

F-20/D27



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**Planning Department**  
**Transportation Development Services Section**

January 31, 2003

Stephen C. Day, Registered Architect  
104 Skylark Lane  
Corrales, NM 87048

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Texaco-Montgomery & Wyoming, [F-20/D27]  
8401 Montgomery NE  
Architect's Stamp Dated 01/27/03

Dear Mr. Day:

The TCL / Letter of Certification submitted on January 30, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
~~Hydrology file~~  
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

F-20/D27

PROJECT TITLE: TEXACO - MONTGOMERY & WYOMING ZONE MAP/DRG. FILE #: ~~F-20~~

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: OFERRADO J. GILGERRAZ Lower terrace Lot A-1 situated within Sec 32, Township 11 North Range 4, East N.M.P.M City 164th Ben Cont  
CITY ADDRESS: 8401 Montgomery Blvd NE

ENGINEERING FIRM: Mark Goodwin Associates  
ADDRESS: P.O. Box 90606  
CITY, STATE: Albuquerque N.M.

CONTACT: Mark Goodwin  
PHONE: 828-2800  
ZIP CODE: 87199

OWNER: Amigo Petroleum  
ADDRESS: \_\_\_\_\_  
CITY, STATE: Albuquerque N.M.

CONTACT: Ted Bernady  
PHONE: 505-471-7600  
ZIP CODE: 87199

ARCHITECT: Steven C Day  
ADDRESS: P.O. Box 2226  
CITY, STATE: Corralles N.M. 87048

CONTACT: Steven Day  
PHONE: 898-3774  
ZIP CODE: 87048

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: B.Z Enterprises Inc  
ADDRESS: 3103 La Junta Rd SW  
CITY, STATE: Albuquerque N.M.

CONTACT: Larry Zimmerman  
PHONE: 505-873-1064  
ZIP CODE: 87104

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
  - DRAINAGE PLAN
  - CONCEPTUAL GRADING & DRAINAGE PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERTIFICATION (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT (TCL)
  - ENGINEERS CERTIFICATION (TCL)
  - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
  - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D. APPROVAL
  - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM.)
  - CERTIFICATE OF OCCUPANCY (TEMP.)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES  
 NO  
 COPY PROVIDED

DATE SUBMITTED: 1/30/03 BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:  
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five  
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)  
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

January 27, 2003

Ms. Terry Martin  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

**REF: AMIGO CONVENIENCE STORE 8401 MONTGOMERY, ALBUQUERQUE, NEW MEXICO**

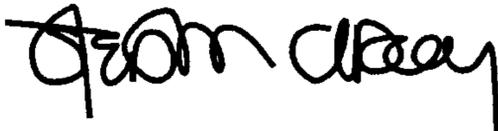
Dear Ms Martin:

I certify that the referenced facility was constructed according to the construction drawings with modifications per the attached TCL.

I certify that the project was built within substantial compliance of the approved project plans dated 08/14/2001.

If you have any questions please contact me.

Sincerely



Stephen C. Day  
Architect

Cc:



**Stephen C. Day**  
Architect

P. O. Box 2226  
104 Sky Park Lane  
Corrales, New Mexico  
87048

Voice 505.898.3774  
Fax 505.898.9015  
Cell 505.269.7909

StephenCDay @ cs.com

F-20/D27



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 3, 2003

Amy Driscoll, P.E.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, New Mexico 87199

**RE: TEXACO STATION- MONTGOMERY & WYOMING (F-20/D27)**  
**(8401 Montgomery Blvd NE)**  
**ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY**  
**ENGINEERS STAMP DATED 12/23/2000**  
**ENGINEERS CERTIFICATION DATED 1/31/2003**

Dear Amy:

Based upon the information provided in your Engineers Certification submittal dated 1/31/2003, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Development & Bldg. Services Div.  
BUB

