



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

June 25, 2004

Michele M. Mullen, Registered Architect
1015 Tijeras Ave, NW, ste 220
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Satellite Coffee Shop, [F-20 / D29]
8405 Montgomery NE
Architect's Stamp Dated 06/25/04

Dear Mr. Mullen:

The TCL / Letter of Certification submitted on June 25, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

25 June 2004

Mr. Wilfred Gallegos
City of Albuquerque
Transportation Development Section
600 Second Street NW
Albuquerque, NM 87102

Re: Satellite Coffee
8405 Montgomery Blvd. N.E.
Transportation Certification

Dear Wilfred:

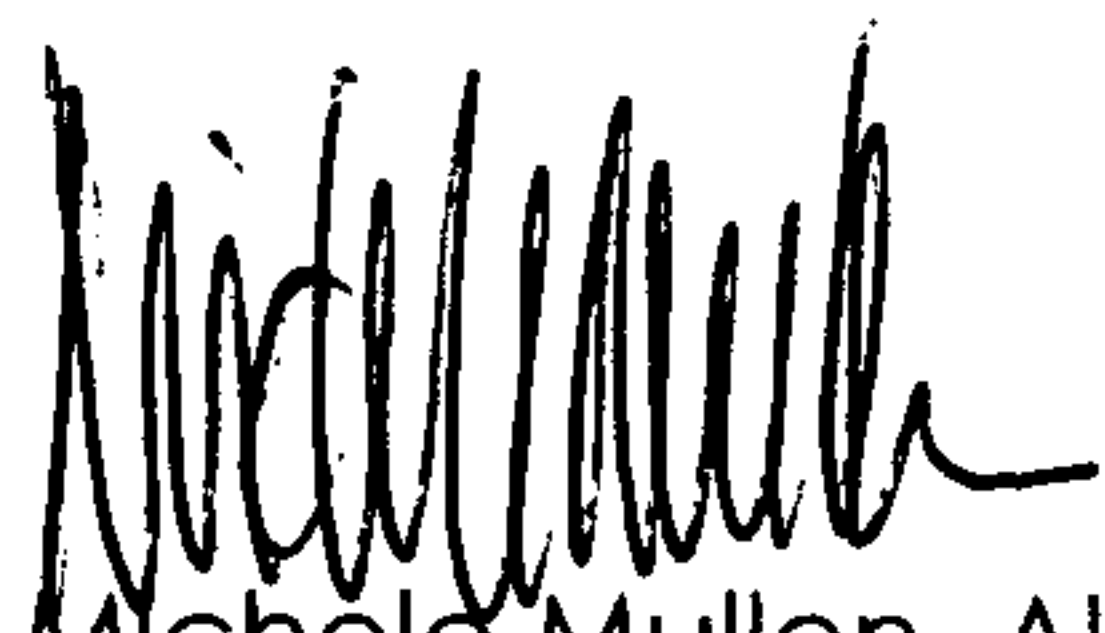
Attached is the as-built site plan and approved Traffic Circulation Layout for the above referenced project. I am applying for a permanent Certificate of Occupancy. The two corrections of the parking lot striping have been completed (see attached photo page.) The east parking is now 4 parallel spaces with a 24'-0" aisle width per the plan. The drive through is 12 feet wide on the west side per the plan.

The traffic circulation layout is now substantially compliant with the plan stamped 12/05/03.

Please feel free to contact me if you have any questions.

