

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4802 WYOMING BLVD. N.E.) LOT A EVANGELICAL COVENANT CHURCH ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 1.7463 ACRES AND IS LOCATED NORTH OF MONTGOMERY BLVD. N.E. AND EAST OF WYOMING BLVD. N.E. THE SITE CONTAINS A 7,150 SQ. FT. CHILDCARE CENTER ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. EXISTING FLOW PATTERN IS FROM EAST TO WEST AND INTO WYOMING BLVD. N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0143E, DATED NOVEMBER 19, 2003, THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A PROPOSED 720 SQ. FT. STORAGE BUILDING. THE NEW DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS THE EXISTING PAVED PARKING AREA WEST OF THE BUILDING (AS INDICATED ON THE PLAN DRAWING). THERE ARE NO OFF-SITE FLOWS ENTERING FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.7463 ac.
METAL STORAGE BUILDING FOR SOUTHWEST CHILDCARE
ZONE 3
PRECIPITATION: 360 = 2.60 in.
1440 = 3.1 in.
10day = 4.9 in.

TREATMENT	AREA	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.	
TREATMENT B	0.92 in.	2.6 cfs/ac.	
TREATMENT C	1.29 in.	3.45 cfs/ac.	
TREATMENT D	2.36 in.	5.02 cfs/ac.	

TREATMENT	AREA	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	0.66 in.	0.13887 ac.	0.13887 ac.
TREATMENT B	0.92 in.	1.10953 ac.	0.9892 ac.
TREATMENT C	1.29 in.	0.4979 ac.	0.61823 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66) x (0.00) + (0.92) x (0.14) + (1.29) x (1.11) + (2.36) x (0.50) / 1.75 ac.
= 1.57 in.
V100-360 = (1.57) x (1.75) / 12 = 0.227842 ac-ft = 9925 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.87) x (0.00) + (2.60) x (0.14) + (3.45) x (1.11) + (5.02) x (0.50) = 6.69 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66) x (0.00) + (0.92) x (0.14) + (1.29) x (0.99) + (2.36) x (0.62) / 1.75 ac.
= 1.64 in.
V100-360 = (1.64) x (1.75) / 12.0 = 0.238571 ac-ft = 10392 cf

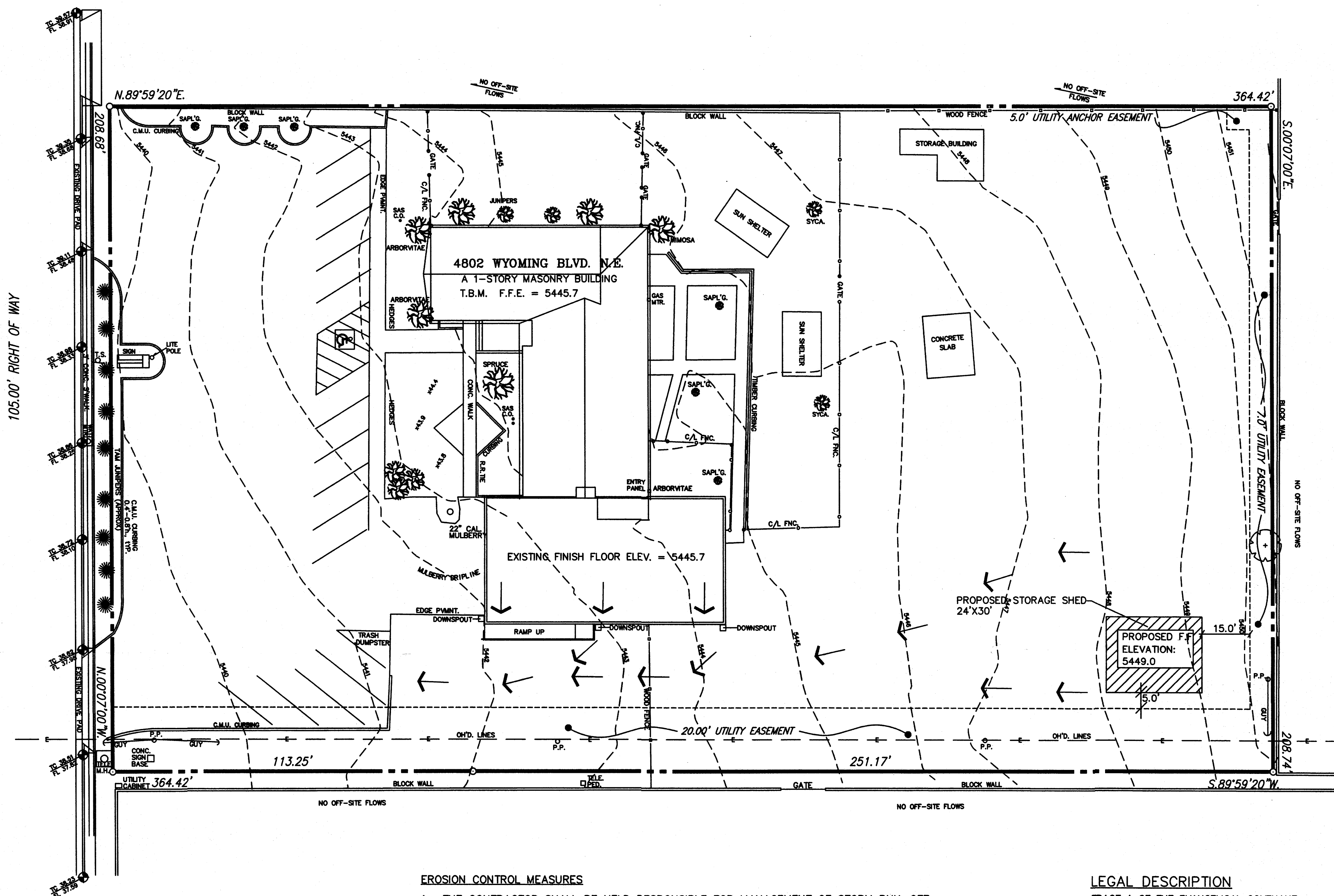
V100-1440 = (0.24) x (0.62) x (3.10 - 2.60) / 12 = 0.264331 ac-ft = 11514 cf

V100-10day = (0.24) x (0.62) x (4.90 - 2.60) / 12 = 0.357065 ac-ft = 15554 cf

PROPOSED PEAK DISCHARGE:

Q100 = (1.87) x (0.00) + (2.60) x (0.14) + (3.45) x (0.99) + (5.02) x (0.62) = 6.52 cfs

DECREASE 6.52 CFS - 6.69 CFS = 0.170 CFS



EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

NOTICE TO CONTRACTOR

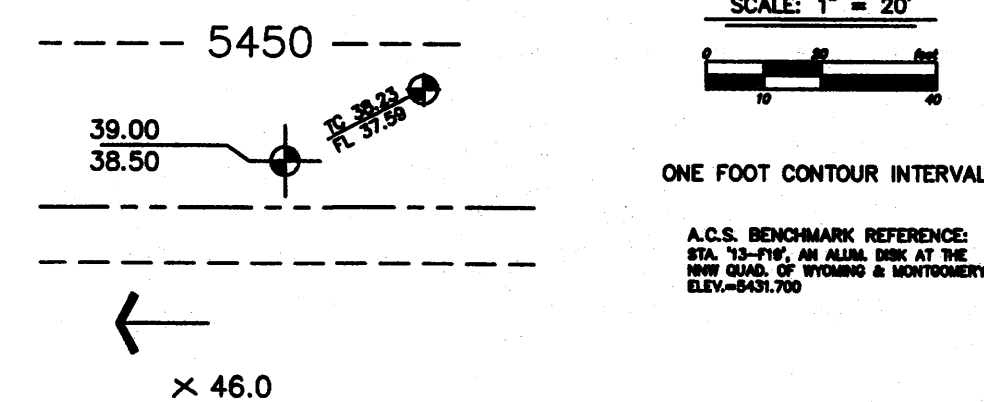
- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities, (260-1990).
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Commercial use.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property served.

LEGAL DESCRIPTION

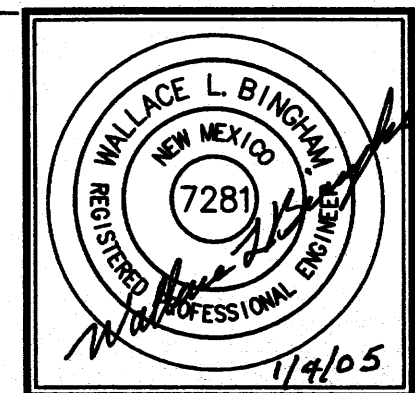
TRACT A OF THE EVANGELICAL COVENANT CHURCH ADDITION, ALBUQUERQUE, NEW MEXICO

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGNED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT □
ABBREVIATION LEGEND
TOP OF CON. PAD - TCP
TOP OF CURB - TC
TOP OF ASPHALT - TA
FLOWLINE - FL
TOP OF WALL - TW



GRADING/DRAINAGE PLAN 1" = 20'