C: Certificate of Occupancy Clerk, COA  
✓ drainage file  
approval file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Texaco - Montgomery & Wyoming ZONE MAP/DRB.FILE#: F-20 / D-27

DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Ofimano J. Gutierrez Terrace, Lot A-1

CITY ADDRESS: 8401 Montgomery

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Amy L. Driscoll  
ADDRESS: P.O. Box 90606 Albuquerque NM 87119 PHONE: 828-2200  
CITY, STATE: Albuquerque NM ZIP CODE: 87119

OWNER: Amigo Petroleum Company CONTACT: Ted Berridge  
ADDRESS: P.O. Box 4369 PHONE: 505 471-7600  
CITY, STATE: Santa Fe, NM ZIP CODE: 87502

ARCHITECT: Steve Day CONTACT: Steve Day  
ADDRESS: P.O. Box 2226 PHONE: 898-3774  
CITY, STATE: Corrales, NM ZIP CODE: 87048

SURVEYOR: Aldrich Land Surveying CONTACT: Tim Aldrich  
ADDRESS: P.O. Box 30701 PHONE: 884-1990  
CITY, STATE: Albuquerque, NM ZIP CODE: 87190

CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

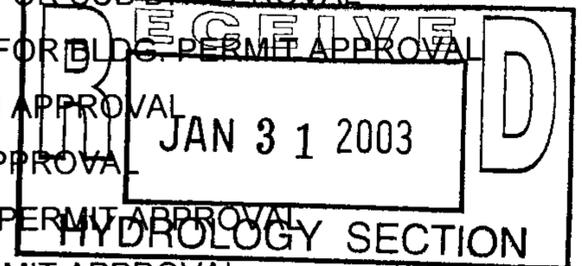
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 1/31/03

## CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTY RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)



BY: *Amy L. Driscoll*  
Amy L. Driscoll, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5).
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

D. Mark Goodwin and Associates, P.A.  
Consulting Engineers

P.O. Box 90606 ❖ Albuquerque, NM 87199  
(505) 828-2200 ❖ (505) 797-9539 fax  
e-mail: dmg@swcp.com

**LETTER OF TRANSMITTAL**

To: City of Albuquerque \_\_\_\_\_ Date: January 31, 2003 \_\_\_\_\_  
Hydrology \_\_\_\_\_  
(F20/D27) \_\_\_\_\_  
Re: Texaco at \_\_\_\_\_  
Montgomery and Wyoming \_\_\_\_\_

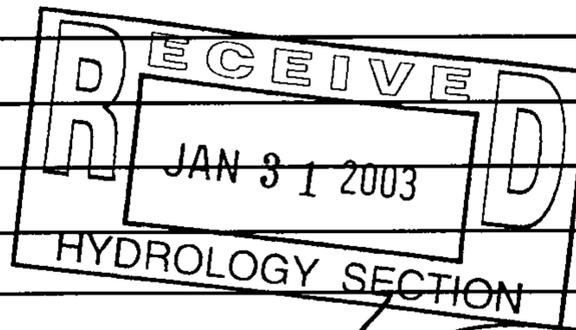
We are sending:

No. Copies	Date	Item Description
1		Grading and Drainage Certification

For your approval       For your information  
 As you requested       For your comments

NOTES:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



SIGNED: \_\_\_\_\_

*Amy L. Driscoll*  
Amy L. Driscoll, PE



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 26, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

ATTN: Amy Driscoll, E.I.

**RE: *TEXICO @ MONTGOMERY & WYOMING (F20-D27). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED DECEMBER 28, 2000.***

Dear Mr. Goodwin:

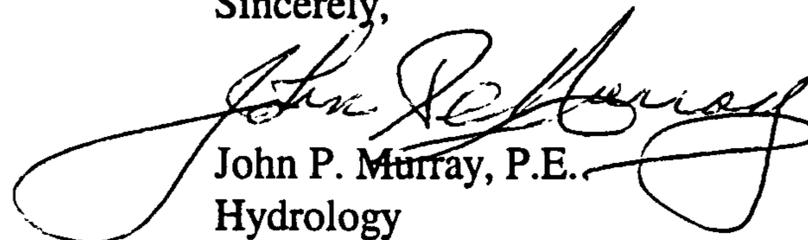
Based on the information provided on your December 28, 2000 submittal, the above referenced project is approved for Building Permit..