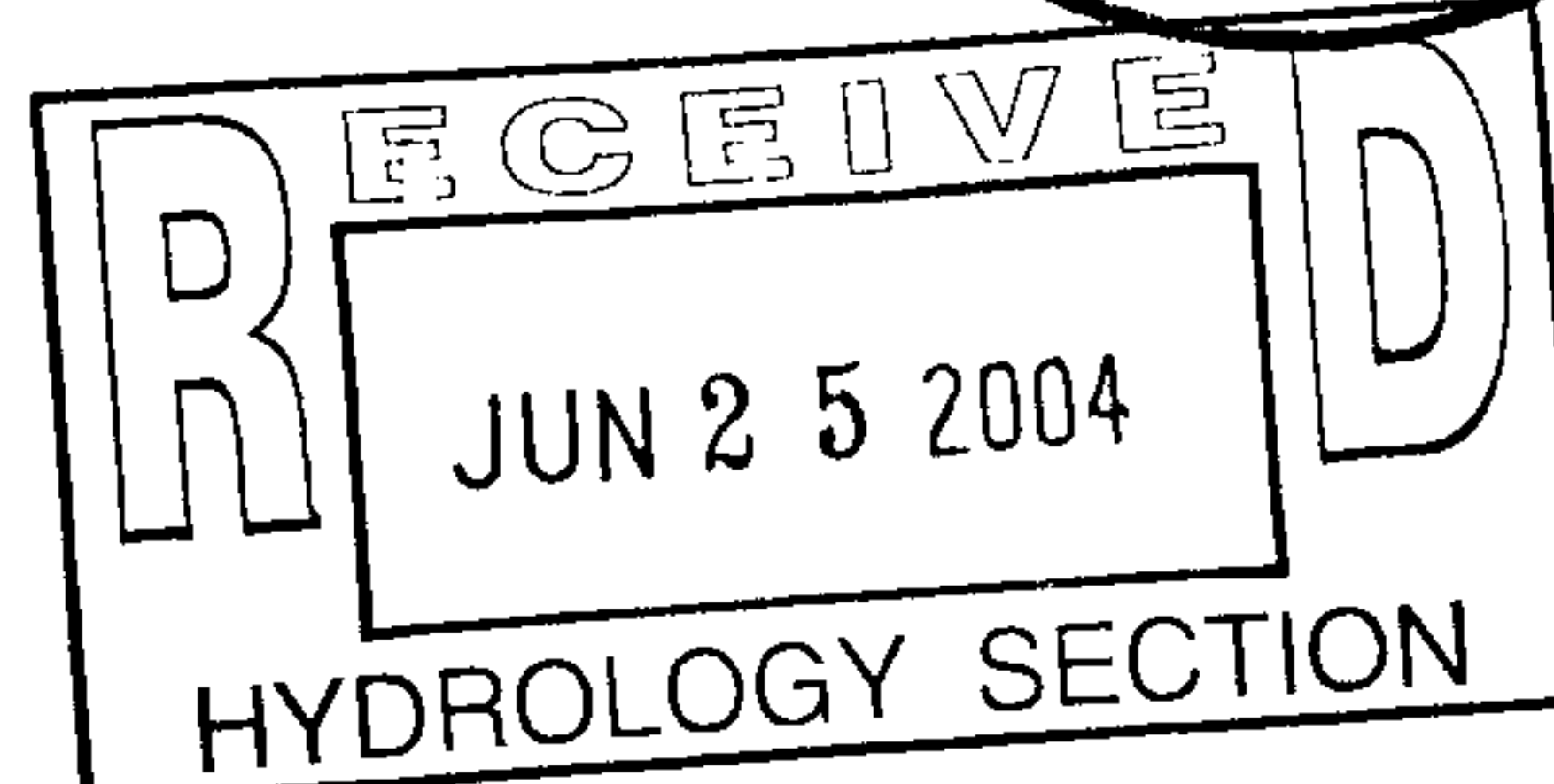
Sincerely,

Mullen Heller Architecture PC



Michele Mullen, AIA

Attachment: TCL Site Plan
Photo page





DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Satellite Coffee Shop

DRB #: N/A

EPC#: N/A

ZONE MAP/DRG. FILE #: F-20 ~~X174~~ / 10029
WORK ORDER#: N/A

LEGAL DESCRIPTION: Lot B-1 OJGutierrezLowerTerraceSubdv, Re-division of Lot B Tract 11-B Blk 11

CITY ADDRESS: 8405 Montgomery Blvd. N.E.

ENGINEERING FIRM: N/A

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: Mullen Heller Architecture PC

ADDRESS: 1015 Tijeras Avenue NW Suite 220

CITY, STATE: Albuquerque NM

CONTACT: Douglas Heller, AIA

PHONE: 268-4144

ZIP CODE: 87102

SURVEYOR: N/A

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Klinger Constructors

ADDRESS: 8701 Washington NE

CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas

PHONE: 828-9990

ZIP CODE: 87199

CHECK TYPE OF SUBMITTAL:

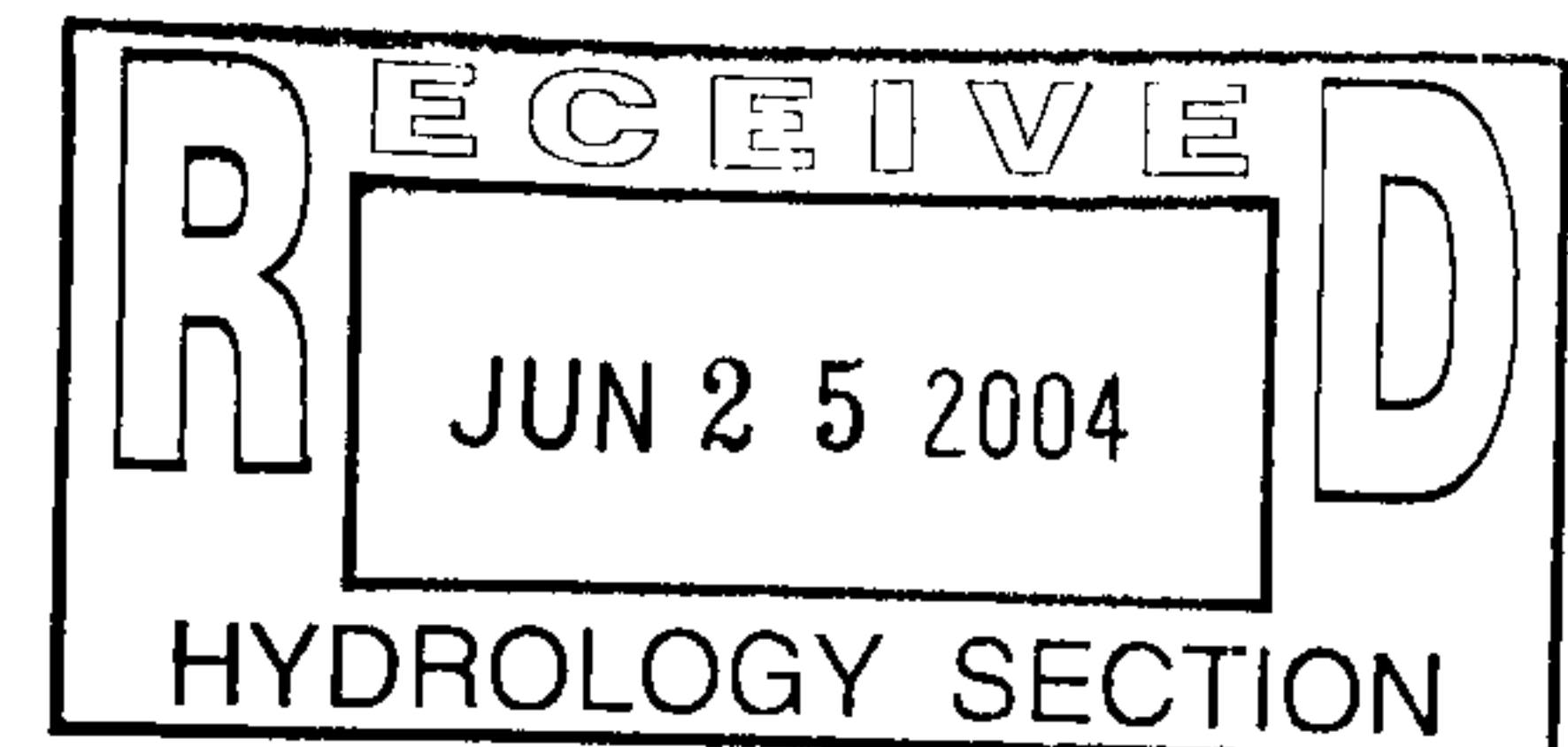
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 06/25/04