JOB NO:	
DATE:	DECEMBER 2004
REVISIONS	

Sheet Title
GRADING/DRAINAGE PLAN

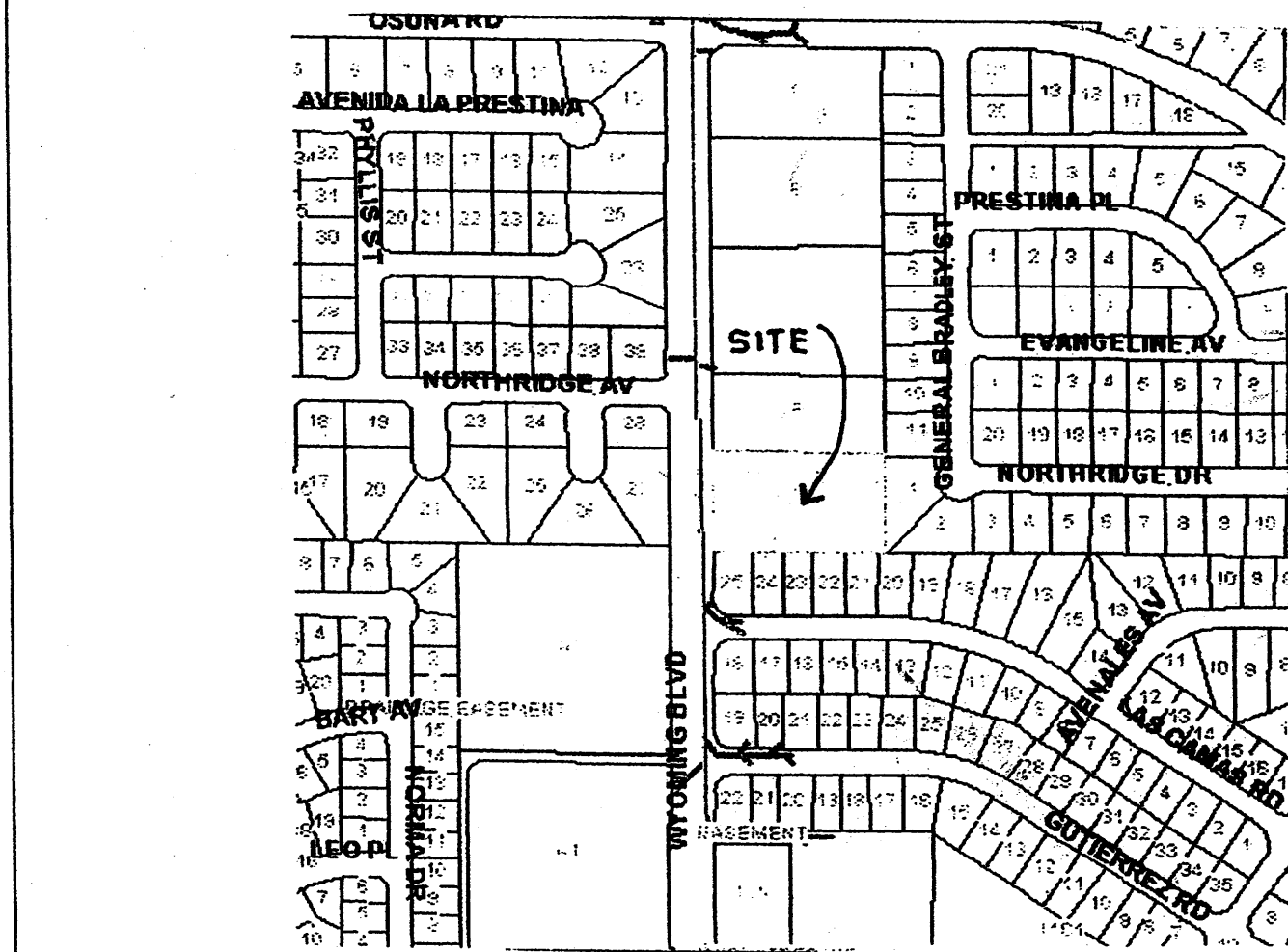
Drawn By: BJM
Checked By: WB

Albuquerque, New Mexico

Project Name
SOUTHWEST CHILDCARE STORAGE SHED ADDITION
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.

GD



ZONE ATLAS PAGE F-20 FIRM PANEL NO. 01430

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4802 WYOMING BLVD. N.E.) LOT 1 A EVANGELICAL COVENANT CHURCH ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 1.7463 ACRES AND IS LOCATED NORTH OF MONTGOMERY BLVD. N.E. AND EAST OF WYOMING BLVD. N.E. THE SITE CONTAINS A 4,237 SQ. FT. CHILDCARE CENTER ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. EXISTING FLOW PATTERN IS FROM EAST TO WEST AND INTO WYOMING BLVD. N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 01430, DATED SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A PROPOSED 4000 SQ. FT. BUILDING ADDITION. THE NEW DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS THE EXISTING PAVED PARKING AREA WEST OF THE PROPOSED BUILDING ADDITION. THERE ARE NO OFF-SITE FLOWS ENTERING FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCES MANUAL, VOLUME II DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.7463 ac.
SOUTHWEST CHILDCARE ADDITION
ZONE 3
PRECIPITATION: 380 = 2.60 in.
1440 = 3.1 in.
10day = 4.9 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.66 in.	1.87 cfs/ac.
TREATMENT B 0.92 in.	2.6 cfs/ac.
TREATMENT C 1.29 in.	3.45 cfs/ac.
TREATMENT D 2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A AREA 0 ac.	0 ac.
TREATMENT B 0 ac.	0 ac.
TREATMENT C 1.2484 ac.	1.1446 ac.
TREATMENT D 0.4979 ac.	0.6017 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66 x 0.00) + (0.92 x 0.00) + (1.29 x 1.25) + (2.36 x 0.50) / 1.75 ac.
= 1.60 in.
V100-360 = (1.60 x 1.75) / 12 = 0.232123 ac-ft = 10111 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.87 x 0.00) + (2.60 x 0.00) + (3.45 x 1.25) + (5.02 x 0.50) = 6.81 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66 x 0.00) + (0.92 x 0.00) + (1.29 x 1.14) + (2.36 x 0.60) / 1.75 ac.
= 1.66 in.
V100-360 = (1.66 x 1.75) / 12.0 = 0.241379 ac-ft = 10514 CF

V100-1440 = (0.24 x 0.60) x (3.10 - 2.60) / 12 = 0.266450 ac-ft = 11607 CF

V100-10day = (0.24 x 0.60) x (4.90 - 2.60) / 12 = 0.356705 ac-ft = 15538 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.87 x 0.00) + (2.60 x 0.00) + (3.45 x 1.14) + (5.02 x 0.60) = 6.97 CFS

INCREASE 6.97 CFS - 6.81 CFS = 0.16 CFS

DRAINAGE CERTIFICATION

I WALLACE L. BINGHAM NMPE 7281, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/01/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE FOLLOWING ARE MINOR CHANGES WHICH DO NOT AFFECT THE ORIGINAL DRAINAGE CONCEPT.

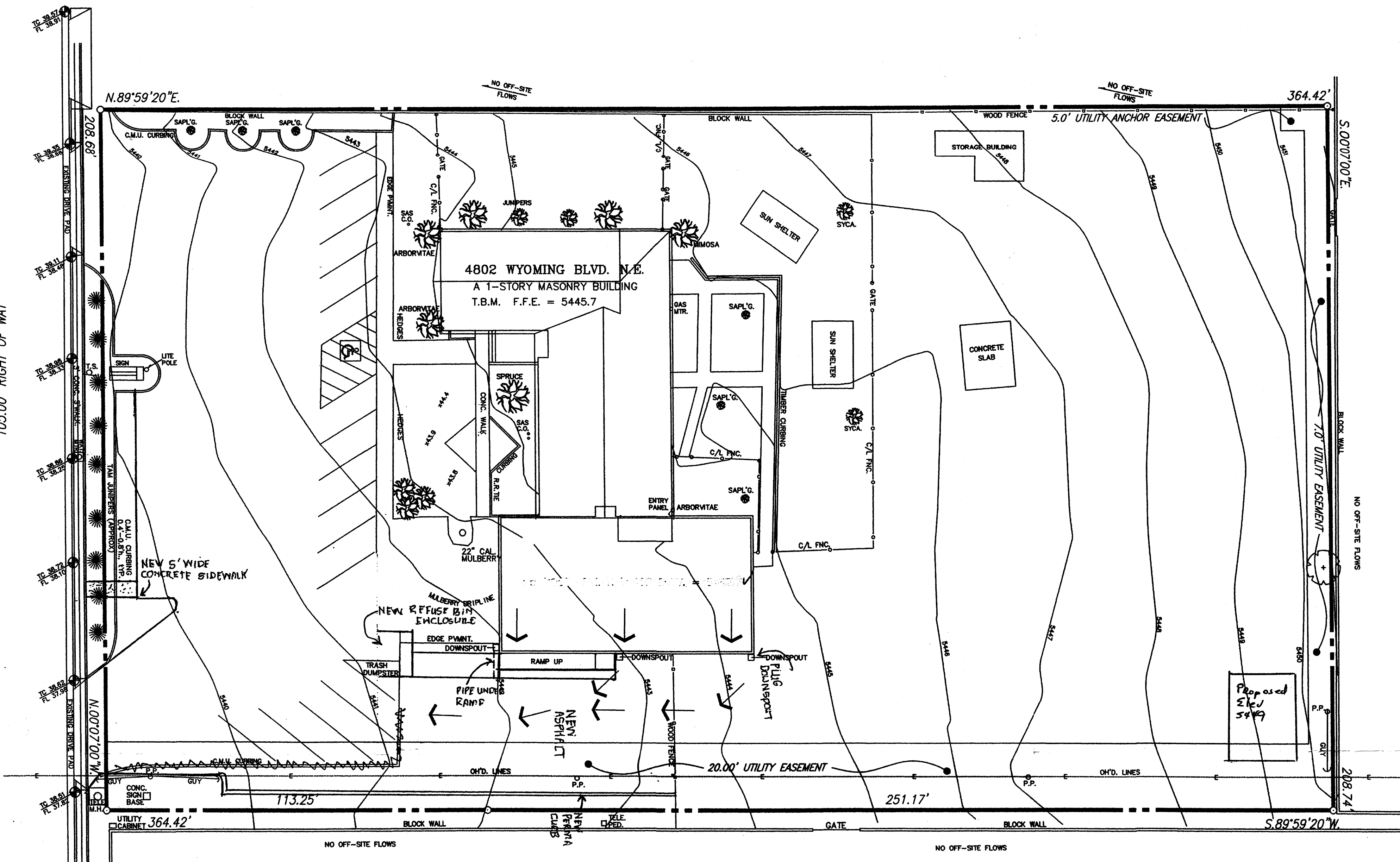
1. NEW PERMA-CURB 5' FROM SOUTH PROPERTY LINE.
2. NEW 5' WIDE CONCRETE SIDEWALK ON WYOMING TOWARD ACCESSIBLE ROUTE.
3. SOUTHEAST DOWNSPOUT BLOCKED.
4. NEW ASPHALT FROM EAST WOOD FENCE WEST TO EXISTING ASPHALT.
5. NEW OVERLAY & STRIPPING ON EXISTING ASPHALT.
6. NEW REFUSE BIN ENCLOSURE.
7. SEE ATTACHED SITE PLAN FOR LOCATION OF THE ABOVE CHANGES.

KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

AS-BUILT DESIGNATION	AREA
	45.65
	45.50
	OR
	45.50

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



NOTICE TO CONTRACTOR

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2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities, (260-1990).
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Commercial use.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property served.