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: Whitney Reiersen  
✓ File

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Texaco - Montgomery & Wyoming ZONE ATLAS#: F-20 / D027  
 DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: Ofimano J. Gutierrez Terrace, Lot A-1  
 CITY ADDRESS: 8401 Montgomery

ENGINEERING FIRM: <u>Mark Goodwin &amp; Associates, PA</u>	CONTACT: <u>Amy L. Driscoll</u>
ADDRESS: <u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE: <u>828-2200</u>
OWNER: <u>Amigo Petroleum Company</u>	CONTACT: <u>Ted Berridge</u>
ADDRESS: <u>P.O. Box 4369, Santa Fe, NM 87502</u>	PHONE: <u>(505) 471-7600</u>
ARCHITECT: <u>Steve Day</u>	CONTACT: <u>Steve Day</u>
ADDRESS: <u>P.O. Box 2226, Corrales, NM 87048</u>	PHONE: <u>898-3774</u>
SURVEYOR: <u>Aldrich Land Surveying</u>	CONTACT: <u>Tim Aldrich</u>
ADDRESS: <u>P.O. Box 30701, Albuquerque, NM 87190</u>	PHONE: <u>884-1990</u>
CONTRACTOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____

**TYPE OF SUBMITTAL:**

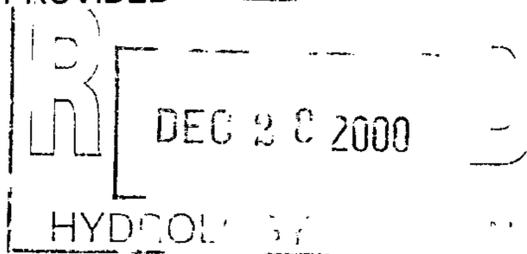
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL
- ENGINEER'S CERTIFICATION
- OTHER
- EASEMENT VACATION

**CHECK TYPE OF APPROVAL SOUGHT:**

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. PLAN FOR BLDG PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATION OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER
- RELEASE OF FINANCIAL GUARANTY
- TRAFFIC CIRCULATION LAYOUT

**PRE-DESIGN MEETING:**

- YES
- NO
- COPY PROVIDED \_\_\_\_\_



DATE SUBMITTED: 12/28/00  
 BY: *[Signature]*  
 Amy L. Driscoll

January 21, 2001

Loren Meinz, P.E.,  
Head Hydrology Division  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

- **Case No:** F20-D027
- **Submittal dated:** December 28, 2000 by Goodwin
- **Project Title:** Texaco
- **Location:** Montgomery and Wyoming
- **Approval Type:** Building Permit
  
- **Note:** *This submittal concerns the construction of a new commercial building and asphalt parking facility on a one-half acre infill site. The site is intended to drain west to Wyoming.*

Dear Mr. Meinz:

Based on the submittal stamped December 28, 2000, the proposed grading and drainage plan concept does appear to be sufficient and can be approved for grading permit at this time.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,



Mark H. Burak, P.E.  
Hydrology Consultant

D. Mark Goodwin and Associates, P.A.  
Consulting Engineers

P.O. Box 90606 ❖ Albuquerque, NM 87199  
(505) 828-2200 ❖ (505) 797-9539 fax  
e-mail: dmgs@swcp.com