BY: Michele Mullen AIA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

June 22, 2004

Michele M Mullen, Registered Architect
Mullen Heller Architecture PC
1015 Tijeras Ave NW Ste. 220
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Satellite Coffee Shop, [F20 / D29]
8405 Montgomery Blve NE
Architect's Stamp Dated 06/22/04

Dear Mr. Mullen:

Based on the information provided on your submittal dated June 22, 2004, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the parking lot striping issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

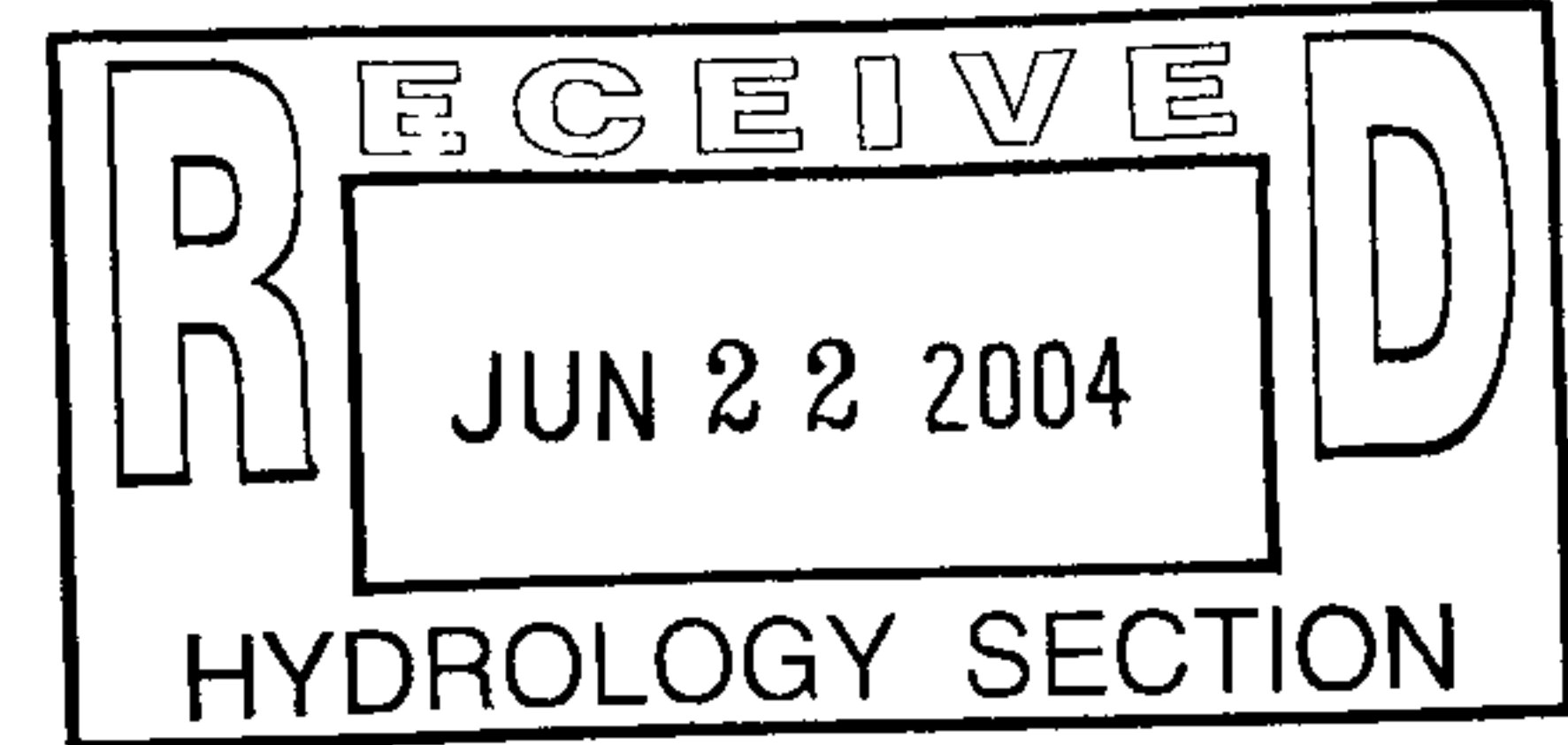
c: Engineer
Hydrology file
GO Clerk

Arlene:
Please log in &
out for me.
Approved for
Temp - C.O.
FvB

22 June 2004

Mr. Wilfred Gallegos
City of Albuquerque
Transportation Development Section
600 Second Street NW
Albuquerque, NM 87102

Re: Satellite Coffee
8405 Montgomery Blvd. N.E.
Transportation Certification



Dear Wilfred:

Attached is the as-built site plan and approved Traffic Circulation Layout for the above referenced project. I am applying for a temporary Certificate of Occupancy. There are 2 areas of the parking lot that need to be re-stripped before applying for a permanent Certificate of Occupancy, which we will do next week following corrections.


Please see the attached TCL plan dated 12/05/03. The angled parking on the east side will be changed back to parallel parking, with a 22' drive through lane. The pick-up window lane striping will be re-stripped back to 12' width.