LEGAL DESCRIPTION

TRACT A OF THE EVANGELICAL COVENANT CHURCH ADDITION, ALBUQUERQUE, NEW MEXICO

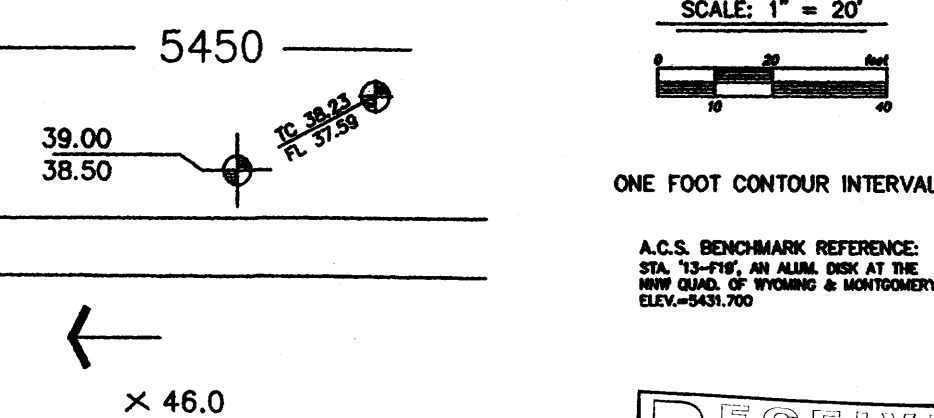
SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGNED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT

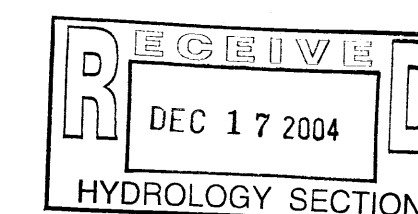
ABBREVIATION LEGEND

TOP OF CON. PAD	- TC
TOP OF CURB	- TA
TOP OF ASPHALT	- FL
FLOWLINE	- FL
TOP OF WALL	- TW

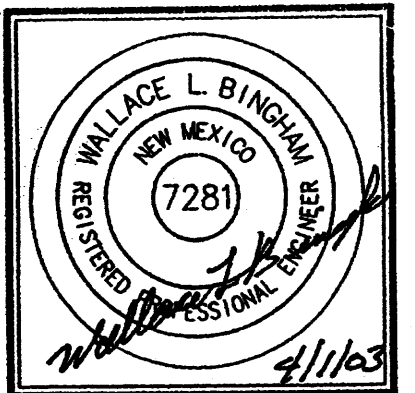
Addition of a 720 ft² metal building for storage



A.C.S. BENCHMARK REFERENCE: STA. 12+00, IN ALBUQUERQUE, NEW MEXICO, ELEVATION 700



GRADING/DRAINAGE PLAN 1" = 20'