LETTER OF TRANSMITTAL

TO: CoA DATE: 12/28/00  
Hydrology  
RE: TEXACO AT MONTGOMERY  
+ WYOMING

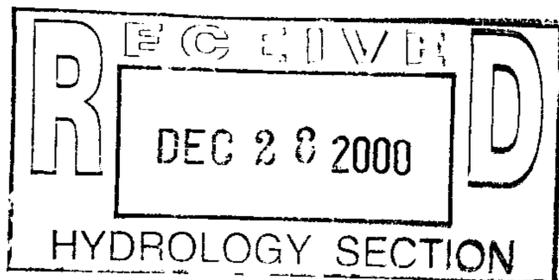
We are sending:

2 STD PLANS DATED 12/28/00  
2 TRAFFIC CONTROL LAYOUT DATED 12/27/00

For your approval       For your information  
 As you requested       For your comments  
 Pre-Design Meeting

NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Engineer \_\_\_\_\_



SIGNED: [Signature]

DRAINAGE INFORMATION SHEET

F20/D27  
G-19/1135

PROJECT TITLE: Texaco - Montgomery & Wyoming ZONE ATLAS/DRNG, FILE#: G-19/1135

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 175' WEST OF TRACT 11B, BLOCK 11 OF IMIANO GUTIERREZ ADDITION, LOWER TERRACE.

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: MARK GOODWIN & ASSOCIATES CONTACT: ROGER MARTINEZ, JR.

ADDRESS: P.O. BOX 90606 PHONE: (505)345-2010

OWNER: \_\_\_\_\_ CONTACT: STEVE DAY

ADDRESS: \_\_\_\_\_ PHONE: (505)898-3774

ARCHITECT: STEVE DAY CONTACT: STEVE DAY

ADDRESS: P.O. BOX 2226 PHONE: (505)898-3774

SURVEYOR: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

PRE-DESIGN MEETING:

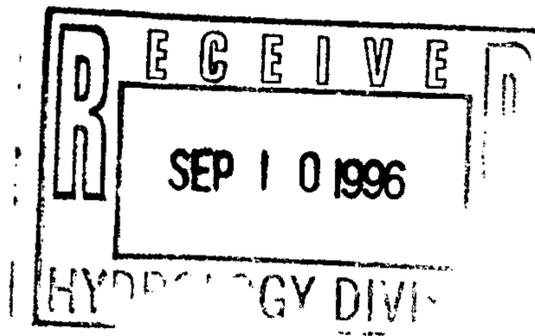
- YES
- NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. PLAN FOR BLDG PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATION OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: 10 SEPT 96

BY: Roger Martinez, Jr.  
Roger Martinez, Jr.





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers and Surveyors

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 345-2010

September 10, 1996

Ms Lisa Manwill  
City Of Albuquerque, Hydrology  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: TEXACO - MONTGOMERY AND WYOMING**

Dear Ms Manwill:

The intent of this letter is to respond to each of your concerns outlined in your letter dated August 28, 1996. Attached, please find the revised grading and drainage plan for the above referenced project.

1. The existing contours have added to the plan.
2. Spot elevations have been added to the proposed concrete pads.

If you have any questions concerning this project or the letter, please contact me at 345-2010.

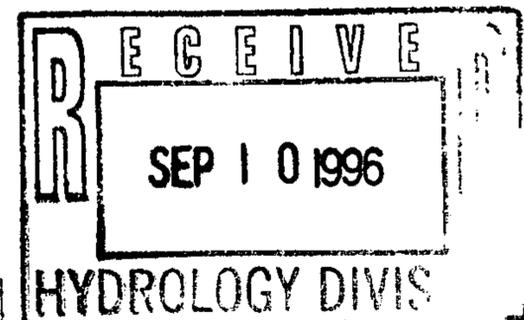
Sincerely,

MARK GOODWIN AND ASSOCIATES, P.A.

  
Roger Martinez, Jr.