A 4' pedestrian sidewalk from the street sidewalk to the patio was added. In addition, the west-side angled parking was reduced from 10 to 8 spaces, due to site conditions. However, total parking will still be at 18, 2 more than the required 16.

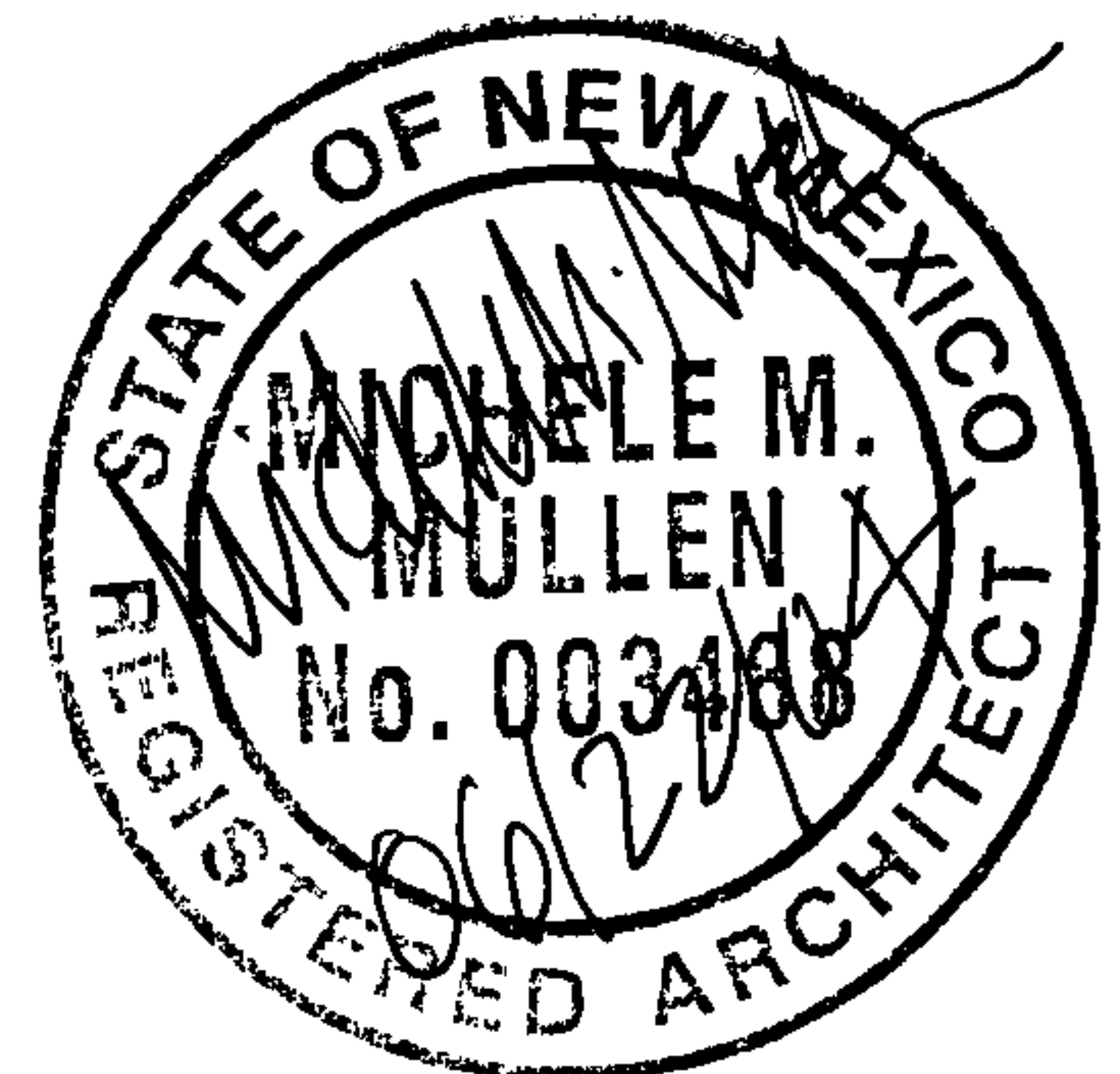
When the coorections are completed we will certifiy substantial completion and resubmit.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC


Michele Mullen, AIA

Attachment: TCL Site Plan



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

F20/D29

PROJECT TITLE: Satellite Coffee Shop

DRB #: N/A

EPC#: N/A

ZONE MAP/DRG. FILE #: ~~1111~~

WORK ORDER#: N/A

LEGAL DESCRIPTION: Lot B-1 OJGutierrezLowerTerraceSubdv,Re-divisionofLot B Tract11-B Blk 11

CITY ADDRESS: 8405 Montgomery Blvd. N.E.

ENGINEERING FIRM: N/A

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: Mullen Heller Architecture PC

