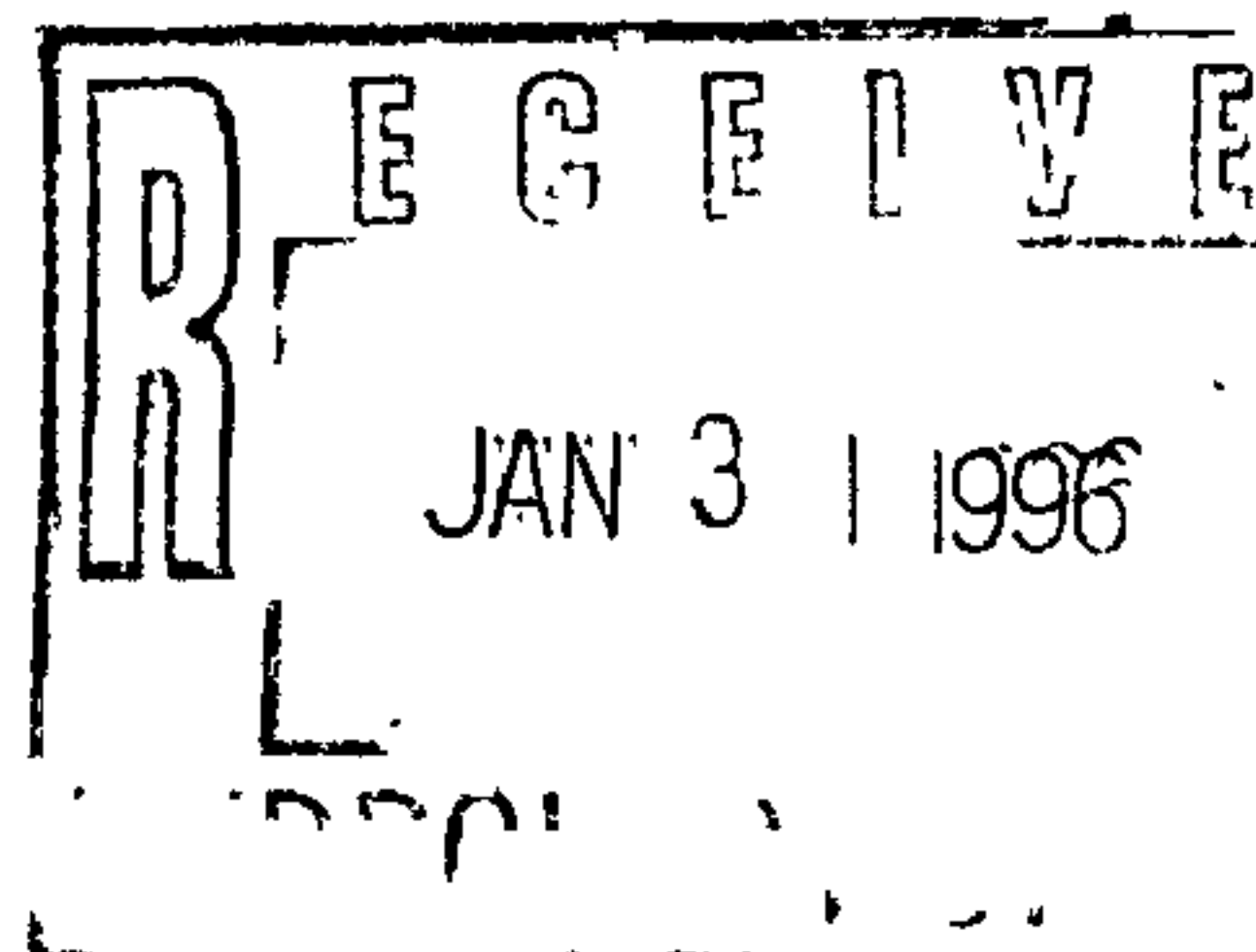
PRE-DESIGN MEETING:

☒ YES
____ NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 01-30-96
BY: Gilbert Alib





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 1995

Gilbert Aldaz
Aldaz Engr. & Surveying Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

RE: DRAINAGE PLAN FOR GOLDEN TARGET STORAGE (F20-D25)
ENGINEER'S STAMP DATED 9/19/95.