Attachments

RM/sr





October 7, 1996

**Martin J. Chávez, Mayor**

Mark Goodwin  
Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, NM 87199

**RE: REVISED DRAINAGE PLAN FOR TEXACO @ MONTGOMERY & WYOMING  
(G19-D35) ENGINEER'S STAMP DATED 9/10/96.**

*F20/D27*

Dear Mr. Goodwin:

Based on the information provided on your September 10, 1996 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Engineer Certification per the D.P.M. checklist will be required prior to Certificate of Occupancy release.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia  
File





August 28, 1996

Martin J. Chávez, Mayor

Roger Martinez, Jr.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

*F20/D27*  
**RE: TEXACO-MONTGOMERY & WYOMING (~~619-D35~~). GRADING AND DRAINAGE  
PLAN FOR BUILDING PERMIT. ENGINEER'S STAMP DATED AUGUST 8,  
1996.**

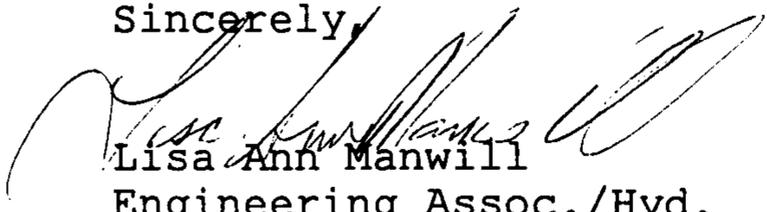
Dear Mr. Martinez:

Based on the information provided on your August 12, 1996 submittal,  
City Hydrology has the following comments:

1. Show existing contours
2. Show spots on the concrete pad. Show ridge lines and  
grade breaks if any.

If I can be of further assistance, please feel free to contact me at  
768-3622.

Sincerely,

  
Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File



**DRAINAGE INFORMATION SHEET**

F20/D27

PROJECT TITLE: Texaco - Montgomery & Wyoming ZONE ATLAS/DRNG, FILE#: ~~5-15-1995~~

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 175' WEST OF TRACT 11B, BLOCK 11 OF IMIANO GUTIERREZ ADDITION, LOWER TERRACE.

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: MARK GOODWIN & ASSOCIATES CONTACT: ROGER MARTINEZ, JR.

ADDRESS: P.O. BOX 90606 PHONE: (505)345-2010

OWNER: \_\_\_\_\_ CONTACT: STEVE DAY

ADDRESS: \_\_\_\_\_ PHONE: (505)898-3774

ARCHITECT: STEVE DAY CONTACT: STEVE DAY

ADDRESS: P.O. BOX 2226 PHONE: (505)898-3774

SURVEYOR: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

**PRE-DESIGN MEETING:**

- YES
- NO
- COPY PROVIDED

**CHECK TYPE OF APPROVAL SOUGHT:**

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. PLAN FOR BLDG PERMIT APPROVAL
- SECTOR PLAN APPROVAL
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- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATION OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: 9 August 96

BY: Roger Martinez, Jr.  
Roger Martinez, Jr.

REGISTERED

AUG 12 1996



StephenCDay@cs.com

01/22/03 09:49 AM

To: TMartin@cabq.gov

cc:

Subject: Amigo Convenience Store and Fueling facility

Ms. Martin-

I am the Architect for the referenced facility located at the NE corner of Montgomery and Wyoming.