ADDRESS: 1015 Tijeras Avenue NW Suite 220

CITY, STATE: Albuquerque NM

CONTACT: Douglas Heller, AIA

PHONE: 268-4144

ZIP CODE: 87102

SURVEYOR: N/A

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Klinger Constructors

ADDRESS: 8701 Washington NE

CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas

PHONE: 828-9990

ZIP CODE: 87199

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

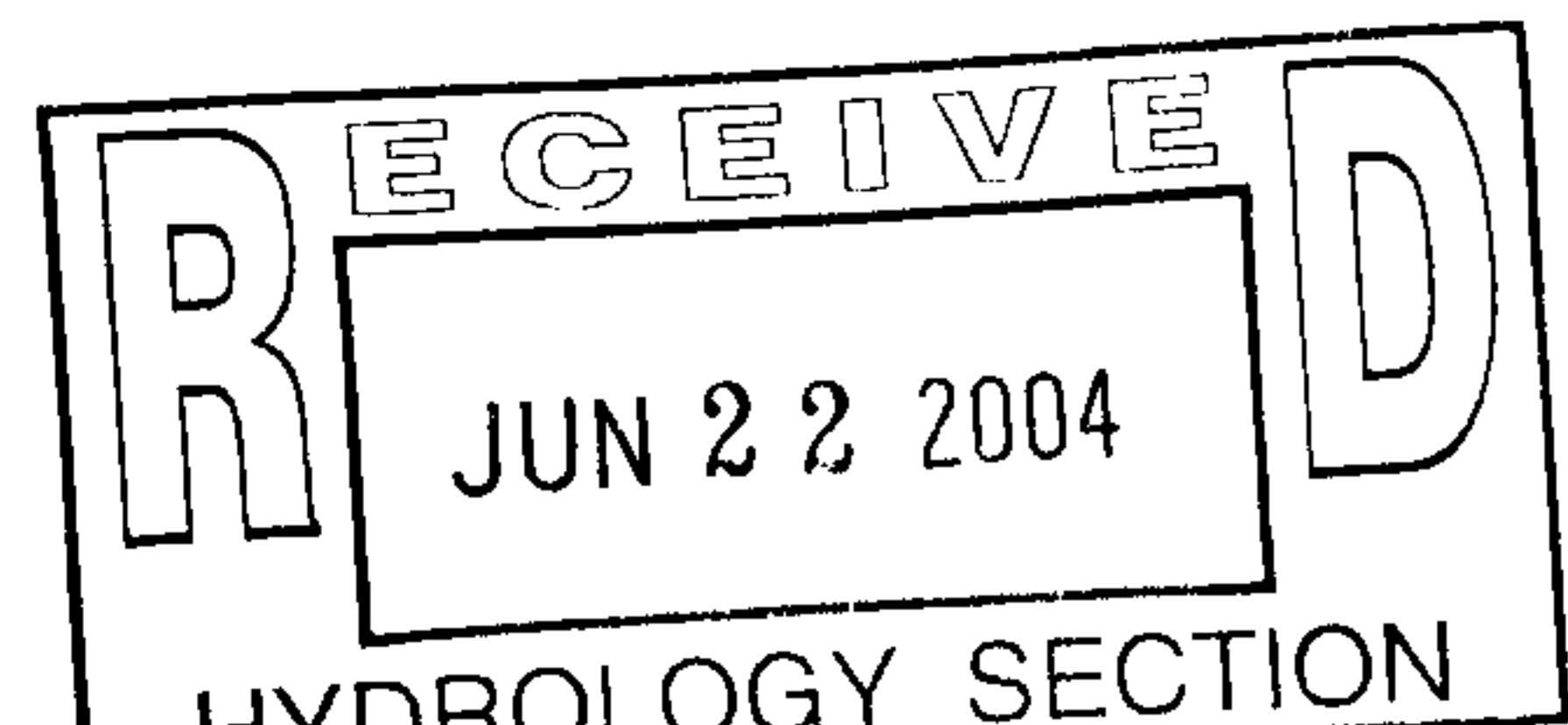
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 06/22/04

BY: Doug Heller, AIA



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 5, 2003

John Douglas Heller, R.A.
Mullen Heller Architecture PC
1015 Tijeras Ave. NW Suite 220
Albuquerque, NM 87102

**Re: Satellite Coffee Shop Remodel, 8405 Montgomery Blvd. NE, Traffic
Circulation Layout**

Architect's Stamp dated 12-05-03 (F20/D29)

Dear Mr. Heller,

Based upon the information provided in your submittal received 12-05-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Transportation.

Prior to Certificate of Occupancy release, Architect Certification of this plan will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

F-20/029

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Satellite Coffee ShopDRB #: N/AEPC#: N/AZONE MAP/DRG. FILE #: F-20-ZWORK ORDER#: N/ALEGAL DESCRIPTION: Lot B1 O J Gutierrez Lower Terrace Subdivision

CITY ADDRESS: _____

ENGINEERING FIRM: N/A

ADDRESS: _____

CITY, STATE: _____

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

ARCHITECT: Mullen Heller Architecture PCADDRESS: 1015 Tijeras Ave NW Suite 220CITY, STATE: Albuquerque, NM

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTRACTOR: Klinger ConstructorsADDRESS: 8701 Washington NECITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTACT: Douglas Heller, AIAPHONE: 268-4144ZIP CODE: 87102

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTACT: Mark MaestasPHONE: 828-9990ZIP CODE: 87199CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