Dear Mr. Aldaz:

Based on the information provided on your September 20, 1995 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Spillway opening is not within the 20' easement.
2. Pond bottom must be impervious because of the close proximity to the adjacent properties and the proposed storage unit.
3. Finish floors must be to full mean sea level designation.
4. 100-year water surface elevation on the plan drawing.
5. Location & direction of roof drains.
6. Check your finish floor elevations, they must be 2' above the flow line per Ordinance.
7. T.B.M. location & elevation must be permanently marked.
8. Concurrence from Glenn Jurgensen of Arroyo Maintenance for connection onto the existing man hole in case they need the opening for maintenance purposes.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya, CE
Engineering Associate

c: Andrew Garcia
File

Aldaz Engineering and Surveying, Inc.
Civil Engineering, Land Planning & Surveying



January 25, 1996

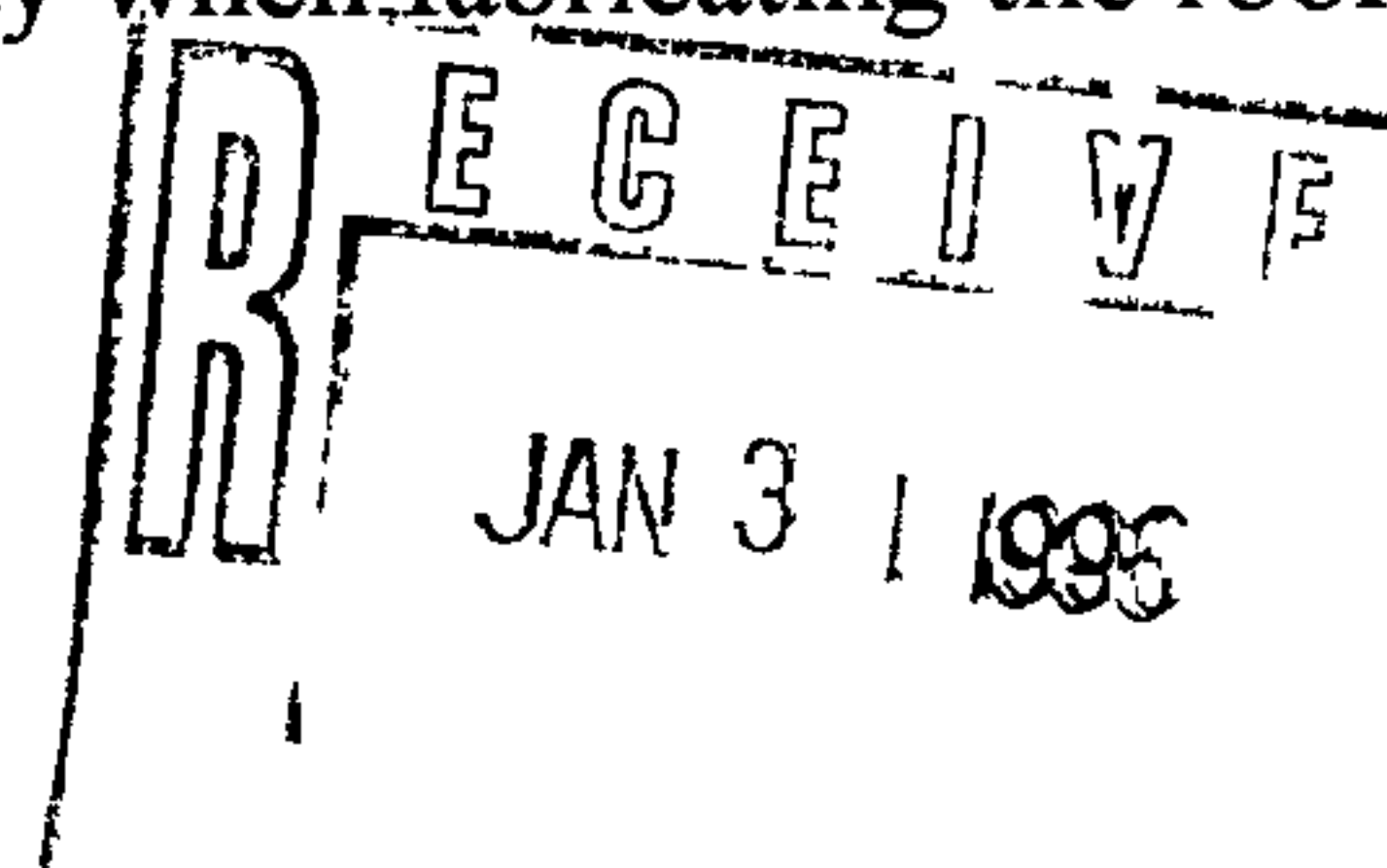
Mr. Bernie Montoya
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM

RE: RESPONSE TO YOUR COMMENTS DATED SEPTEMBER 28, 1995, FOR
GOLDEN TARGET SELF STORAGE

Dear Mr. Montoya:

Your comments have been addressed as follows:

1. The spillway opening has been resized to fit the 20' easement resulting in a net opening of a 9' width to convey the Q100.
2. A 4" thick concrete slab has been added to the pond bottom.
3. Due to the number of finish floor elevations on this plan, I would ask to allow a note on the legend which states, "add 5400 feet to all elevations on this plan in order to establish full mean sea level designation." The office building is now shown to a full mean sea level designation.
4. The 100 year water surface elevation is zone AO (Depth 1 foot) and is now shown on the plan per the F.I.R.M. Map.
5. Roof slope directions have been added to all storage buildings along the exterior property line, which show flows have to be drained into this site. A note has been added to the legend as well. No roof directions have been added to the interior storage buildings since all flow arrives at the same outfall, also this will allow the manufacturer some flexibility when fabricating the roof systems.

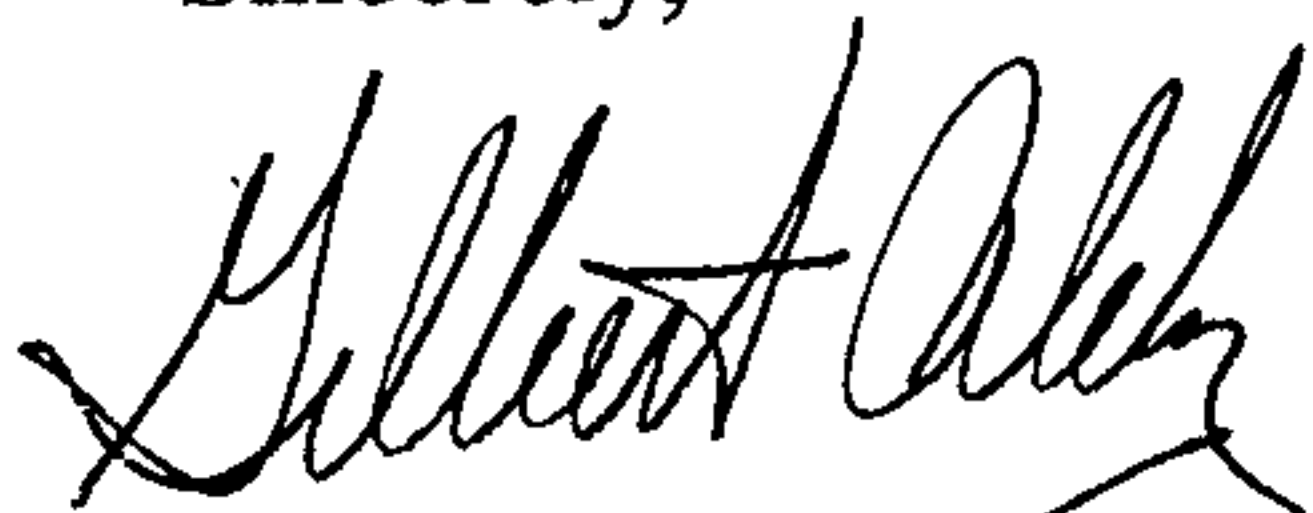


January 25, 1996
Letter to B. Montoya
Page 2

6. The office building has been raised to be two feet above the flowline of Montgomery Boulevard. We would ask that the storage buildings be given a variance from this requirement since they will not be occupied by individuals. Also, the existing waterblock that was built and designed by the existing Golden Corral Restaurant will be maintained from Montgomery Boulevard.
7. The permanent benchmark is 150 feet east of the Southeast Corner of this site. The permanent benchmark location is now shown on the plan. The contractor is able to set up on the Southeast corner and backside the permanent benchmark and will be able to establish elevations on site. We would ask that a T.B.M. not be required due to the proximity of the permanent B.M.
8. I have met with Glen Jurgenson, since this system between the manhole the Golden Corral Restaurant is privately maintained, he has no objection. Glen did give me some input on the standpipe details which I am incorporating into the design.

If you should have any questions, please do not hesitate to call me at 237-1456. A building permit approval would be appreciated.

Sincerely,



Gilbert Aldaz, P.E. and P.S.

xc: Rick Bennett

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: F-20 DATE: 8/4/95

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: _____

STREET ADDRESS: _____

LEGAL DESCRIPTION: TRACT 11-C1

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN X BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER _____

ATTENDANCE: WHO REPRESENTING
Gilbert Aldaz Aldaz Engineering & Surveying
Bernie J. Montoya C.O.A.