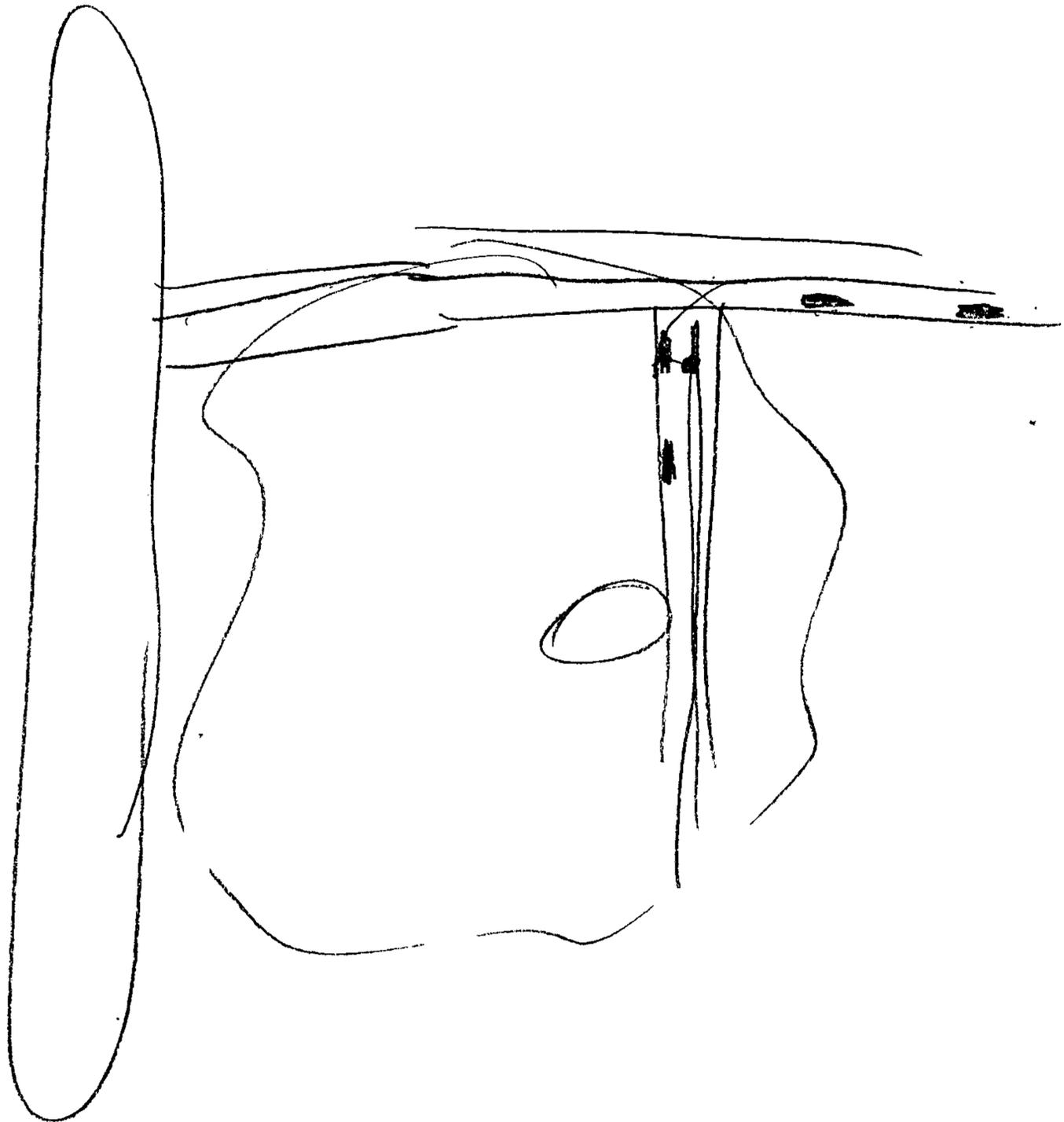
Larry Zimmerman, the contractor called me yesterday and said that you needed a certification on the project. He was unclear on what certification was required.

If you will please let me know what you need I will be happy to furnish it

Thank You

Stephen C. Day  
Architect

505-898-3774 voice  
505-898-9015 fax  
505-269-7909 cell





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

February 8, 2001

Stephen C. Day Registered. Arch.,  
P.O. Box 2226  
Corrales, New Mexico 87048

Re:T.C.L. submittal for building permit approval for Texaco Service Station, [F20/D027],  
8401 Montgomery Blvd. N.E., Ofimiano Gutierrez Addition, Lower Terrace, Block 11, Lot 1A.  
Engineer's Stamp dated 12/27/2000.