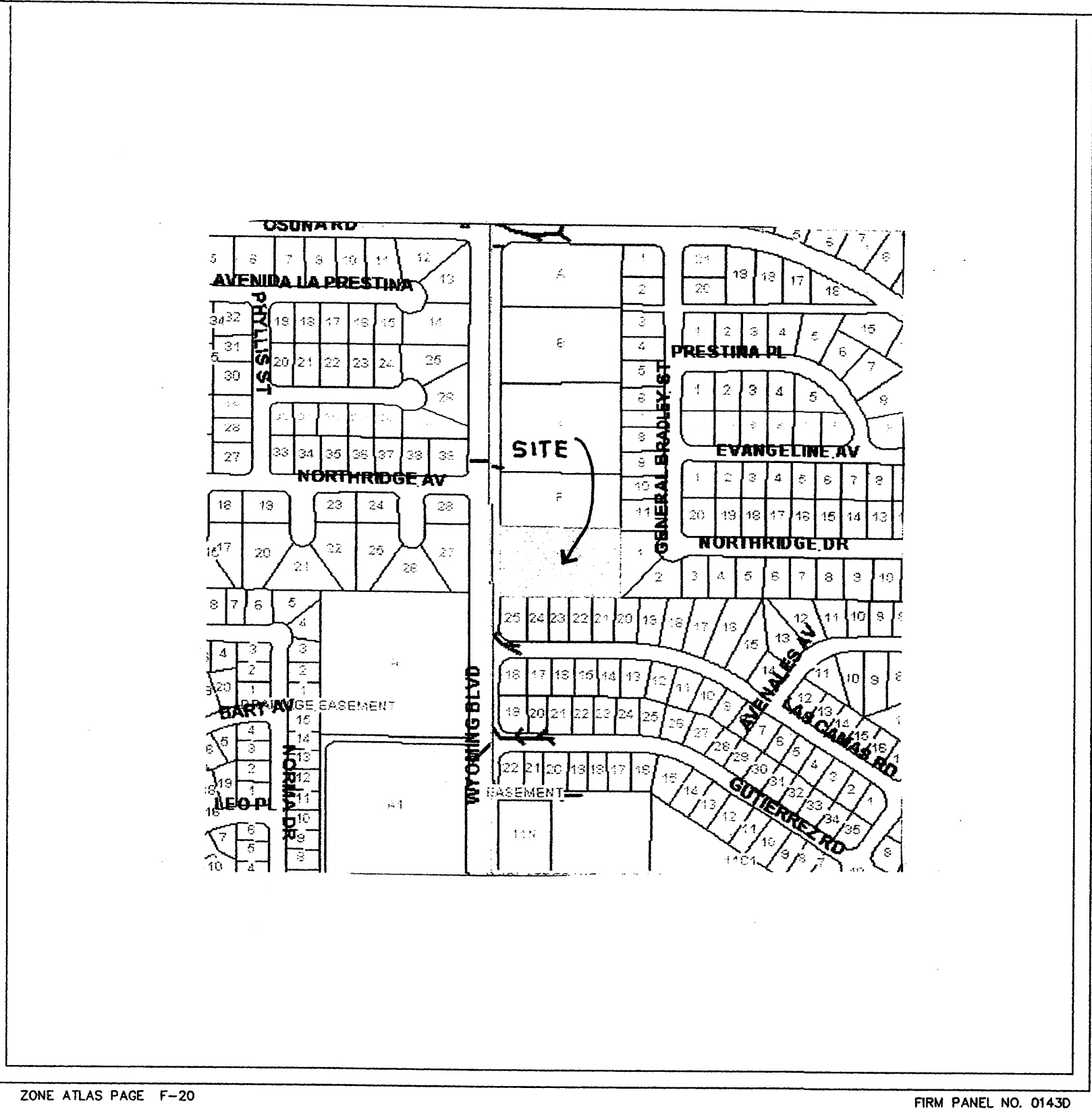


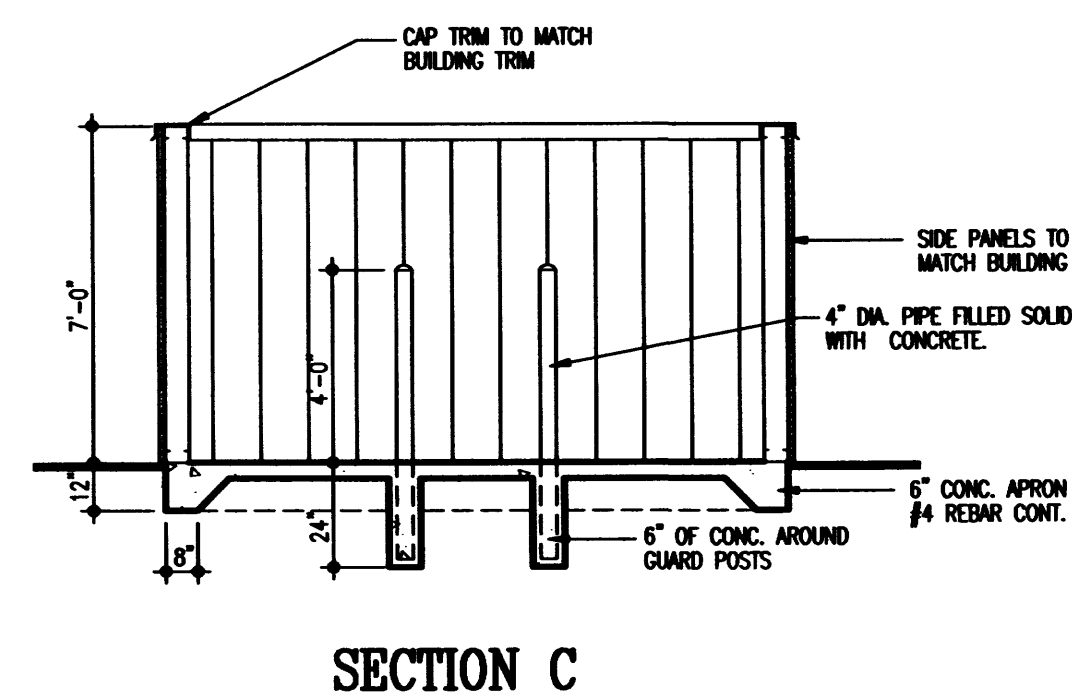
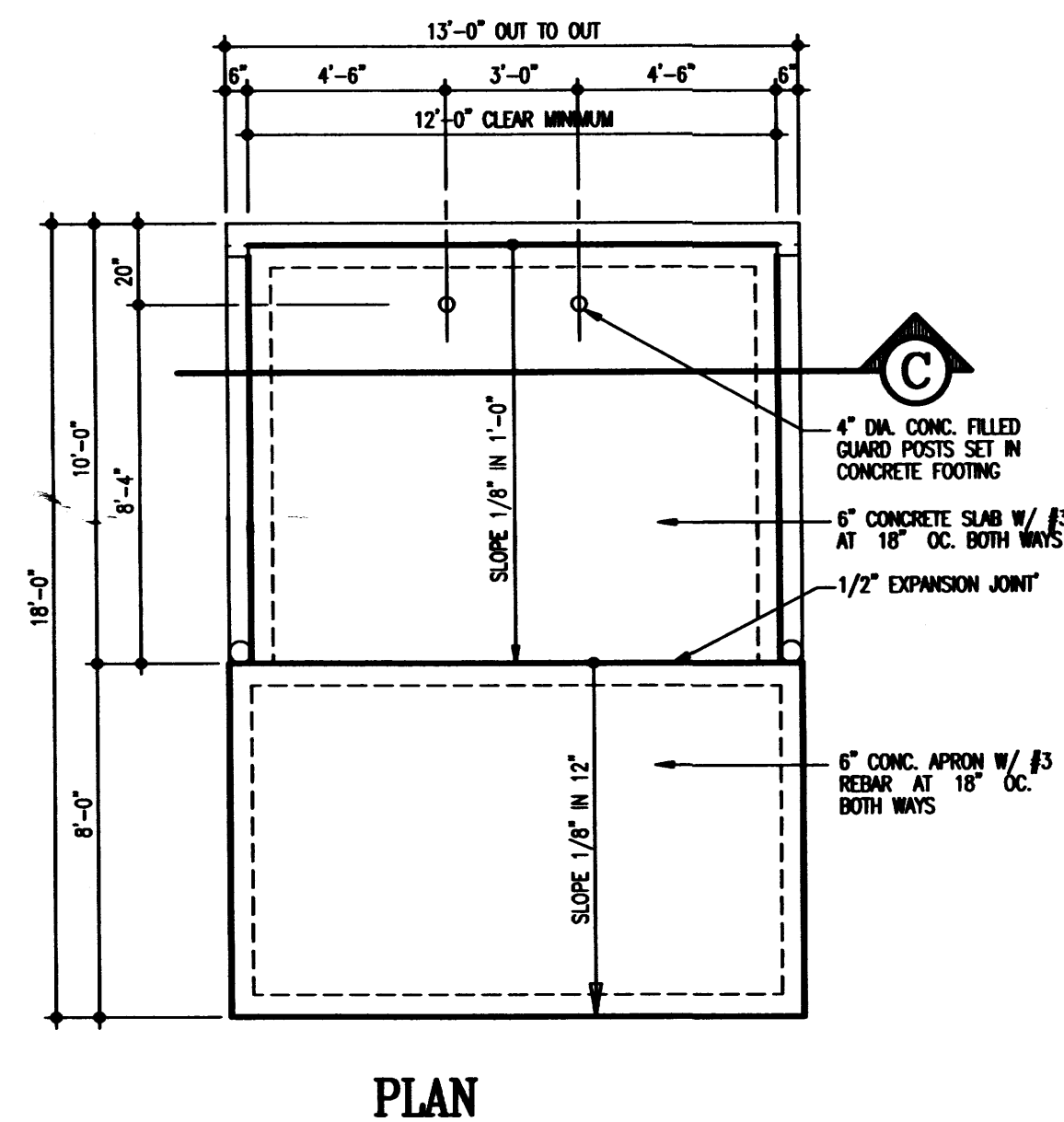
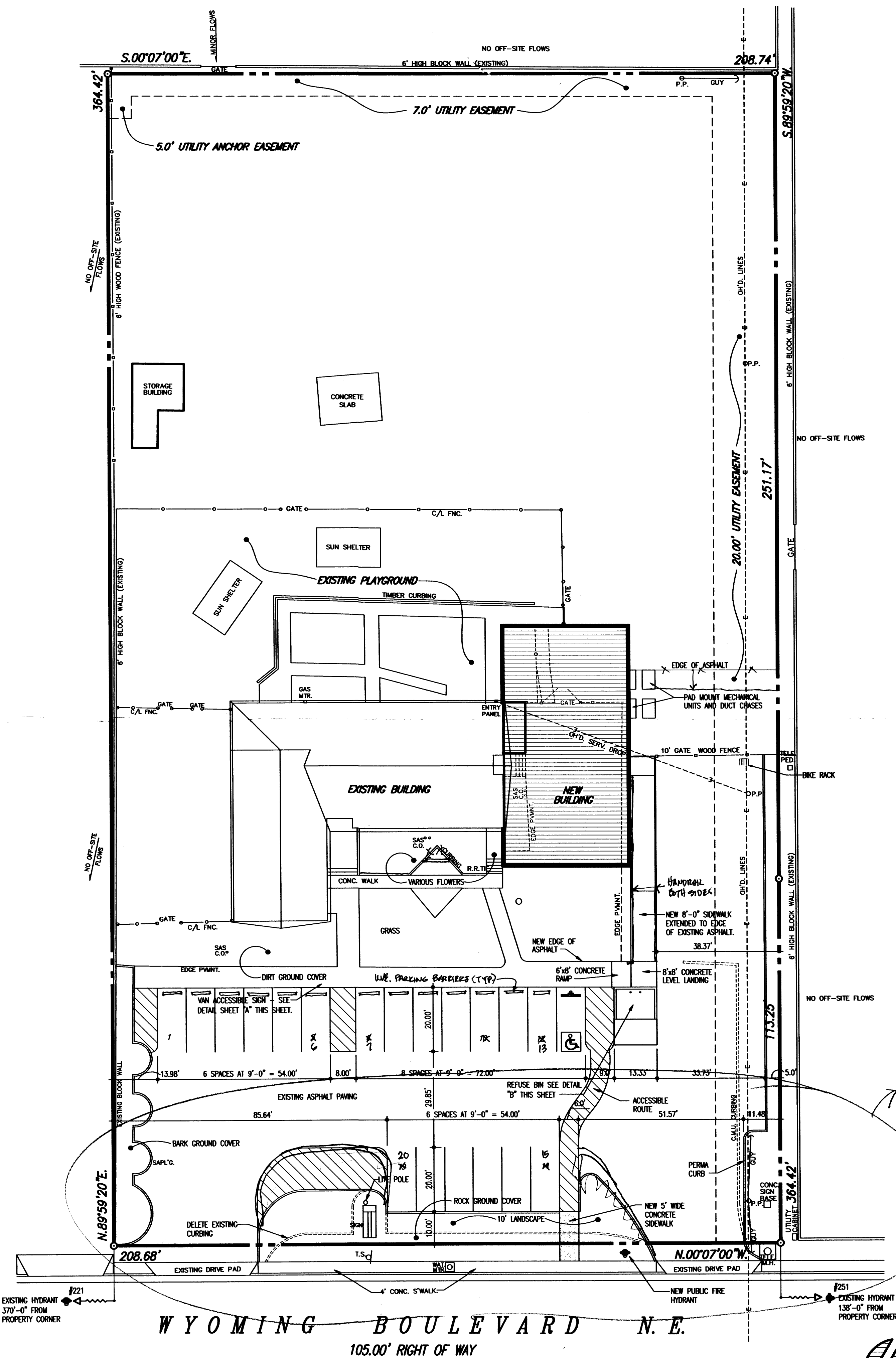
JOB NO.	
DATE:	APRIL 2003
REVISIONS	

Sheet Title	GRADING/DRAINAGE PLAN
Drawn By:	BJM
Checked By:	

Project Name	SOUTHWEST CHILDCARE ADDITION 4802 WYOMING BOULEVARD N.E. ALBUQUERQUE, NEW MEXICO
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SHEET NO.	GD
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INDEX TO DRAWINGS

SMT. NO.	DESCRIPTION
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S3	FOUNDATION DETAILS
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A3	COUNTER ELEVATIONS, DETAILS
A4	ELEVATIONS, CROSS-SECTION
A5	REFLECTIVE CEILING PLAN
P1	PLUMBING PLAN
M1	MECHANICAL PLAN
E1	SITE ELECTRICAL PLAN
E2	ELECTRICAL PLAN, RISER DIAGRAM, FIRE ALARM PLAN
E3	LIGHTING PLAN, SCHEDULE

PERMIT DATA

PROJECT INFORMATION:

PROJECT NAME:	SOUTHWEST CHILDCARE
PROJECT ADDRESS:	4802 WYOMING BLVD. N.E., ALBUQUERQUE, NM 87111
LEGAL DESCRIPTION:	TRACT A OF THE EVANGELICAL COVENANT CHURCH ADDITION, ALBUQUERQUE, NM
ZONE MAP:	F-20
PROJECT DESCRIPTION:	DAY CARE CENTER
OWNER:	WILLIAM BARNHOUSE
GENERAL CONTRACTOR:	DURA BILT PRODUCTS INC.
ARCHITECT:	WILLIAM A. EVANKO
SOILS ENGINEER:	VINYARD AND ASSOCIATES - MARTIN VINYARD
CIVIL ENGINEER:	BERNE MONTAÑA
STRUCTURAL ENGINEER:	BOB PLATT STRUCTURAL ENGINEERING AND CONTRACTORS
PLUMBING ENGINEER:	WALKER ENGINEERING - TERRY WALKER
MECHANICAL ENGINEER:	WALKER ENGINEERING - TERRY WALKER
ELECTRICAL ENGINEER:	THE GROUP - FREDERICK J. TELOK

PERMIT DATA:

APPLICABLE CODES:	
1997 UNIFORM BUILDING CODE	
1997 UNIFORM FIRE CODE	
1997 UNIFORM PLUMBING CODE	
1997 UNIFORM MECHANICAL CODE	
1999 NATIONAL ELECTRIC CODE	
1999 NEW MEXICO BUILDING CODE	
1998 AMERICAN NATIONAL STANDARDS (ANSI)	
1999 UNIFORM ADMINISTRATIVE CODE	
CITY OF ALBUQUERQUE ZONING ORDINANCE	
PROPERTY AREA:	78,055.78 SQ. FT. 1.75 ACRES
GROSS BUILDING AREA:	7,104.00 SQ. FT.
EXISTING BUILDING AREA:	4,064.00 SQ. FT.
NEW BUILDING AREA:	3,040.00 SQ. FT.
TYPE OF CONSTRUCTION:	V-N NON SPRINKLED
OCCUPANCY GROUP per table 3-A and Chapter 3:	
DAY CARE CENTER:	GROUP E-3
PROPERTY ZONE:	O-1
BUILDING TO SITE RATIO:	9%

DESIGN DATA

SEISMIC ZONE (UBC FIGURE 16-2):	2B
WIND PRESSURE LOAD (UBC FIGURE 16-1):	75 MPH EXP. "C"
IMPORTANCE FACTOR (UBC TABLE 16-A):	1.0
ROOF LIVE LOAD:	20 PSF (NON REDUCIBLE)
SNOW LOAD:	20 PSF

BUILDING CODE ANALYSIS

GROSS BUILDING SQUARE FOOTAGE:	7,104.00 SQ. FT.
1. ALLOWABLE AREA PER UBC TABLE 5-B, GROUP E-3 OCCUPANCY/ TYPE V-N CONSTRUCTION:	9,100.00 SQ. FT.