- FINDINGS: plan
1. Drainage per D.P.M. requirements prior to Building Permit release.
 2. Follow masterplan design other than new Hydrology Criteria must be implemented for both on-site and downstream conditions. (F20-D20)
 3. Allowable discharge rate of 8.75 cfs may increase because of the new criteria change. (N.A. ↑ will remain the same)
 4. If site is developed in phases, Phasing plan must be implemented.
 5. If drainage easement is a public easement, any connections must be processed through D.R.C.

SEP 20 1995

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Gilbert Aldaz SIGNED: Bernie J. Montoya
TITLE: Engineer TITLE: Engineering Associate
DATE: 08-03-95 DATE: 8/3/95

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

Aldaz Engineering and Surveying INC.
Civil Engineering, Land Planning & Surveying



September 20, 1995

Mr. Bernie Montoya
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM

**RE: GRADING & DRAINAGE PLAN FOR GOLDEN TARGET SELF
STORAGE**

Dear Mr. Montoya:

The purpose of this letter is to request your input on modifying the existing manhole at the northwest corner of the site. I have attached the easement language for the storm drain system built on this property which extends south to the Golden Coral Restaurant. It is not clear that this storm drain is a public system based on the easement language attached. The plat identifies the easement as a 10' private drainage easement; however the storm drain was built per work order no. 3363.

We would request that the manhole be allowed to be modified to an orifice control standpipe. We would also request due to the minor alteration this would not require DRC approval. Your assistant will be appreciated.

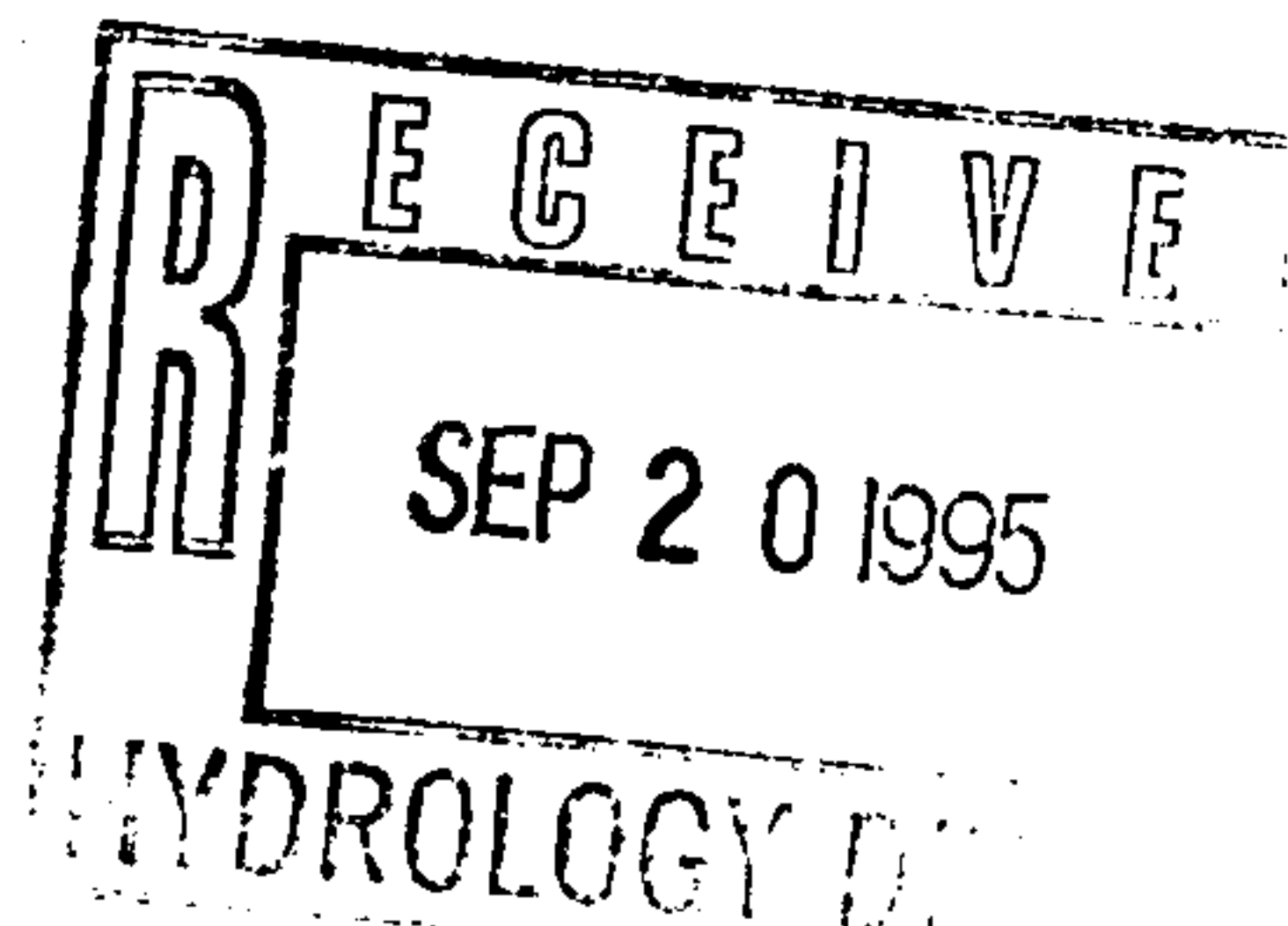
Please call me at 237-1456 if you have any questions or concerns.