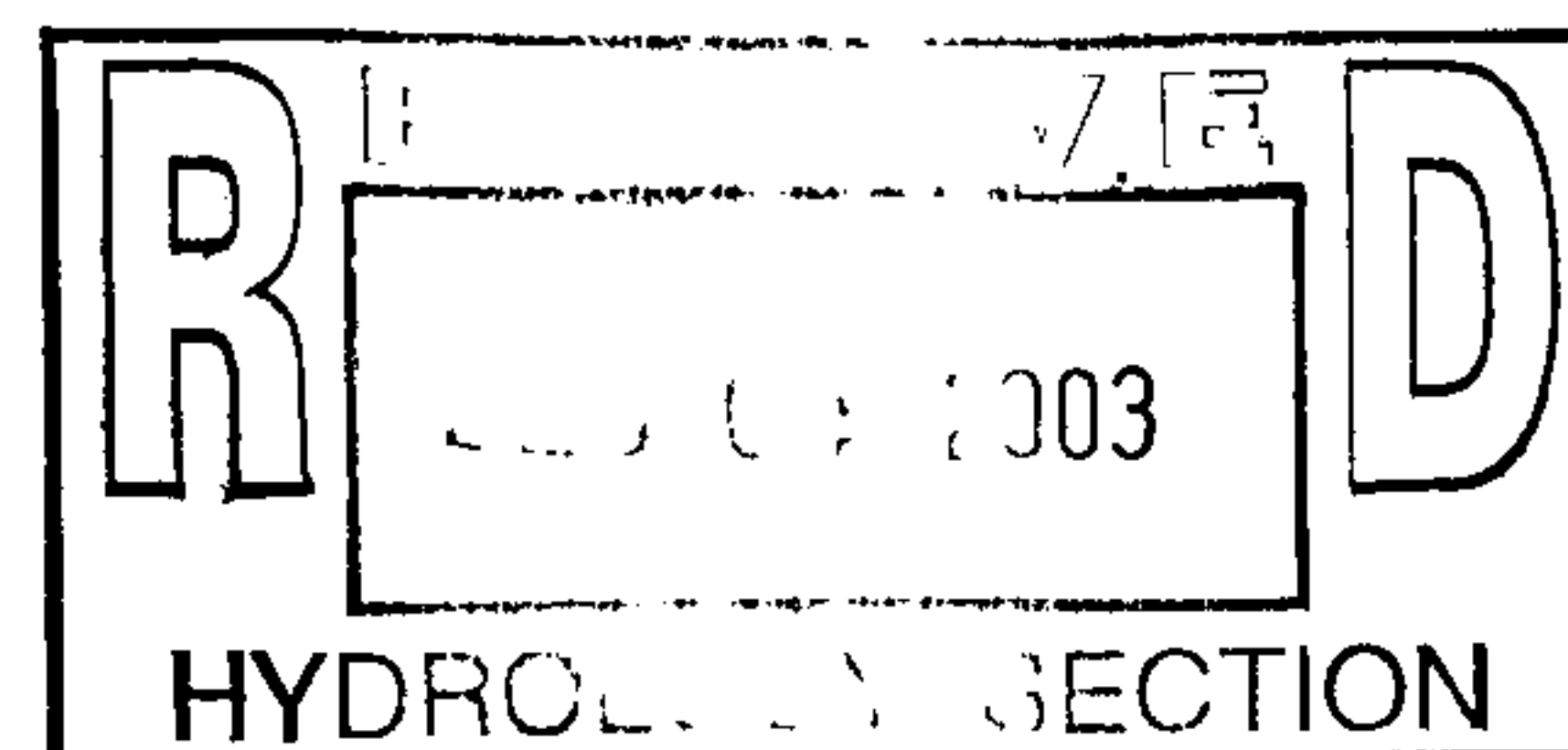
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: _____

BY: _____

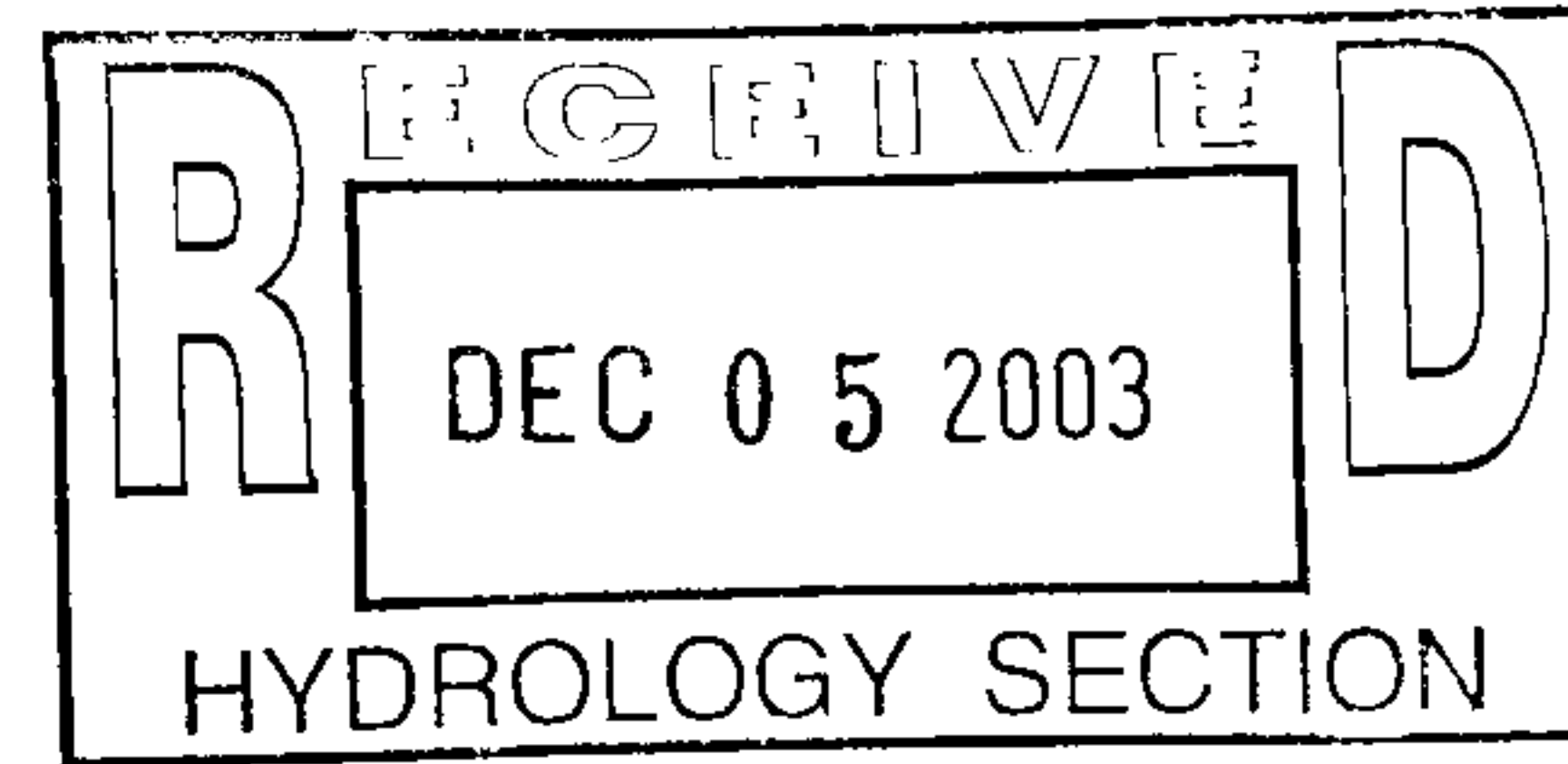


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

December 5, 2003

Mr. Bradley Bingham, PE
City of Albuquerque
Sr. Engineer Planning Department
Development and building Services
P.O. Box 1293
Albuquerque, NM 87103