BUILDING HEIGHT

MAXIMUM ALLOWABLE HEIGHT PER UBC TABLE 5-B:	V-N E-3 OCCUPANCY = 1 STORY
ACTUAL HEIGHT:	= 1 STORY

OCCUPANT LOAD:

AREA:	OCCUPANCY:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL LOAD:
NEW BUILDING:				
CLASSROOM 101	GROUP E-3	687.23	/35	19.64
OPEN AREA 104 (MULTIPURPOSE)	GROUP E-3	819.59	/15	54.64
CLASSROOM 107	GROUP E-3	728.22	/35	20.81
TOTAL				95.08
EXISTING BUILDING:				
EXISTING CLASSROOM 1	GROUP E-3	1,400.94	/35	40.03
EXISTING CLASSROOM 2	GROUP E-3	304.11	/35	8.69
EXISTING OFFICE	GROUP E-3	163.55	/100	1.64
EXISTING CLASSROOM 3	GROUP E-3	718.11	/35	20.52
CLASSROOM 108	GROUP E-3	295.88	/35	8.45
TOTAL				79.32
NEW AND EXISTING COMBINED:				95.08 + 79.32 = 174.40

ROOM	OCC. LOAD:	TABLE 10-A	REQUIRED	PROVIDED
NEW BUILDING:				
CLASSROOM 101	19.64	< 50	1	2
OPEN AREA 104 (MULTIPURPOSE)	54.64	> 50	2	2
CLASSROOM 107	20.81	< 50	1	1
TOTAL	95.08	> 50	2	2
EXISTING BUILDING:				
EXISTING CLASSROOM 1	40.03	< 50	1	2
EXISTING CLASSROOM 2	8.69	< 50	1	1
EXISTING OFFICE	1.64	< 30	1	1
EXISTING CLASSROOM 3	20.52	< 50	1	1
CLASSROOM 108	8.45	< 50	1	1
TOTAL	79.32	> 50	2	2

EXIT WIDTH PER UBC TABLE 10-B:	
OCCUPANT LOAD:	174.40 X 2 = 34.88 INCHES REQUIRED
PROVIDED THRU-OUT THE BUILDING:	9'-0" (108")

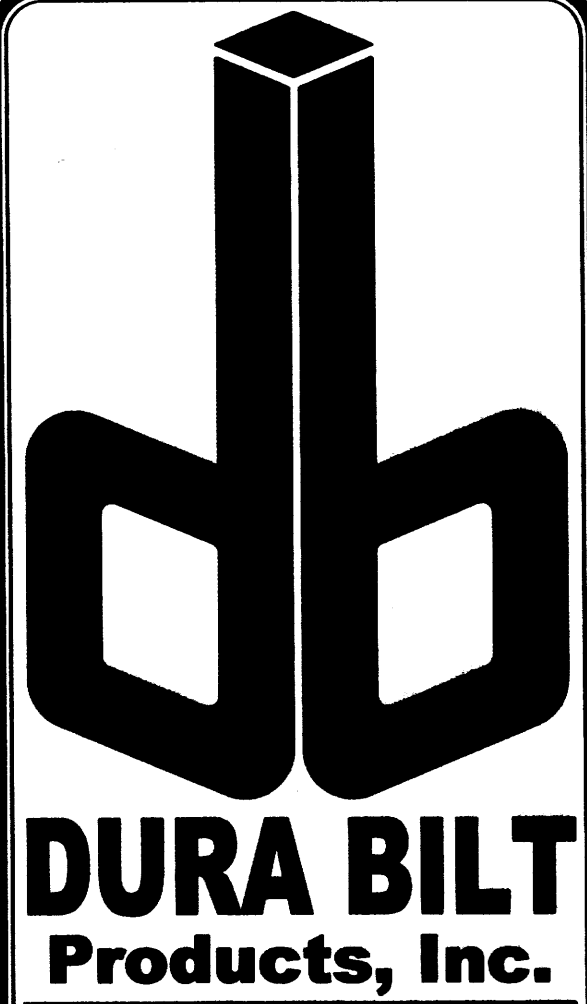
OCCUPANT LOAD PER UBC TABLE A-29-A FOR PLUMBING FIXTURES:

AREA:	OCCUPANCY:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL LOAD:
COMBINED CLASSROOMS	GROUP E-3	7,104.00	/50	142.08
NUMBER OF MALES:		71.04		
NUMBER OF FEMALES:		71.04		
REQUIRED PLUMBING FIXTURES PER UBC TABLE A-29-A:				
OCCUPANT GROUP:	MALE:	WC REQ.:	WC REQUIRED:	FEMALE:
GROUP E-3	3	3	3	3
TOTAL REQUIRED:	3	3	3	3
TOTAL PROVIDED:	3	3	3	3
NEW BUILDING:	2	2	2	2
EXISTING BUILDING:	3	3	3	3
FEMALE:	3	3	3	3
MALE:	3	3	3	3
TEACHERS:	1	1	1	1
GENERAL USE:	1	1	1	1

FIRE PROTECTION:	
1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3,000.00 SQ. FT. - 2 REQUIRED.	
2. FIRE HYDRANTS: SEE SITE PLAN FOR LOCATION OF 2 EXISTING FIRE HYDRANTS.	
3. SEE SHEET FP FOR FIRE ALARM SYSTEM.	

PARKING ANALYSIS:

AREA:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL REQUIRED:
DAY CARE CENTER:	ADDITIONAL 2 SPACES PLUS 1/500		2
DAY CARE CENTER:	7,104.00	/500	14.21
TOTAL REQUIRED:			16.21
TOTAL PROVIDED:			20.00
REQUIRED HANDICAP PARKING SPACES:			1.00
BICYCLE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES)			0.81



4808 JEFFERSON N.E.
ALBUQUERQUE N.M. 87109
Telephone: (505) 863-9100
Fax: (505) 863-9198
www.durabiltproducts.com

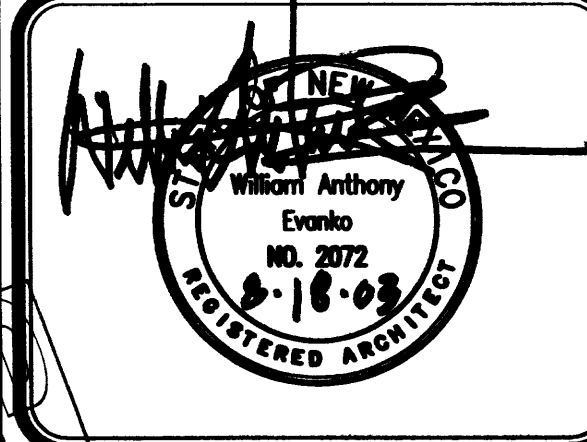
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DATE: December 2, 2002
PLOT DATE: August 15, 2003

REVISIONS:

NO.	DESCRIPTION
1	AS BUILT SITE PLAN

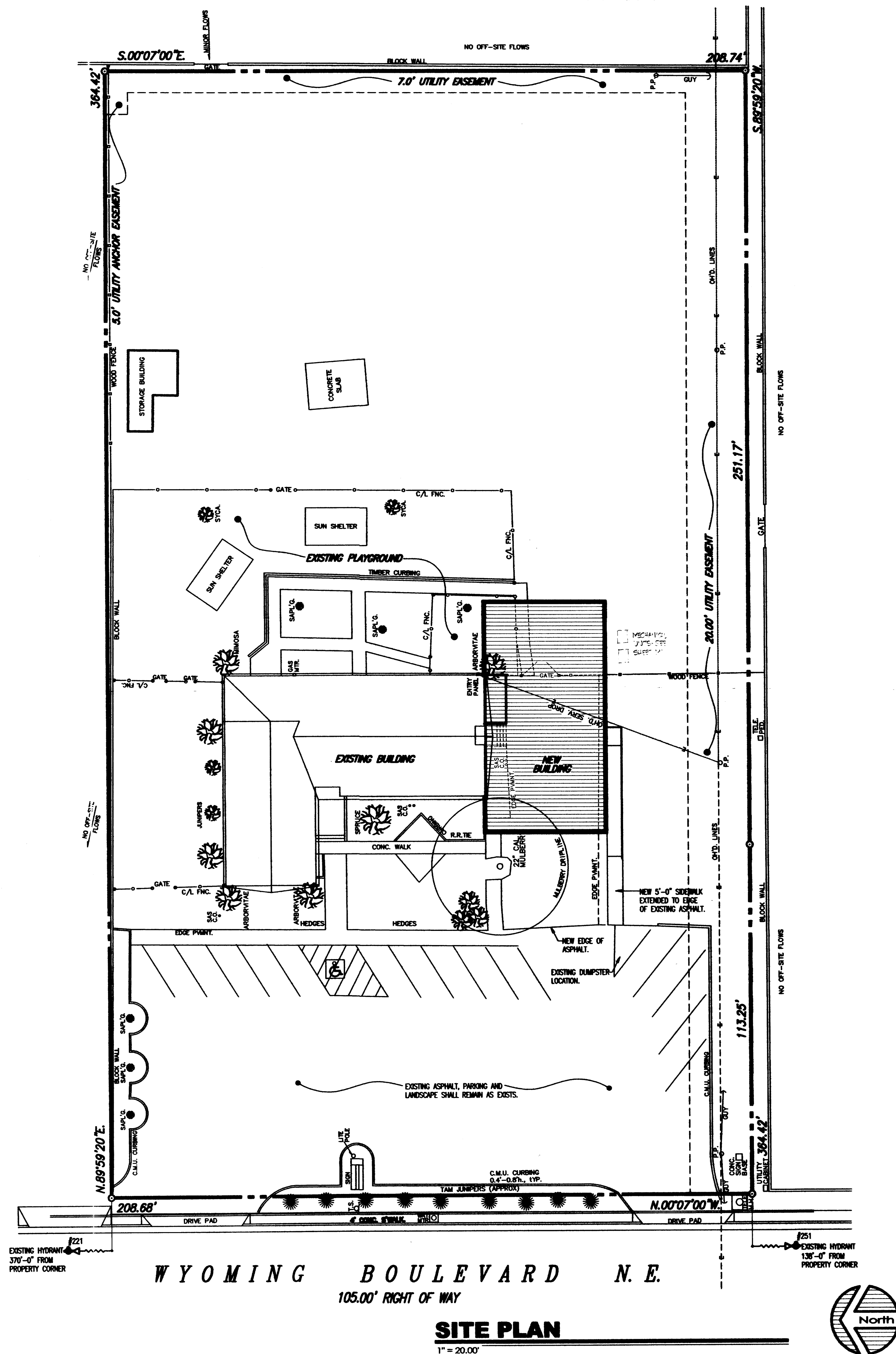
PROPOSED BUILDING ADDITION
FOR
SOUTHWEST CHILDCARE
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO 87111



AS BUILT SITE PLAN

SHEET NO.