Sincerely,

Gilbert Aldaz, P.E. & P.S.

ksa

xc: Rick Bennett
George Koury



83 80499

510

GRANT OF ACCESS EASEMENT
FOR
INGRESS AND EGRESS
AND
DRAINAGE AND UTILITY FACILITIES

THIS INDENTURE made and executed this 19th day of August, 1983, by the CITY OF ALBUQUERQUE, a Municipal Corporation, in the County of Bernalillo and State of New Mexico, hereinafter called the Grantor, to MARGUERITE G. COLLITON, ROWENA G. BORDE, JEANNETTE G. SCHWAN, and the ESTATE OF CORDELIA G. JEFFCOAT, deceased, the OWNERS of Tract 11-C Ofimiano J. Gutierrez Lower Terrace Subdivision, as shown on the plat of said Subdivision filed in the office of the Clerk of Bernalillo County, New Mexico, on January 29, 1960, hereinafter called "Grantees",

WITNESSETH, that, in consideration of the quitclaiming to the City of Albuquerque, New Mexico, of the property described on Exhibit "A" annexed hereto and other good and valuable consideration, the receipt of which is hereby acknowledged, Grantor hereby grants to the Grantees a permanent easement as right-of-way for ingress and egress and utility and drainage facilities, including the permanent right to enter upon the real estate hereinafter described at any time, over the property in Bernalillo County, New Mexico, described on Exhibit "A" (hereinafter referred to as the "A" property), and over the property in Bernalillo County, New Mexico, described on Exhibit "B" (hereinafter referred to as the "B" property).

GRANTOR, City of Albuquerque, New Mexico, also agrees to construct forthwith and maintain a drainage facility which shall be

surface drain the City of Albuquerque property shown on the above plat from a point 75 feet from the westerly boundary of the "B" property, from a drop inlet thereon, underground beneath the westerly 75 feet of the "B" property and beneath the "A" property, to Wyoming Boulevard. The City further agrees to connect the drainage facility to existing stub out on the East side of Wyoming Boulevard.

The GRANTEES, for themselves, successors, and assigns, agree that at the time of development of Tract 11-C they will construct or cause to be constructed a facility to match the facility constructed by the City, as aforesaid, under the easterly 225 feet of the "B" property, in accordance with plans and specifications furnished by City. From and after construction of such matching facility, the City of Albuquerque will maintain the same.

After construction of the drainage facility the City will hold GRANTEES harmless from any liability which may result from drainage of water from the westerly boundary of Tract 11-C westward.

The rights and easements granted hereunder are for the benefit of the Grantees, their heirs, devisees, successors and assigns and for the benefit of Tract 11-C of Ofimiano J. Gutierrez Lower Terrace Subdivision and shall run with the said parcel, as a benefit thereto.

As part of the consideration for this grant, GRANTOR and GRANTEES agree that after construction of the matching drainage facility by GRANTEES no obstruction shall be permitted to

exist in the easement and specifically no part thereof shall be used to park any vehicles.

WITNESS our hand and seal this 19 day of August, 1983.

APPROVED:

Walter H. Nickerson
Walter H. Nickerson
Chief Engineer
Water Resources Department

THE CITY OF ALBUQUERQUE, NEW MEXICO
A Municipal Corporation

By Frank A. Klement
Chief Administrative Officer

STATE OF NEW MEXICO)
(ss:
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 19 day of August, 1983, by Frank A. Klement, on behalf of the City of Albuquerque, New Mexico, a Municipal Corporation.