Dear Mr. Stephens,

The location referenced above, dated December 27, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached checklist, written comments, and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.  
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

## **TRAFFIC CIRCULATION LAYOUT CHECKLIST**

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

Use the Development Process Manual to confirm required City standards, along with the *TRAFFIC CIRCULATION LAYOUT CHECKLIST* provided, on next TCL submittal.

### **LEGEND-**

- Item addressed on initial submittal
- Item not yet addressed
- Not Applicable

### **GENERAL INFORMATION REQUIRED:**

- 1. TCL stamped by the architect or engineer, stamp must be signed and dated.
- 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- 3. Name of subdivision and lot number or tract number on TCL, if not on Drainage Information Sheet.
- 4. Indication of transition from one type of surface to the other on TCL, for example ramps (incl. H.C.), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple to show varying surfaces, using a legend, or equal.
- 5. The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the TCL, in bold type, as follows:
  - “The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan.” and
  - “This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
    - (1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
    - (2) Increase in construction cost to responsible parties.”
- 6. Place a note on TCL stating the following:
  - “An as-built copy of the approved TCL must be submitted by the designer-of-record, as required by Transportation Development (including a letter of certification stating that the site has been constructed in accordance with the approved TCL). Verification of TCL acceptability, (including random field checks) will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary C.O.” --- Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.
- 7. Linework on Drainage Plan and Landscape Plan must match Site Plan exactly. Confirm the acceptability of the changes in Site Plan that are required by Transportation with Hydrology.
- 8. Work being done in city property as part of this development must be complete before issuance of C.O. or Financial Guarantee must be on file with Design Review Office.
- 9. Preliminary nature of the review process determines that if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of TCL and new review will be needed.
- 10. Encroachment agreement needed where structures, fences or walls or items of equal conflict are contained within City property.

### **SPECIFIC INFORMATION REQUIRED:**

- 11. State Highway Department approval at locations where access improvements are being made from State Facilities.
- 12. Call out on Site Plan: INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET, once minor changes to the TCL (Site Plan) required by Transportation are verified as acceptable to Hydrology.
- 13. State what type/size of vehicular activity occurring at the rear of site?[cr.]

- 14. Show new and existing elements on the T.C.L., labelled, and dimensioned correctly.
- 15. Show clear differentiation between new construction and existing improvements on TCL.
- 16. Indicate which buildings and parking improvements will be certified by this permit. Show future work in line type that is clearly different than for new work.
- 17. Show, label and dimension all existing obstacles in City right-of-way, in existing sidewalks.
- 18. Callout to label on asphalt "COMPACT" or equal for small car stalls, at end of stall.
- 19. Minim. 5' wide concrete sidewalk, raised 6" above parking surface, needed when located at the front of parking vehicles wherever pedestrian access is desired or required, adjacent to any building.
- 20. H.C. ramp must be constructed at H.C. parking area as part of sidewalk.
- 21. Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase (refuse/UPS) vehicle to be smallest to use doors. Refer to DPM for restrictions.
- 22. Call out to restripe existing lot per City Standard.
- 23. For future reference, and for this project, show half width of all streets 40' wide and over on TCL, also for streets used for large truck traffic accessing site. This is to include median and opening, if it exists (including any left turn lanes into this site). If no medians exist, show traffic lanes on developer's side of street, up to and including middle turn lane.
- 24. Need to see alley right-of-way limits. Show full width of alley and all obstructions and label paving.
- 25. Alley limits must be expanded to minim. 20' width.
- 26. A City standard paved alley roadway must be constructed along the entire lot frontage and constructed to one point of access into the alley, from that street.
- 27. Alleys must be minimum 24' at entrance as access to parking area. Construct alley entrance per City Std. Detail Dwg. 2428.