A1
JOB NO. : 02-122 OF 5



PERMIT DATA

PROJECT INFORMATION:

PROJECT NAME: SOUTHWEST CHILD CARE
PROJECT ADDRESS: 4802 WYOMING BLVD. NE, ALBUQUERQUE, NM 87111
LEGAL DESCRIPTION: TRACT A OF THE EVANGELICAL COVENANT CHURCH ADDITION, ALBUQUERQUE, NM
ZONE MAP: F-20
PROJECT DESCRIPTION: DAY CARE CENTER
OWNER: WILLIAM BARNHOUSE
GENERAL CONTRACTOR: DURA BILT PRODUCTS INC.
ARCHITECT: WILLIAM A. EVANKO
SOILS ENGINEER: VINYARD AND ASSOCIATES - MARTIN VINYARD
CIVIL ENGINEER: SERGE MONTROYA
STRUCTURAL ENGINEER: BOB PLATT STRUCTURAL ENGINEERING AND CONTRACTORS
PLUMBING ENGINEER: WALKER ENGINEERING- TERRY WALKER
MECHANICAL ENGINEER: WALKER ENGINEERING- TERRY WALKER
ELECTRICAL ENGINEER: THE GROUP - FREDERICK J. TELCK

PERMIT DATA:

APPLICABLE CODES:
1997 UNIFORM BUILDING CODE
1997 UNIFORM FIRE CODE
1997 UNIFORM PLUMBING CODE
1997 UNIFORM MECHANICAL CODE
1999 NATIONAL ELECTRIC CODE
1999 NEW MEXICO BUILDING CODE
1998 AMERICAN NATIONAL STANDARDS (ANSI)
1999 UNIFORM ADMINISTRATIVE CODE
CITY OF ALBUQUERQUE ZONING ORDINANCE

PROPERTY AREA: 76,055.76 SQ. FT. 1.75 ACRES
GROSS BUILDING AREA: DAY CARE GROUP E-3 7,104.00 SQ. FT.
EXISTING BUILDING AREA: DAY CARE GROUP E-3 4,064.00 SQ. FT.
NEW BUILDING AREA: DAY CARE GROUP E-3 3,040.00 SQ. FT.
TYPE OF CONSTRUCTION: II-N FULLY SPRINKLED
OCCUPANCY GROUP per table 3-A and Chapter 3: GROUP E-3
DAY CARE CENTER: GROUP E-3
PROPERTY ZONE: 0-1
BUILDING TO SITE RATIO: 9%

DESIGN DATA

SEISMIC ZONE (UBC FIGURE 16-2): 2B
WIND PRESSURE LOAD (UBC FIGURE 16-1): 75 MPH EXP. "C"
IMPORTANCE FACTOR (UBC TABLE 16-K): 1.0
ROOF LIVE LOAD: 20 PSF (NON REDUCIBLE)
SNOW LOAD: 20 PSF

BUILDING CODE ANALYSIS

GROSS BUILDING SQUARE FOOTAGE: 7,104.00 SQ. FT.
1. ALLOWABLE AREA PER UBC TABLE 5B, GROUP E-3 OCCUPANCY/ TYPE III IN CONSTRUCTION: 13,500.00 SQ. FT.

BUILDING HEIGHT

MAXIMUM ALLOWABLE HEIGHT PER UBC TABLE 5-B: II-N E-3 OCCUPANCY = 1 STORY
ACTUAL HEIGHT: 1 STORY

OCCUPANT LOAD:

OCCUPANT LOAD PER UBC TABLE 10-A (PAGE 1-125)
AREA: OCCUPANCY: SQ. FOOTAGE: DIV. FACTOR: TOTAL LOAD:

NEW BUILDING:
CLASSROOM 101 GROUP E-3 687.23 /35 19.64
OPEN AREA 104 (MULTIPURPOSE) GROUP E-3 819.59 /15 54.64
CLASSROOM 107 GROUP E-3 728.22 /35 20.81
TOTAL 95.08

EXISTING BUILDING:
EXISTING CLASSROOM 1 GROUP E-3 1,400.94 /35 40.03
EXISTING CLASSROOM 2 GROUP E-3 304.11 /35 8.69
EXISTING OFFICE GROUP E-3 163.55 /100 1.64
EXISTING CLASSROOM 3 GROUP E-3 718.11 /35 20.52
CLASSROOM 108 GROUP E-3 295.88 /35 8.45
TOTAL 79.32

NEW AND EXISTING COMBINED: 95.08 + 79.32 174.40

NO. OF EXISTS PER TABLE 10-A:

ROOM	OCC. LOAD	TABLE 10-A	REQUIRED	PROVIDED
NEW BUILDING:				
CLASSROOM 101	19.64	< 50	1	2
OPEN AREA 104 (MULTIPURPOSE)	54.64	< 50	2	2
CLASSROOM 107	20.81	< 50	1	1
TOTAL	95.08	< 50	2	2

EXISTING BUILDING:	OCC. LOAD	TABLE 10-A	REQUIRED	PROVIDED
EXISTING CLASSROOM 1	40.03	< 50	1	2
EXISTING CLASSROOM 2	8.69	< 50	1	1
EXISTING OFFICE	1.64	< 30	1	1
EXISTING CLASSROOM 3	20.52	< 50	1	2
CLASSROOM 108	8.45	< 50	1	1
TOTAL	79.32	< 50	2	2

EXIT WIDTH PER UBC TABLE 10-B:

OCCUPANT LOAD: 174.40 X 2 = 34.88 INCHES REQUIRED
PROVIDED THRU-OUT THE BUILDING: 9'-0" (108")

OCCUPANT LOAD PER UBC TABLE A-29-A FOR PLUMBING FIXTURES:

AREA: OCCUPANCY: SQ. FOOTAGE: DIV. FACTOR: TOTAL LOAD:
COMBINED CLASSROOMS GROUP E-3 174.40 /50 3.49

NUMBER OF MALES: 2
NUMBER OF FEMALES: 2

REQUIRED PLUMBING FIXTURES PER UBC TABLE A-29-A:

OCCUPANT GROUP:	MALE:	WC REQ.	LAV. REQUIRED	FEMALE:	WC REQ.	LAV. REQUIRED
GROUP E-3	1	1	1	1	1	1
TOTAL REQUIRED:	1	1	1	1	1	1
TOTAL PROVIDED:	2	2	2	2	2	2

NEW BUILDING:
EXISTING BUILDING:
FEMALE: 3
MALE: 3
TEACHERS: 1

FIRE PROTECTION:

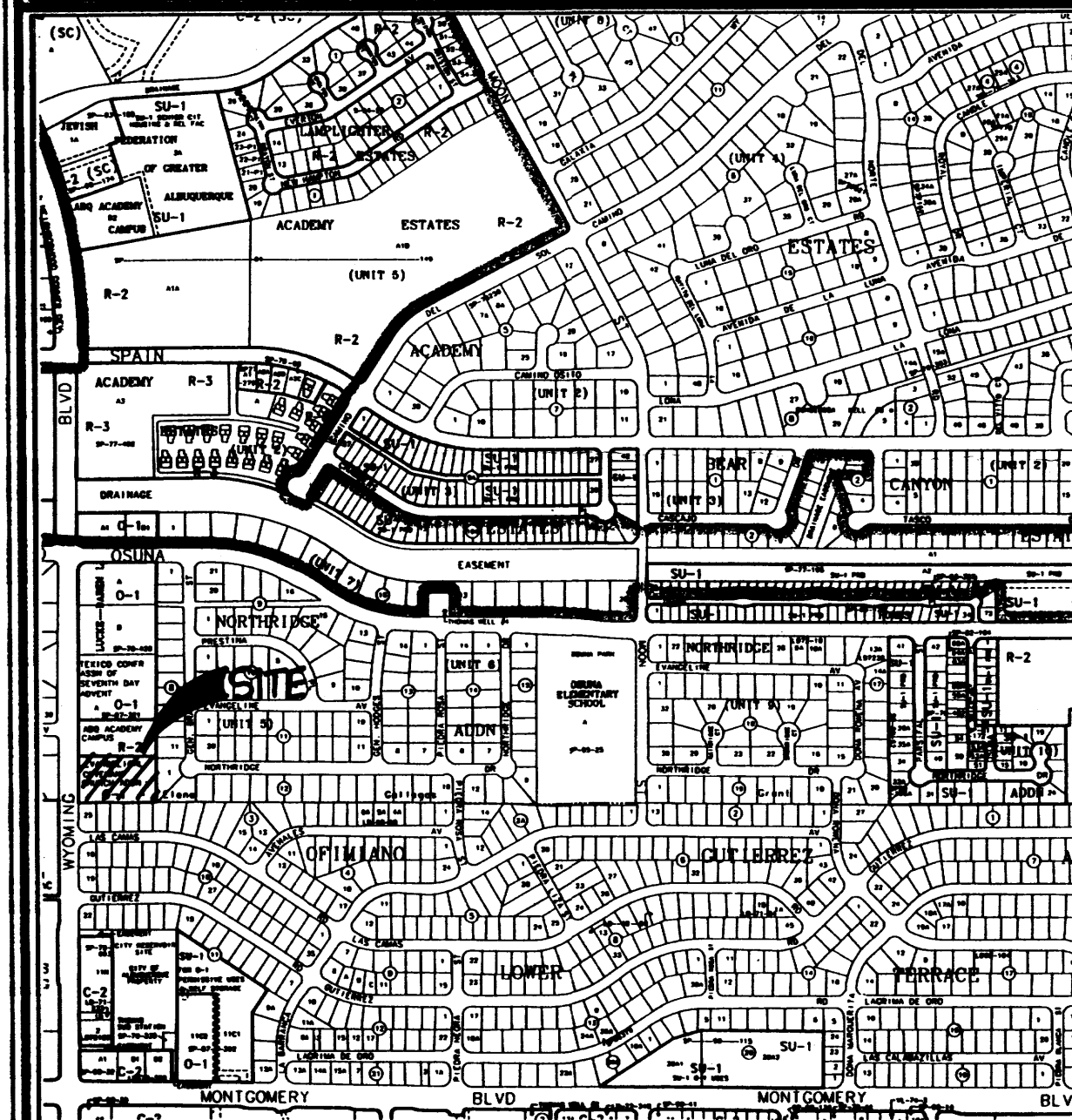
1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3,000.00 SQ. FT. - 2 REQUIRED.
2. FIRE HYDRANTS: SEE SITE PLAN FOR LOCATION OF 2 EXISTING FIRE HYDRANTS.
3. SEE SHEET FP FOR FIRE ALARM SYSTEM.