My Commission Expires:

4-14-85

Loane P. Shull
Notary Public

DRAINAGE INFORMATION SHEET

PROJECT TITLE: GOLDEN TARGET STORAGE ZONE ATLAS/DRNG. FILE #: F-20/025
 DRB #: 95-336 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: TRACT 11-C, BLOCK 11, OF IMIANO GUTIERREZ TERRACE SUBD
 CITY ADDRESS: MONTGOMERY BLVD, BETWEEN WYOMING & LA BARRANCA
 ENGINEERING FIRM: ALDAR ENGR & SURVEYING, INC CONTACT: GILBERT ALDAR
 ADDRESS: 1605 BLAIR DRIVE PHONE: 237-1456
 OWNER: GEORGE KOURY CONTACT: George Koury
 ADDRESS: 1717 LOUISIANA NE, SUITE 118 PHONE: 262-1323
 ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
 ADDRESS: 1118 PARK AV SW, 87102 PHONE: 242-1859
 SURVEYOR: ALDAR ENGR & SURVEYING, INC CONTACT: GILBERT ALDAR
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☒ YES
☐ NO
☐ COPY PROVIDED

RECEIVED
 SEP 20 1995

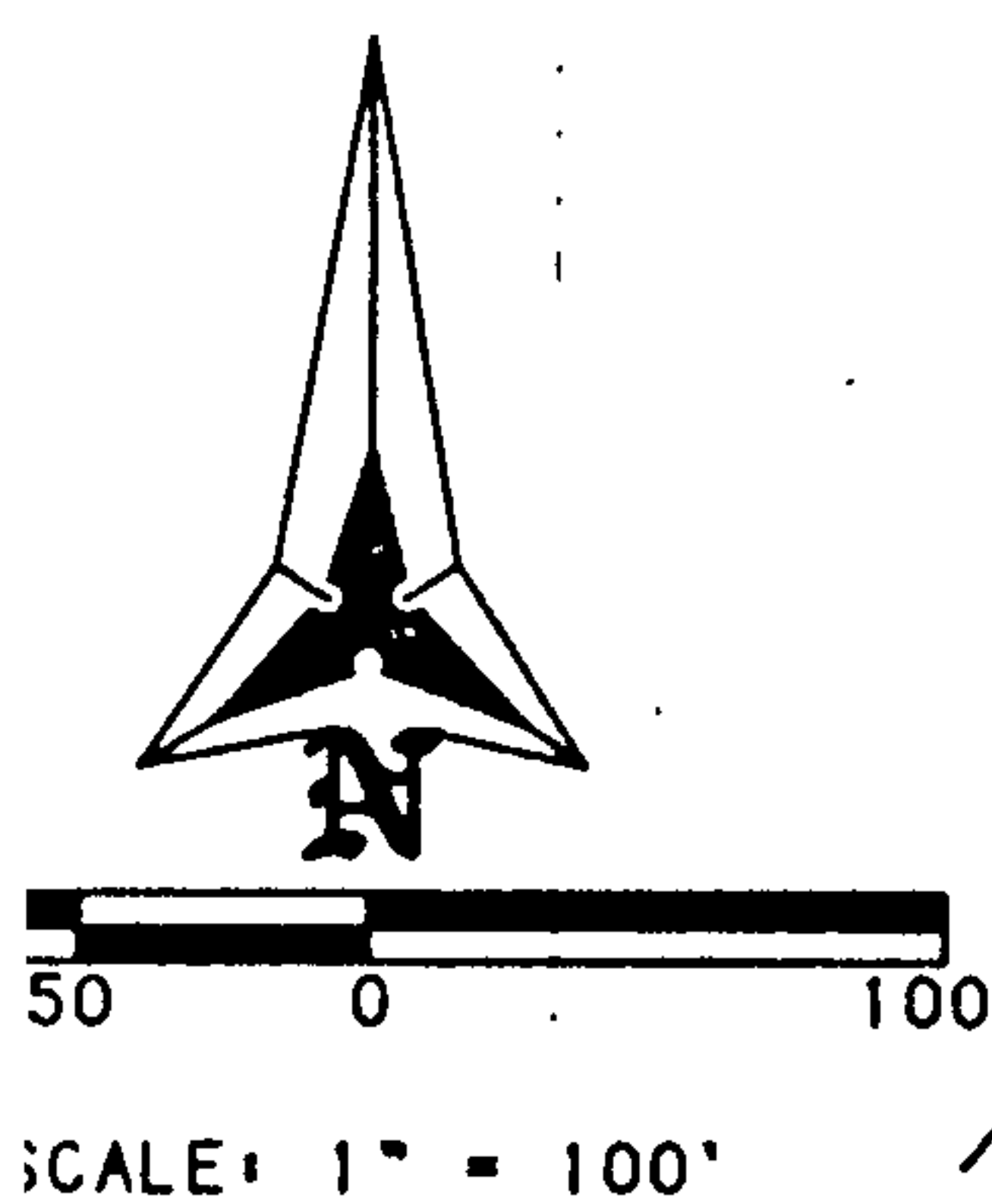
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 09-20-95
 BY: Gilbert Aldar