Re: Satellite Coffee Shop
Revised Traffic Circulation Layout

Dear Mr. Bingham:

We have corrected the Traffic Circulation Layout per your comments for the above referenced project, and I have enumerated our corrections below.

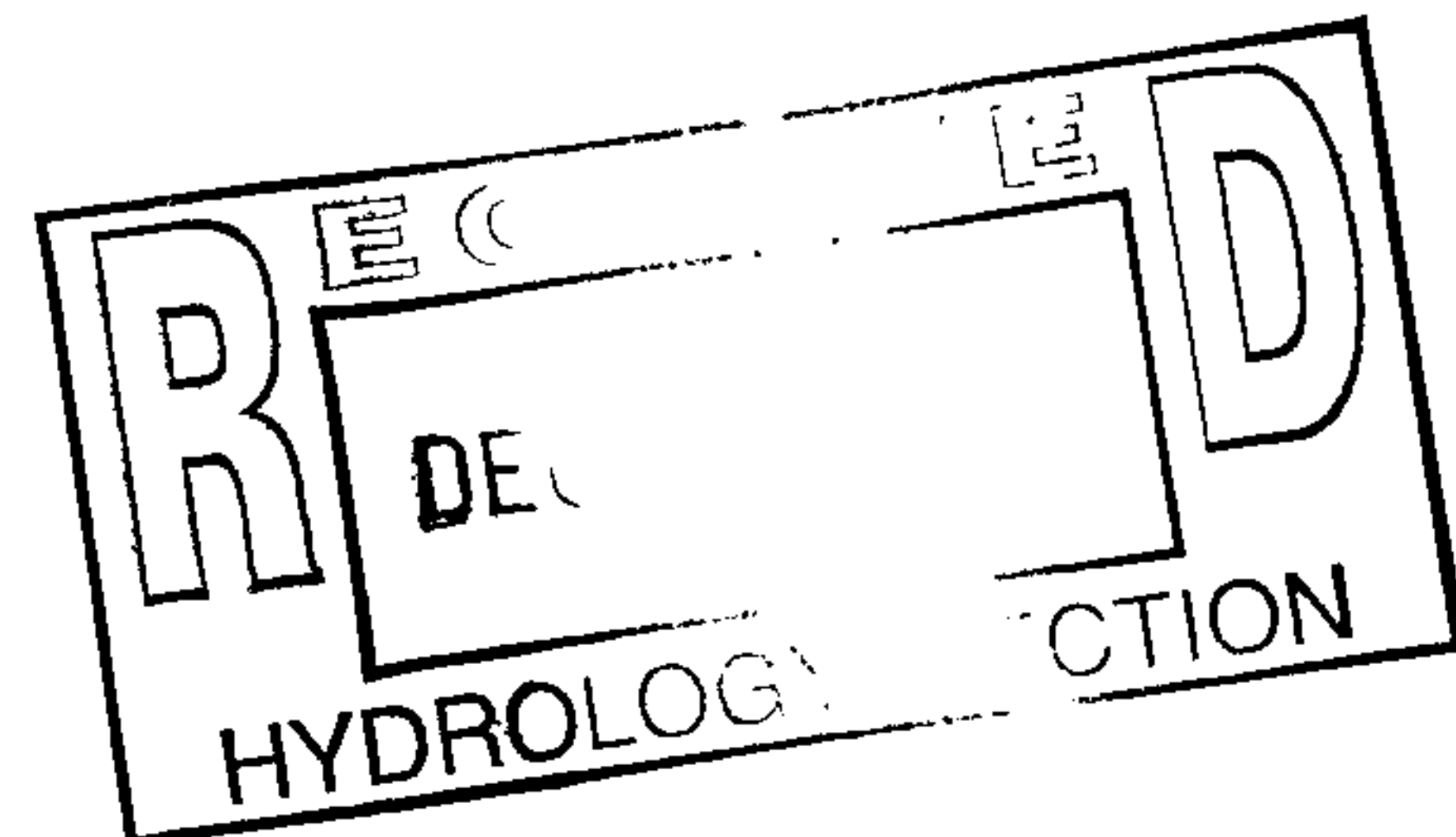
1. The nearest driveways on either side of our property have been indicated on the plan.
2. The one-way driveways have been dimensioned to be no more than 25' wide. The drive-thru lane on the west side of the building has been designated by pavement striping and dimensioned as well.
3. The parking spaces have been dimensioned on the east, north, and west sides of the building with "typical" notes.
4. The existing City sidewalk is 6' wide and has been noted as such.
5. The driveway in the northeast corner of the site is existing and accesses the City property to the north. We are maintaining this access with no modification.
6. The parking spaces on the north side of the site have been changed to be 20' deep.
7. The two handicap spaces have been changed to be 8'-6" wide.
8. One-way pavement striping and "Do Not Enter" signage have been indicated on the site as well.

Please do not hesitate to contract me if I may be of further assistance.

Sincerely,
Mullen Heller Architecture, PC

A handwritten signature in black ink, appearing to read "D. Heller".

Douglas Heller, AIA





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 4, 2003

John Douglas Heller, R.A.
Mullen Heller Architecture PC
1015 Tijeras Ave. NW Suite 220
Albuquerque, NM 87102

**Re: Satellite Coffee Shop Remodel, 8405 Montgomery Blvd. NE, Traffic
Circulation Layout**

Architect's Stamp dated 11-03-03 (F20/D29)

Dear Mr. Heller,

Based upon the information provided in your submittal received 11-05-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please show the location of the nearest driveway on the adjacent lot.
- 2. One-way drives have a maximum width of 25 feet.
- 3. Please list the width and length for all parking spaces.
- 4. Define width of the existing sidewalk.
- 5. What is the width of the northern driveway, and where does it go?
- 6. Parking spaces along the northern property line must be 20 feet in length.
- 7. The handicapped spaces must be a minimum of 8.5 feet in width.
- 8. One-way striping, signage, and arrows should be shown to define proper traffic circulation.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

F-20/029

PROJECT TITLE: Satellite Coffee Shop Remodel
DRB #: N/A EPC#: N/A

ZONE MAP/DRG. FILE #: F-20-Z
WORK ORDER#: N/A

LEGAL DESCRIPTION: Lot B1 O J Gutierrez Lower Terrace Subdivision
CITY ADDRESS: _____

ENGINEERING FIRM: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Mullen Heller Architecture PC
ADDRESS: 1015 Tijeras Avenue NW Suite 220
CITY, STATE: Albuquerque NM

CONTACT: Douglas Heller, AIA
PHONE: 268-4144
ZIP CODE: 87102

SURVEYOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Klinger Constructors
ADDRESS: 8701 Washington NE
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas
PHONE: 828-9990
ZIP CODE: 87199

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

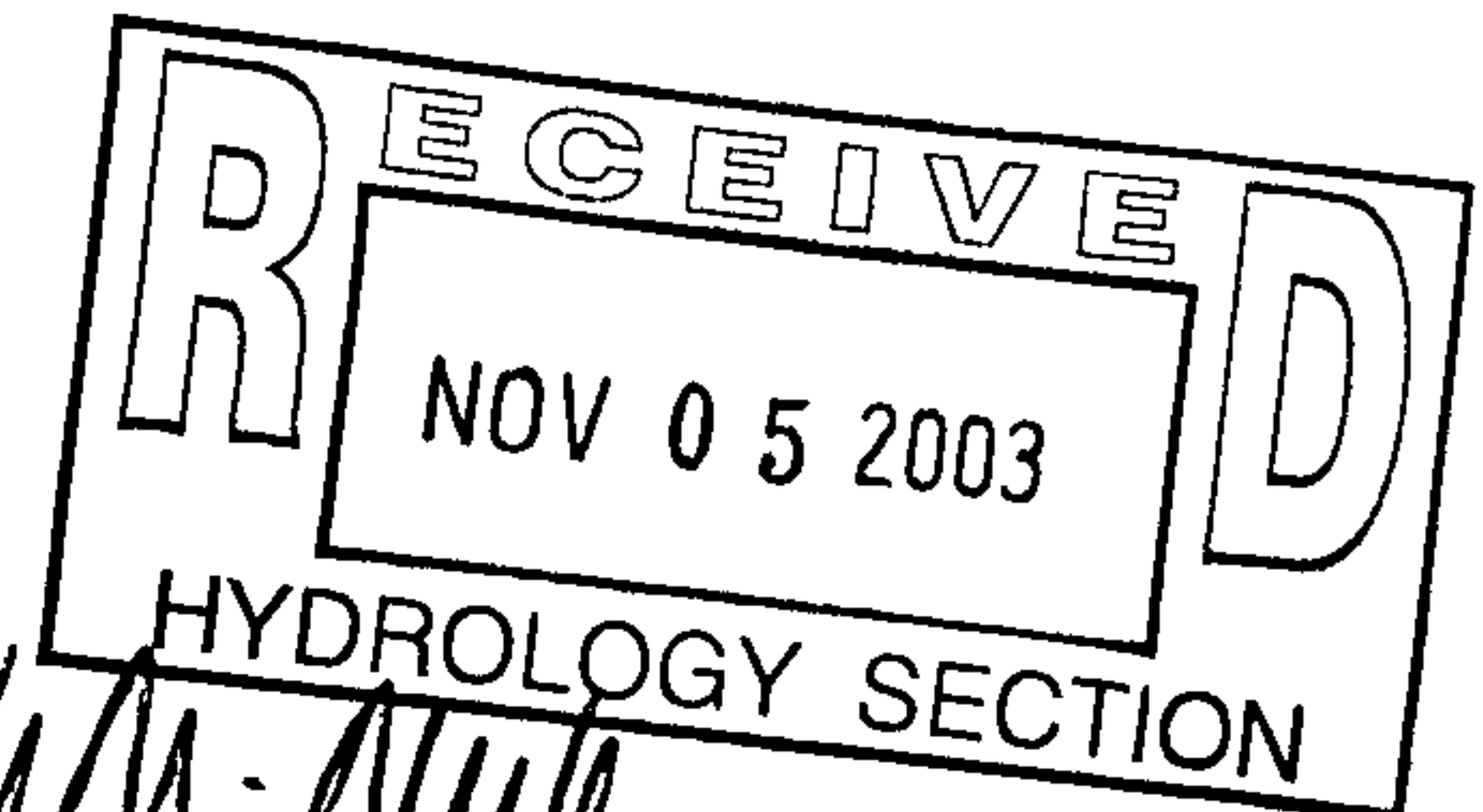
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- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ FINAL PLAT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 11/05/03

BY: Michael M. Mullen



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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