PARKING ANALYSIS:

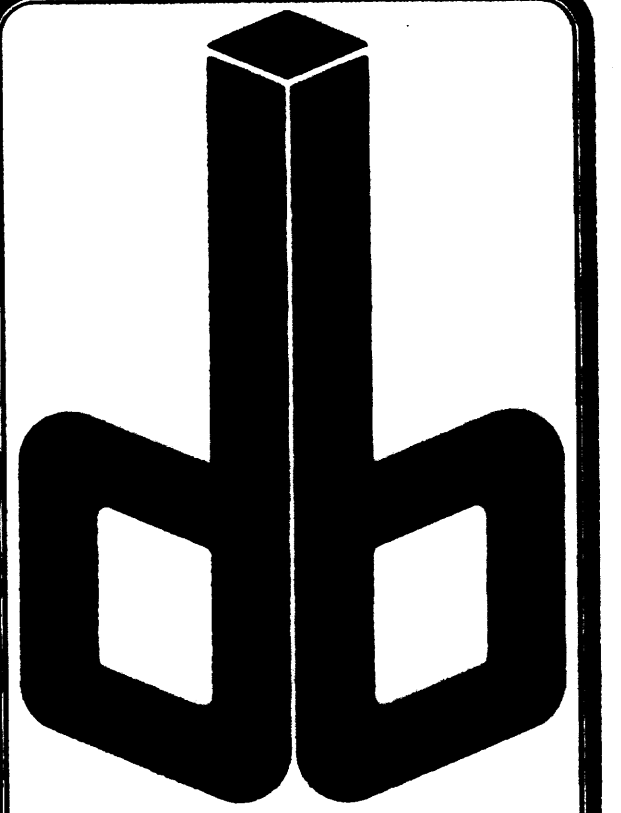
AREA:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL REQUIRED:
DAY CARE CENTER:	ADDITIONAL 2 SPACES PLUS	1/500	2
DAY CARE CENTER:	7,104.00	/500	14.21
TOTAL REQUIRED:			16.21
TOTAL PROVIDED:			-
REQUIRED HANDICAP PARKING SPACES:			1.00
BICYCLE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES)			0.81

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
A1	SITE PLAN, PERMIT DATA, VICINITY MAP
C1	FOUNDATION PLAN
S1	FOUNDATION BEAMS
S2	FOUNDATION BEAMS
S3	WALL FRAMING PLAN
A2	FLOOR PLAN, SCHEDULES, DETAILS
A3	COURT ELEVATIONS, DETAILS
A4	ELEVATIONS, CROSS-SECTION
A5	REFLECTING CEILING PLAN
P1	PLUMBING PLAN
M1	MECHANICAL PLAN
E1	SITE ELECTRICAL PLAN
E2	ELECTRICAL PLAN, RISER DIAGRAM, FIRE ALARM PLAN
E3	LIVINGS PLAN, SCHEDULE



VICINITY MAP



DURA BILT
Products, Inc.

DESIGN / BUILDER
Since 1950
LICENSE NO. 3044

4808 JEFFERSON N.E.
ALBUQUERQUE N.M. 87109
Telephone: (505) 863-9100
Fax: (505) 863-9198
www.durabiltproducts.com

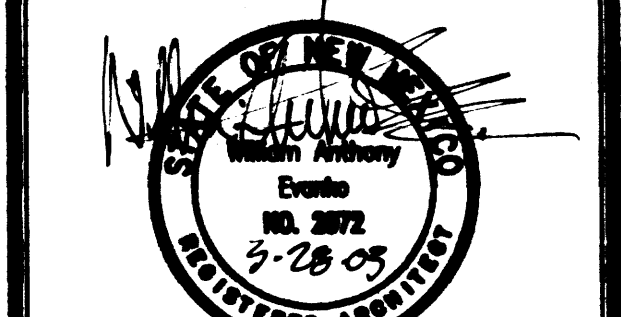
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DATE: December 2, 2002
PLOT DATE: March 21, 2003

REVISIONS:

FILE: SWSHTA1.DWG

PROPOSED BUILDING ADDITION
FOR
**SOUTHWEST
CHILDCARE**
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO 87111



SITE PLAN

SHEET NO.

A1

JOB NO. : 02-122 OF 5



PROJECT INFORMATION:

PERMIT DATA:

PROPERTY ZONE: 0-1
BUILDING TO SITE RATIO: 97

SEISMIC ZONE (UBC FIGURE 16-2):	2B
WIND PRESSURE LOAD (UBC FIGURE 16-1):	75 MPH EXP. "C"
IMPORTANCE FACTOR (UBC TABLE 16-K):	1.0
ROOF LIVE LOAD:	20 PSF (NON REDUCIBLE)
SNOW LOAD:	20 PSF

GROSS BUILDING SQUARE FOOTAGE: 7,104.00 SQ. FT.
1. ALLOWABLE AREA PER UBC TABLE 5B, GROUP E-3 OCCUPANCY/ TYPE III IN CONSTRUCTION: 13,500.00 SQ. FT.

MAXIMUM ALLOWABLE HEIGHT PER UBC TABLE 5-B: H-N E-3 OCCUPANCY = 1 STORY
ACTUAL HEIGHT = 1 STORY

OCCUPANT LOAD PER UBC TABLE 10-A: (PAGE 1-125)

NEW AND EXISTING COMBINED:	95.08 + 79.32	174.40
----------------------------	---------------	--------

EXIT WIDTH PER UBC TABLE 10-B:

OCCUPANT LOAD:	174.40 X .2 =	34.88 INCHES REQUIRED
PROVIDED THRU-OUT THE BUILDING:		9'-0" (108")

OCCUPANT LOAD PER UBC TABLE A-29-A FOR PLUMBING FIXTURES:

REQUIRED PLUMBING FIXTURES PER UBC TABLE A-29-A:

MALE:		FEMALE:	
OCCUPANT GROUP:	WC REQ.:	LAV. REQUIRED	WC REQ.
GROUP E-3	1	1	1
TOTAL REQUIRED:	1	1	1
TOTAL PROVIDED:	WATER CLOSETS	URINALS	LAVATORIES
	2	2	2
NEW BUILDING:			
EXISTING BUILDING:			
FEMALE:	3	-	1
MALE:	3	1	1
TEACHERS:	1	-	1

FIRE PROTECTION:

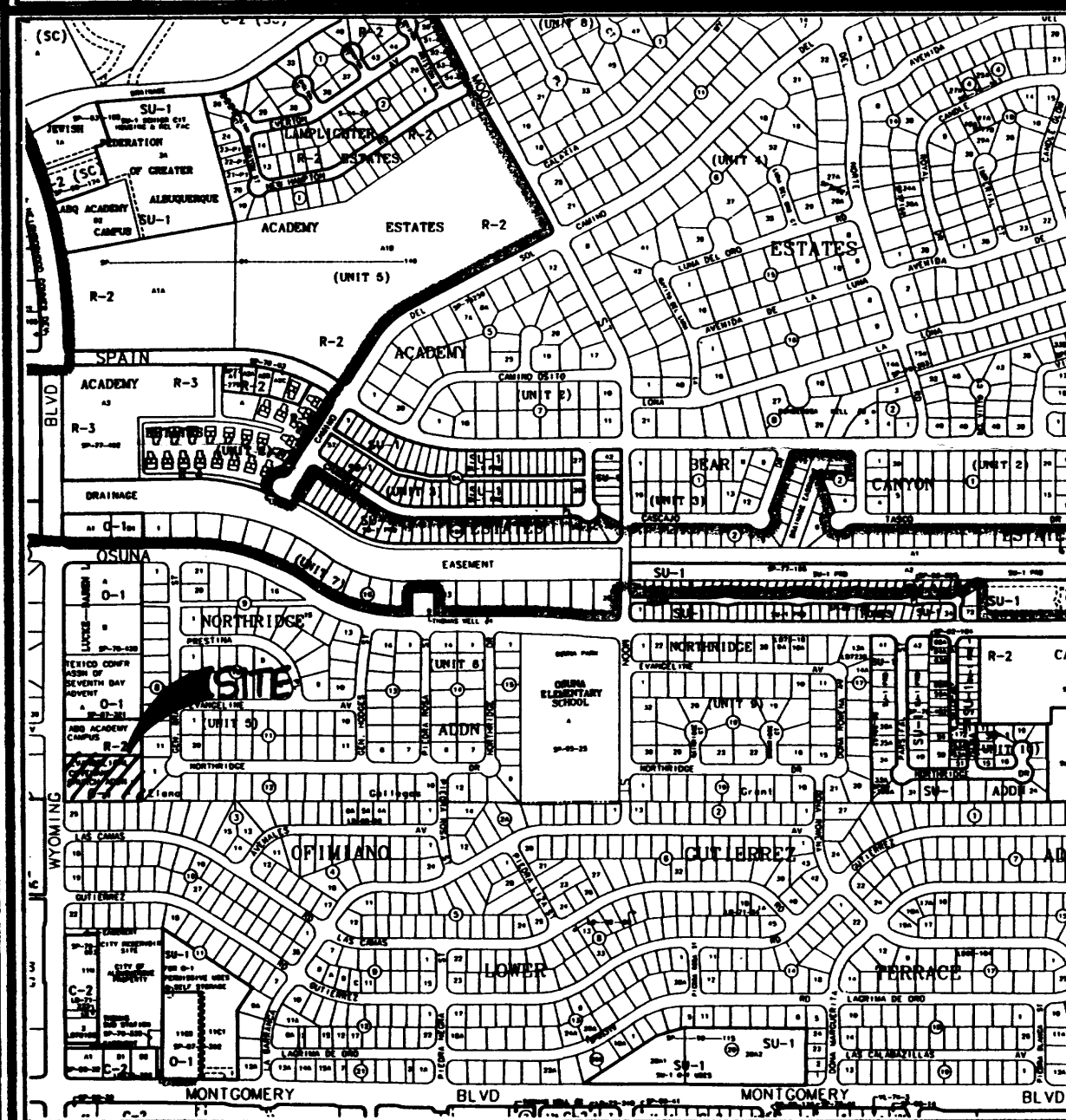
1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3,000.00 SQ. FT. - 2 REQUIRED.
2. FIRE HYDRANTS: SEE SITE PLAN FOR LOCATION OF 2 EXISTING FIRE HYDRANTS.
3. SEE SHEET FP FOR FIRE ALARM SYSTEM.