Received
 Carla A Montoya
 9-20-95

PROJECT LOCATION



Existing 20' Access,
Utility, and Drainage
Easement.
Doc. No. 83 80499

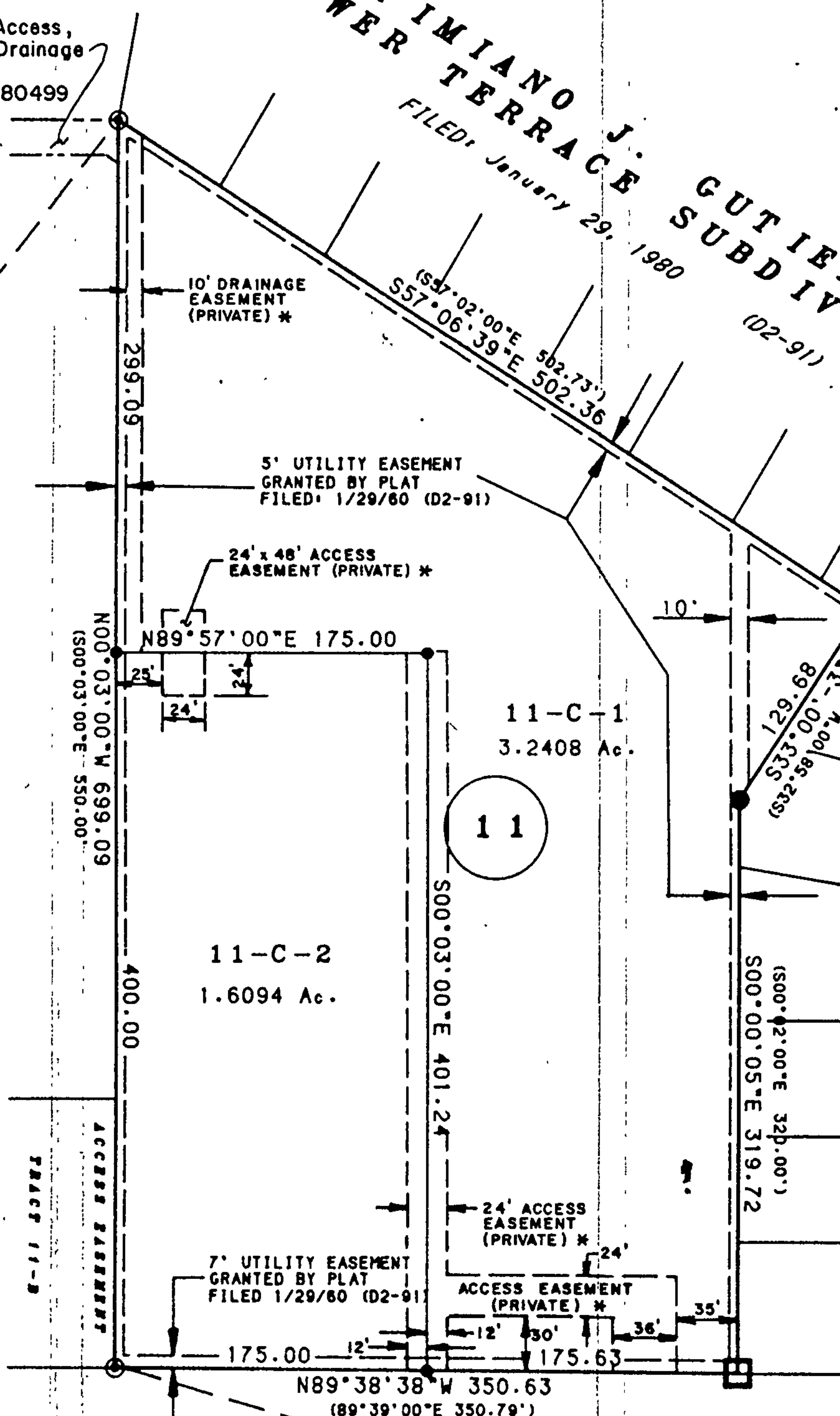
OFIMIANO J. GUTIERREZ
LOWER TERRACE SUBDIVISION
FILED: January 29, 1980
(D2-91)

State of New Mexico
County of Bernalillo
This instrument was

NOV 11 1980
At 1:51 o'clock P.M.
of records of said County

CITY OF ALBUQUERQUE
PROPERTY

ACS Brass Tablet stamped "9-F19"
N.M. State Plane Coordinates (Central Zone)
X= 410,118.95 Y= 1,502,986.01
Ground-to-Grid Factor = 0.9996495
ΔX= -00°10'23"
Elev. = 5431.544



* EASEMENT GRANTED
WITH THE FILING
OF THIS PLAT.

MONTGOMERY BLVD.

(R - O - W = 106')

N. E. (GRID BEARING = S86°47'4"E)
TIE: S84°04'37"E 531.74'
PLAT BEARING

ACS Brass Tablet stamped "M-2A"
N.M. State Plane Coordinates (Central Zone)
X= 411,199.51 Y= 1,502,925.54
Ground-to-Grid Factor = 0.99964786
ΔX= -00°10'15"
Elev. = 5460.382

DESCRIPTION

A certain tract of land situate within the southwest 1/4 of the southwest 1/4 of Section 32, T11N, R4E, N.M.P.M., Bernalillo County, Albuquerque, New Mexico and being Tract 11-C, Block 11, of OFIMIANO J. GUTIERREZ LOWER TERRACE SUBDIVISION as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on January 29, 1960 in Volume D2, Folio 91 and being more particularly described by plat bearings and ground distances as follows:

BEGINNING at the southwest corner of said Tract 11-C, a point on the northerly right-of-way of Montgomery Boulevard, N.E., whence the ACS Survey Monument "M-2A" (New Mexico State Plane Grid Coordinates for Central Zone: X=411,199.51, Y=1,502,925.54) bears S84°04'37"E, 531.74 feet and from said point of beginning running thence along the westerly boundary of said Tract 11-C, N00°03'00"W, 699.09 feet to the northwesterly corner of said Tract 11-C; thence leaving said westerly boundary and continuing along the northerly boundary of said Tract 11-C,

S57°06'39"E, 502.36 feet to the northeasterly corner of said Tract 11-C; thence leaving said northerly boundary and continuing along the

Project: *Golden Target Self Storage*

Project No.:

27-Sep-95

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D =

0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	3.01	0.00
Treatment B	0.14	0.14
Treatment C	0.00	0.19
Treatment D	0.27	2.78
Total (acres) =	3.42	3.11

Excess Precipitation (E): (Table A-8)	100 yr	10 yr	2 yr
Treatment A	0.66	0.19	0.00
Treatment B	0.92	0.36	0.06
Treatment C	1.29	0.62	0.20
Treatment D	2.36	1.50	0.89

Weighted E:	100 year Existing E*A	100 year Proposed E*A	10 year Existing E*A	10 year Proposed E*A
Treatment A	1.99	0.00	0.57	0.00
Treatment B	0.13	0.13	0.05	0.05
Treatment C	0.00	0.25	0.00	0.12
Treatment D	0.64	6.56	0.41	4.17
Total	2.75	6.93	1.03	4.34

Project:

Project No.:

|::

Weighted E = Total E*A/Total Area

Total Area = 3.42

	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed
Weighted E (inches) =	0.80	2.03	0.30	1.27
Weighted E (feet) =	0.07	0.17	0.03	0.11

Volume = Weighted E * Watershed Area:

	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed
Volume (acre-feet) =	0.23	0.58	0.09	0.36
Volume (cubic feet) =	9,992	25,173	3,729	15,748

Peak Discharge (cfs/acre) = Q(p): (Table A-9)	Q(p) 100 year	Q(p) 10 year	Q(p) 2 year
Treatment A	1.87	0.58	0.00
Treatment B	2.60	1.19	0.21
Treatment C	3.45	2.00	0.78
Treatment D	5.02	3.39	2.04

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A
Treatment A	5.63	0.00	1.75	0.00
Treatment B	0.36	0.36	0.17	0.17
Treatment C	0.00	0.66	0.00	0.38
Treatment D	1.36	13.96	0.92	9.42
Total Q (cfs) =	7.35	14.98	2.83	9.97

Project:

Project No.:

|::

RATIONAL METHOD:

Coefficient C: (Table A-11)	100 year	10 year	2 year
Treatment A	0.35	0.16	0.00
Treatment B	0.48	0.33	0.10
Treatment C	0.64	0.55	0.35
Treatment D	0.93	0.93	0.92
Peak Intensity (in/hour): (Table A-10)	5.38	3.65	2.21

Q = CIA (cfs):	100 year Existing CIA	100 year Proposed CIA	10 year Existing CIA	10 year Proposed CIA
Treatment A	5.67	0.00	1.76	0.00
Treatment B	0.36	0.36	0.17	0.17
Treatment C	0.00	0.65	0.00	0.38
Treatment D	1.35	13.91	0.92	9.44
Total Q (cfs) =	7.38	14.93	2.84	9.99