PARKING ANALYSIS:


AREA:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL REQUIRED:
DAY CARE CENTER:	ADDITIONAL 2 SPACES PLUS	1/500	2
DAY CARE CENTER:	7,104.00	/500	14.21
TOTAL REQUIRED:			16.21
TOTAL PROVIDED:			-
REQUIRED HANDICAP PARKING SPACES:			1.00
BICYCLE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES)			0.81

INDEX TO DRAWINGS

QNT. NO.	DESCRIPTION
A1	SITE PLAN, PONDY DDA, VERNY MAP
C1	GRASSHARE PLAN
S1	FOUNDATION PLAN
S2	FOUNDATION DETAILS
S3	WALL FRAMING PLAN
A2	FLOOR PLAN, SCHEDULES, DETAILS
A3	COUNTER ELEVATIONS, DETAILS
M4	ELEVATIONS, CROSS-SECTION
A5	REFLECTIVE CEILING PLAN
P1	PLUMBING PLAN
M1	MECHANICAL PLAN
E1	SITE ELECTRICAL PLAN
E2	ELECTRICAL PLAN, RISER DIAGRAM, FIRE ALARM PLAN
E3	LIGHTING PLAN, SCHEDULE



VICINITY MAP



DURA BILT
Products, Inc.

DESIGN / BUILDER
Since 1950
LICENSE NO. 3044

**4808 JEFFERSON N.E.
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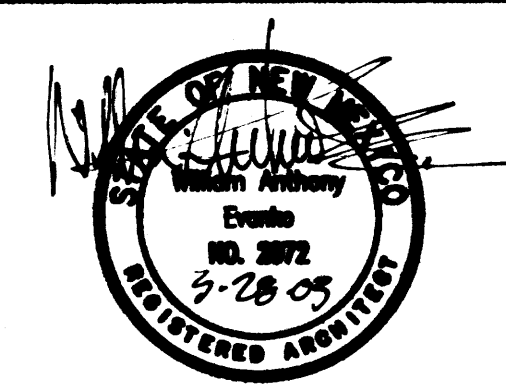
DATE: December 2, 2002
PLOT DATE: March 21, 2003

REVISIONS:

1.	-
2.	-
3.	-
4.	-
5.	-

FILE: SWSHTA1.DWG

PROPOSED BUILDING ADDITION
FOR
**SOUTHWEST
CHILDCARE**
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO 87111



SITE PLAN

SHEET NO.

A1

JOB NO. : 02-122 OF 5



ZONE ATLAS PAGE F-20 FIRM PANEL NO. 0143D

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4802 WYOMING BLVD. N.E.) LOT A EVANGELICAL COVENANT CHURCH ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 1.7463 ACRES AND IS LOCATED NORTH OF MONTGOMERY BLVD. N.E. AND EAST OF WYOMING BLVD. N.E. THE SITE CONTAINS A 4,237 SQ. FT. CHILDCARE CENTER ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. EXISTING FLOW PATTERN IS FROM EAST TO WEST AND INTO WYOMING BLVD. N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0143D, DATED SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A PROPOSED 4000 SQ. FT. BUILDING ADDITION. THE NEW DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS THE EXISTING PAVED PARKING AREA WEST OF THE PROPOSED BUILDING ADDITION. THERE ARE NO OFF-SITE FLOWS ENTERING FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCES MANUAL, VOLUME II DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.7463 ac.
SOUTHWEST CHILDCARE ADDITION

PRECIPITATION: 360 = 2.60 in.
1440 = 3.1 in.
10day = 4.9 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.66 in.	1.87 cfs/ac.
TREATMENT B 0.92 in.	2.6 cfs/ac.
TREATMENT C 1.29 in.	3.45 cfs/ac.
TREATMENT D 2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0 ac.
TREATMENT C 1.2484 ac.	1.1446 ac.
TREATMENT D 0.4979 ac.	0.6017 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66) x (0.00) + (0.92) x (0.00) + (1.29) x (1.25) + (2.36) x (0.50) / 1.75 ac. = 1.60 in.

V100-360 = (1.60) x (1.75) / 12 = 0.232123 ac-ft = 10111 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.87) x (0.00) + (2.60) x (0.00) + (3.45) x (1.25) + (5.02) x (0.50) = 6.81 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66) x (0.00) + (0.92) x (0.00) + (1.29) x (1.14) + (2.36) x (0.60) / 1.75 ac. = 1.66 in.

V100-360 = (1.66) x (1.75) / 12.0 = 0.241379 ac-ft = 10514 CF

V100-1440 = (0.24) x (0.60) x (3.10 - 2.60) / 12 = 0.266450 ac-ft = 11607 CF

V100-10day = (0.24) x (0.60) x (4.90 - 2.60) / 12 = 0.356705 ac-ft = 15538 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.87) x (0.00) + (2.60) x (0.00) + (3.45) x (1.14) + (5.02) x (0.60) = 6.97 CFS

INCREASE 6.97 CFS - 6.81 CFS = 0.16 CFS

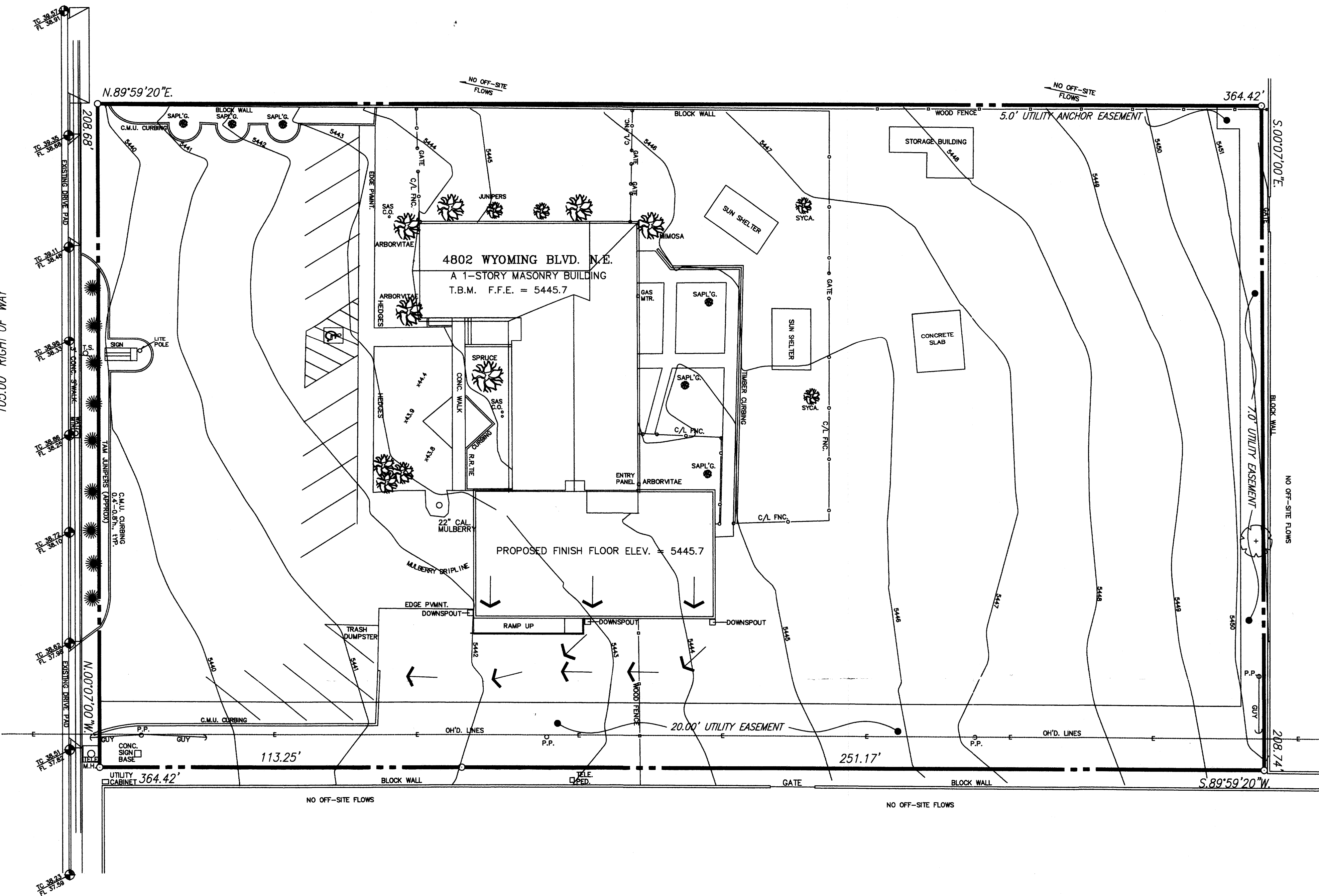
EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.

B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



LEGAL DESCRIPTION

TRACT A OF THE EVANGELICAL COVENANT CHURCH ADDITION, ALBUQUERQUE, NEW MEXICO

NOTICE TO CONTRACTOR

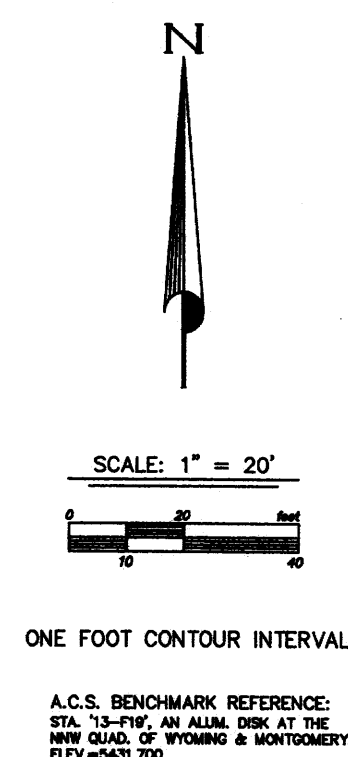
- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities, (260-1990).
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Commercial use.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property served.

SYMBOL LEGEND

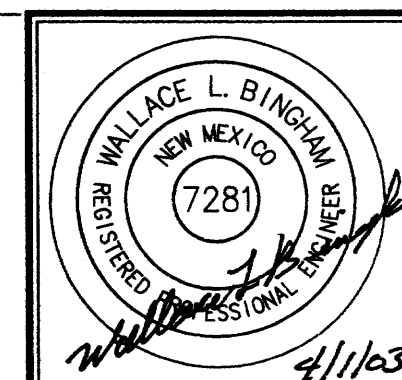
EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGNED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT

ABBREVIATION LEGEND

TOP OF CON. PAD - TCP
TOP OF CURB - TC
TOP OF ASPHALT - TA
FLOWLINE - FL
TOP OF WALL - TW



GRADING/DRAINAGE PLAN 1" = 20'



JOB NO:
DATE: APRIL 2003
REVISIONS

Sheet Title
GRADING/DRAINAGE PLAN
Drawn By: BJM
Checked By:

Project Name
SOUTHWEST CHILDCARE ADDITION
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO

Project Name
SOUTHWEST CHILDCARE ADDITION
4802 WYOMING BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD