



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 5, 2004

Jeffrey Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: St. Stephens United Methodist Church, 4601 Juan Tabo NE, Certificate of Occupancy

Engineer's Stamp dated 4-02-03 (F21/D13)

Certification dated 3-02-04

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 3-03-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

F-21 D13

PROJECT TITLE: ST STEPHENS UMC PHASE 1 ZONE ATLAS/DRNG. FILE # F21 D13
 DRB #: 1002329 EPC #: 02EPC-01682 WORK ORDER #: 706881

LEGAL DESCRIPTION: TRACT SS-1 ST. STEPHENS UNITED METHODIST CHURCH
 CITY ADDRESS: _____

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ST STEPHENS UNITED METHODIST CHURCH CONTACT: GREGORY HEDGES
 ADDRESS: 4601 JUAN TABO NE PHONE: 293-9673
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87111

ARCHITECT: R. D. HABIGER & ASSOCIATES, INC. CONTACT: ROBERT HABIGER
 ADDRESS: 12101 PALOMAS NE PHONE: 821-3112
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87122

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: KLINGER CONSTRUCTORS CONTACT: TOM NOVAK
 ADDRESS: 8701 WASHINGTON NE PHONE: 856-8209
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: _____

TYPE OF SUBMITTAL:

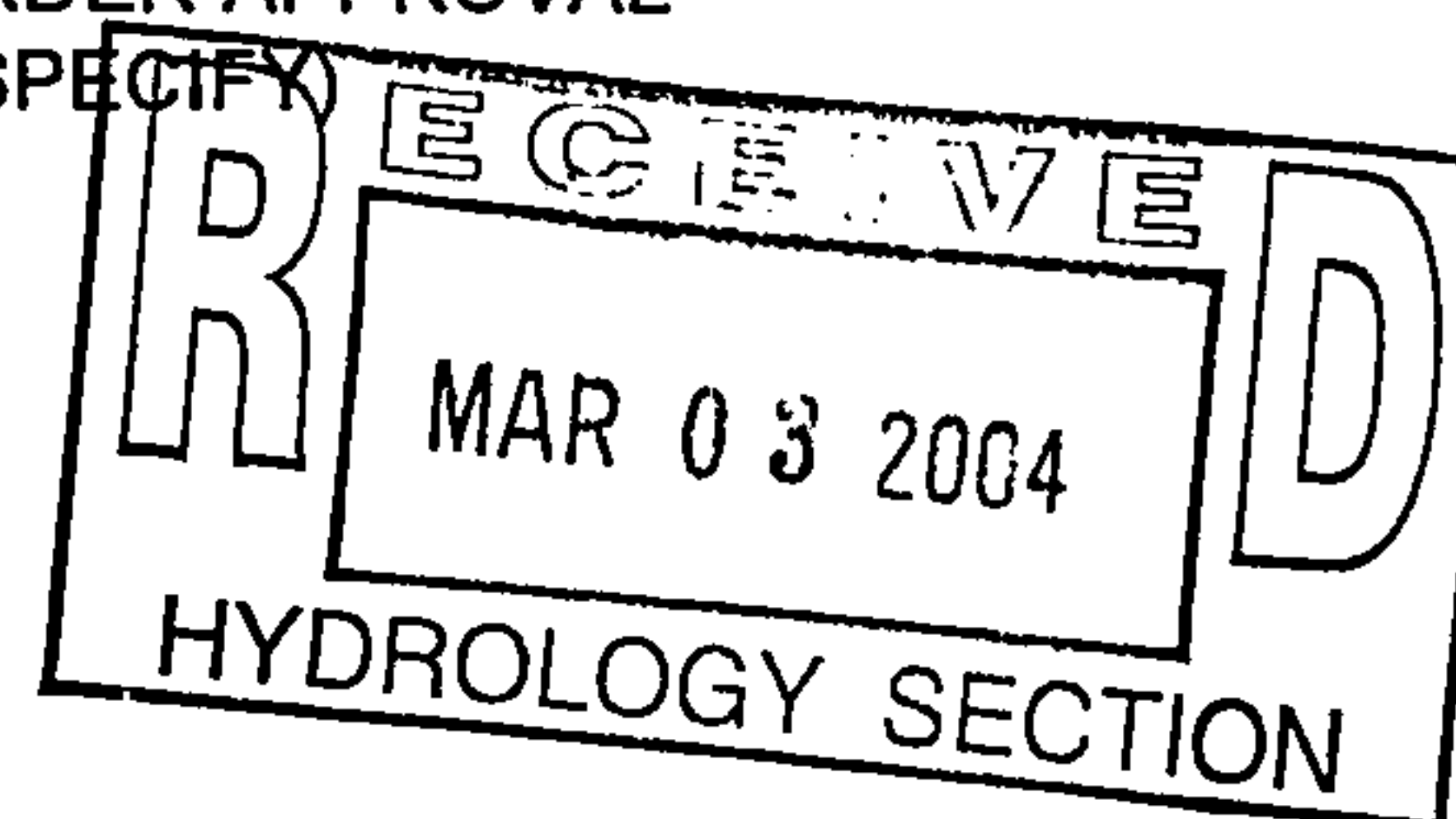
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER
Need stamp date 4/2/2003 ✓
Cert Dated 3/2/04
by J. Mortensen

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 03/03/2004 BY: JEFFREY G. MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 27, 2007

Jeffrey G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: St. Stephens United Methodist Church – West Parking Lot (F21/D13)
Engineer's Stamp dated 6-5-2007

Dear Mr. Mortensen,

Based upon the information contained in your submittal received on June 6, 2007, the above referenced plan is approved for Grading and Paving Permits.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645.

In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of their SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

P.O. Box 1293

Albuquerque

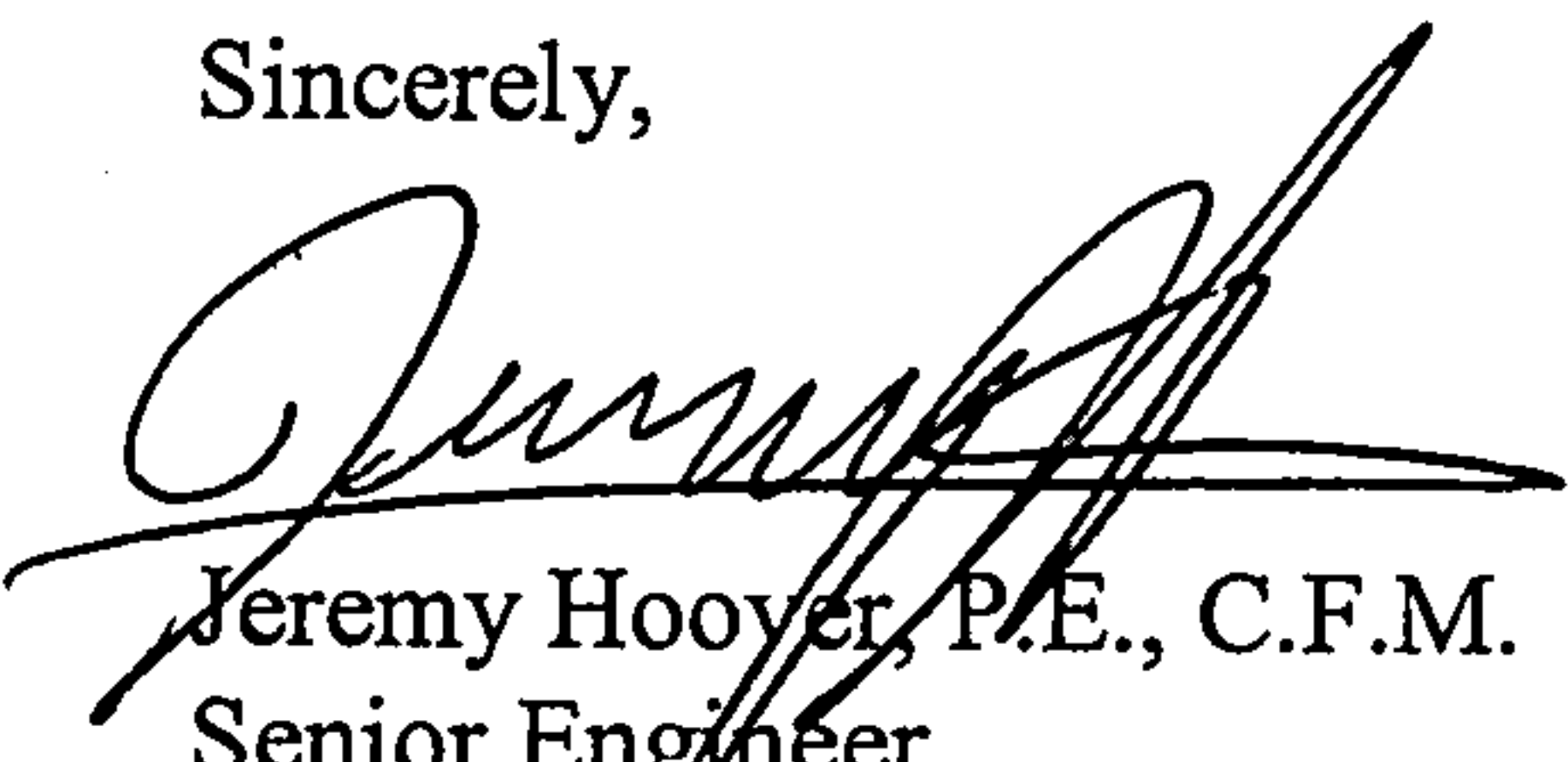
New Mexico 87103

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

Upon completion of the project, please submit an Engineer's Certification for our records. If you have any questions, you can contact me at 924-3990.

Sincerely,

www.cabq.gov


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file F21/D13

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: ST STEPHENS UMC PHASE 2 ZONE ATLAS/DRNG. FILE #: F21 - D13
 DRB #: 1002329 EPC #: 02EPC-01682 WORK ORDER #: 706881 - COMPLETE

LEGAL DESCRIPTION: TRACT SS-1, ST STEPHENS METHODIST CHURCH
 CITY ADDRESS: 4601 JUAN TABO NE, 87111

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ST STEPHENS UNITED METHODIST CHURCH CONTACT: ARCHITECT
 ADDRESS: 4601 JUAN TABO NE PHONE:
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87111

ARCHITECT: RD HABIGER & ASSOCIATES CONTACT: ROBERT HABIGER
 ADDRESS: 4005 TARA DRIVE NE PHONE: 821-3112
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87111

SURVEYOR: HIGH MESA CONSULTING GROUP (NMPS 11184) CONTACT: CHARLES G. CALA, JR
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: NOT SELECTED CONTACT:
 ADDRESS: PHONE:
 CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL (FOLLOW-UP TO MDP)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER -

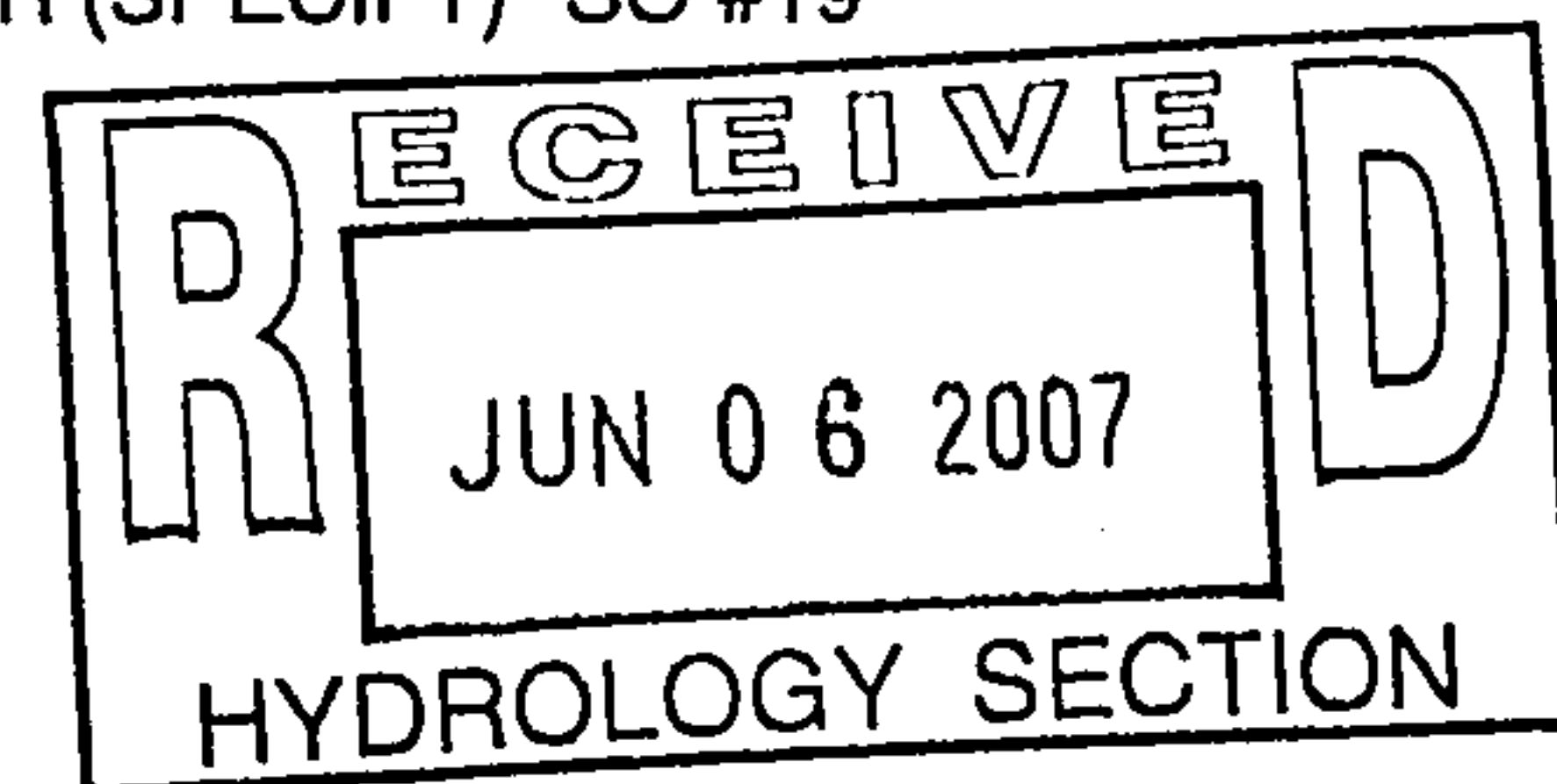
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO #19

NOTE: APPROVED SITE DEVELOPMENT PLAN IS APPROVED TCL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 06/05/2007 BY: JEFFREY G. MORTENSEN

XC: ROBERT HABIGER W/ 1 SET MYLARS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

February 6, 2003

Tate Fishburn, Registered Architect
Box 2941
Corrales, NM 87048

Re: Certification Submittal for Final Building Certificate of Occupancy for
St. Stephen's UMC, [F-21 / D13]
4601 Juan Tabo NE
Architect's Stamp Dated 02/05/04

Dear Mr. Fishburn:

The TCL / Letter of Certification submitted on February 6, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

F-21/D13

PROJECT TITLE: ST. STEPHEN'S UMC ZONE MAP/DRG. FILE #: F-21
 DRB #: 03-0000200 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT SS-1, ST. STEPHEN'S UNITED METHODIST CHURCH
 CITY ADDRESS: 4601 JOAN TABO NE

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC.
 ADDRESS: 6010-B MIDWAY NE
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: SSUMC
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: TATE FISHBURN ARCHITECT
 ADDRESS: BOX 2941
 CITY, STATE: CORRALES, NM 87048

CONTACT: TATE FISHBURN
 PHONE: 999-9338
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: KLINGER CONSTRUCTION
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

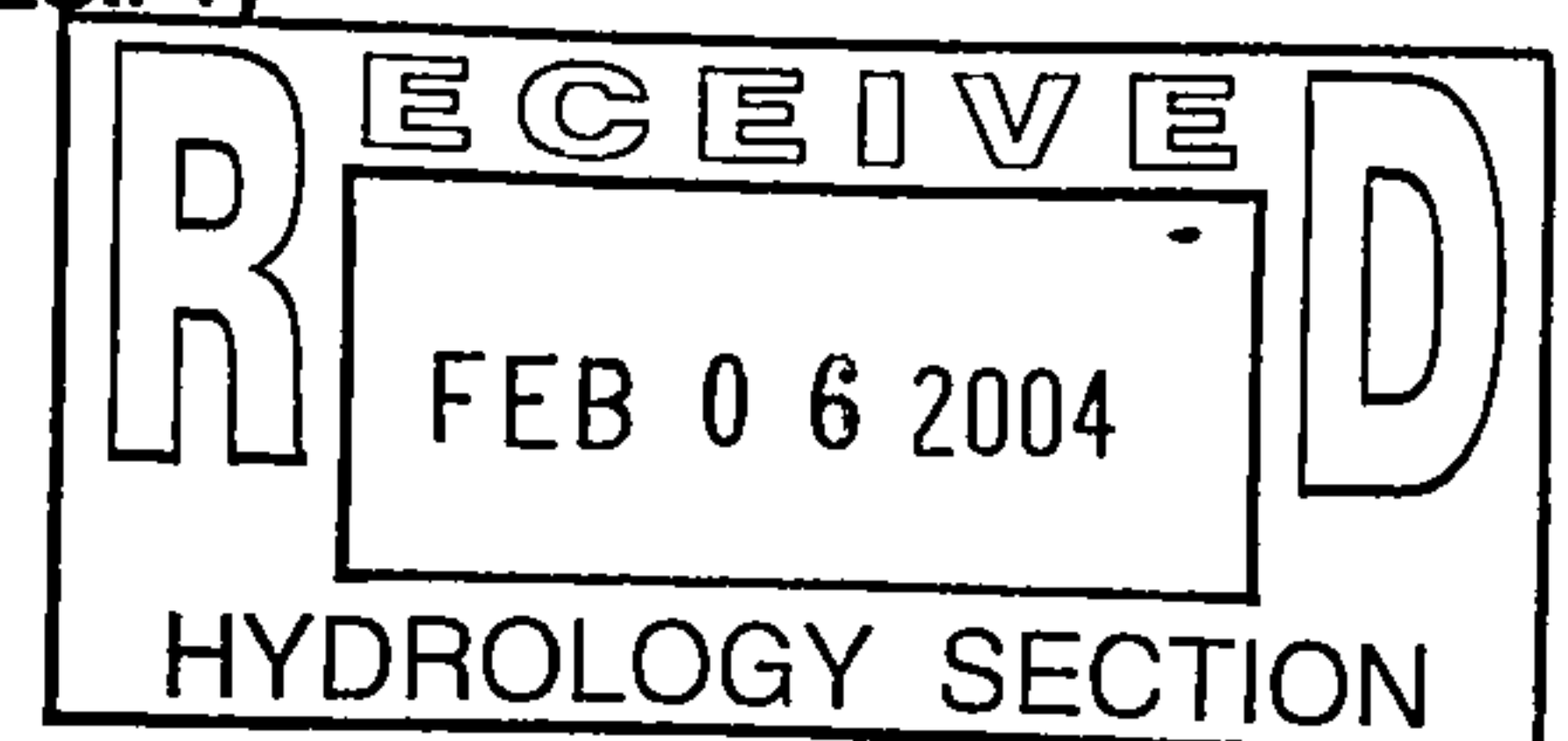
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 2/6/04 BY: TATE FISHBURN *[Signature]*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

T A T E F I S H B U R N A R C H I T E C T

February 5, 2004

Brad Bingham
Hydrology Development-TCL
City of Albuquerque
600 2nd St., N.W., Second Floor West
Albuquerque, NM

Ref: TCL Certification
4601 Juan Tabo, NE

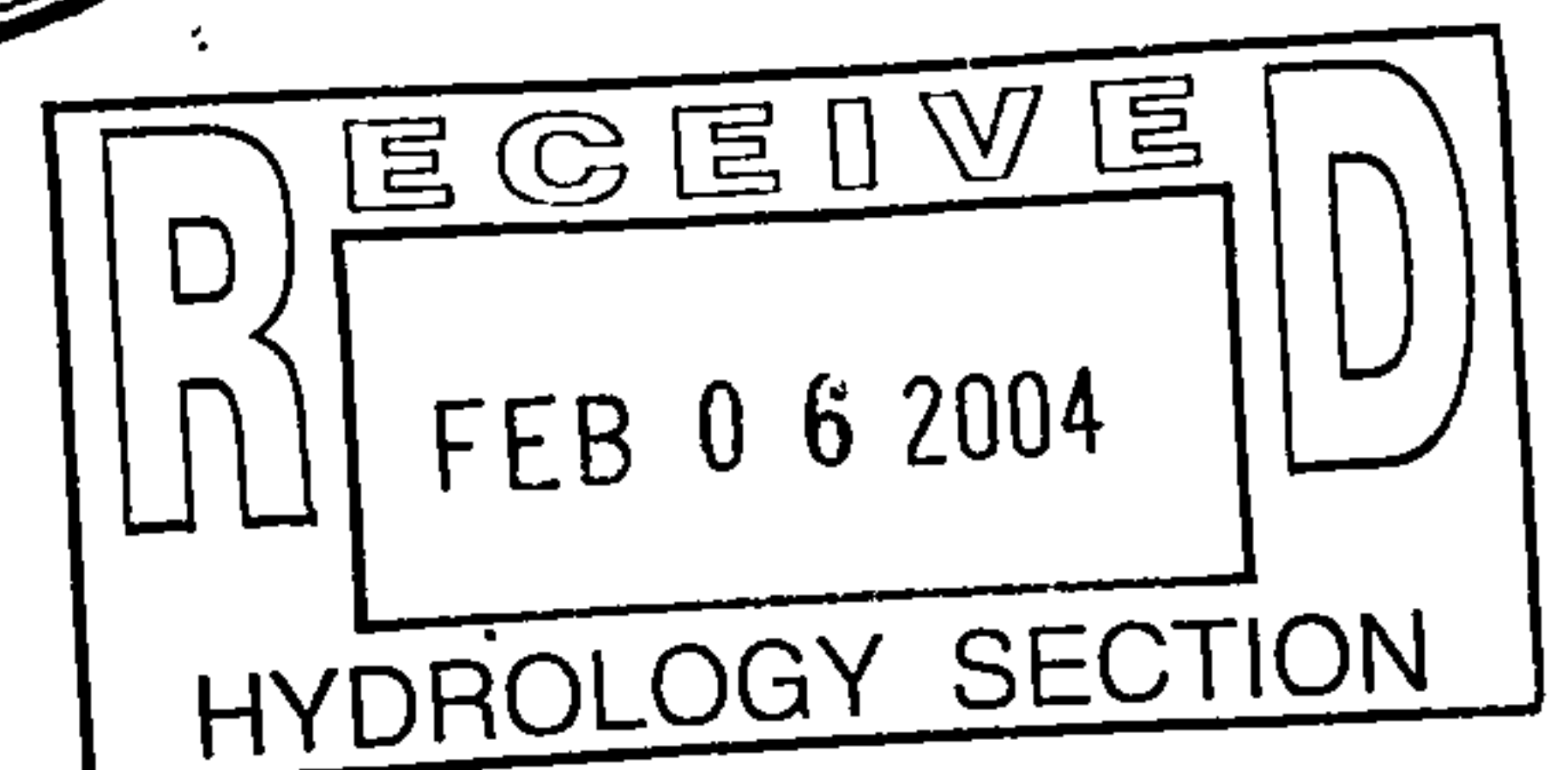
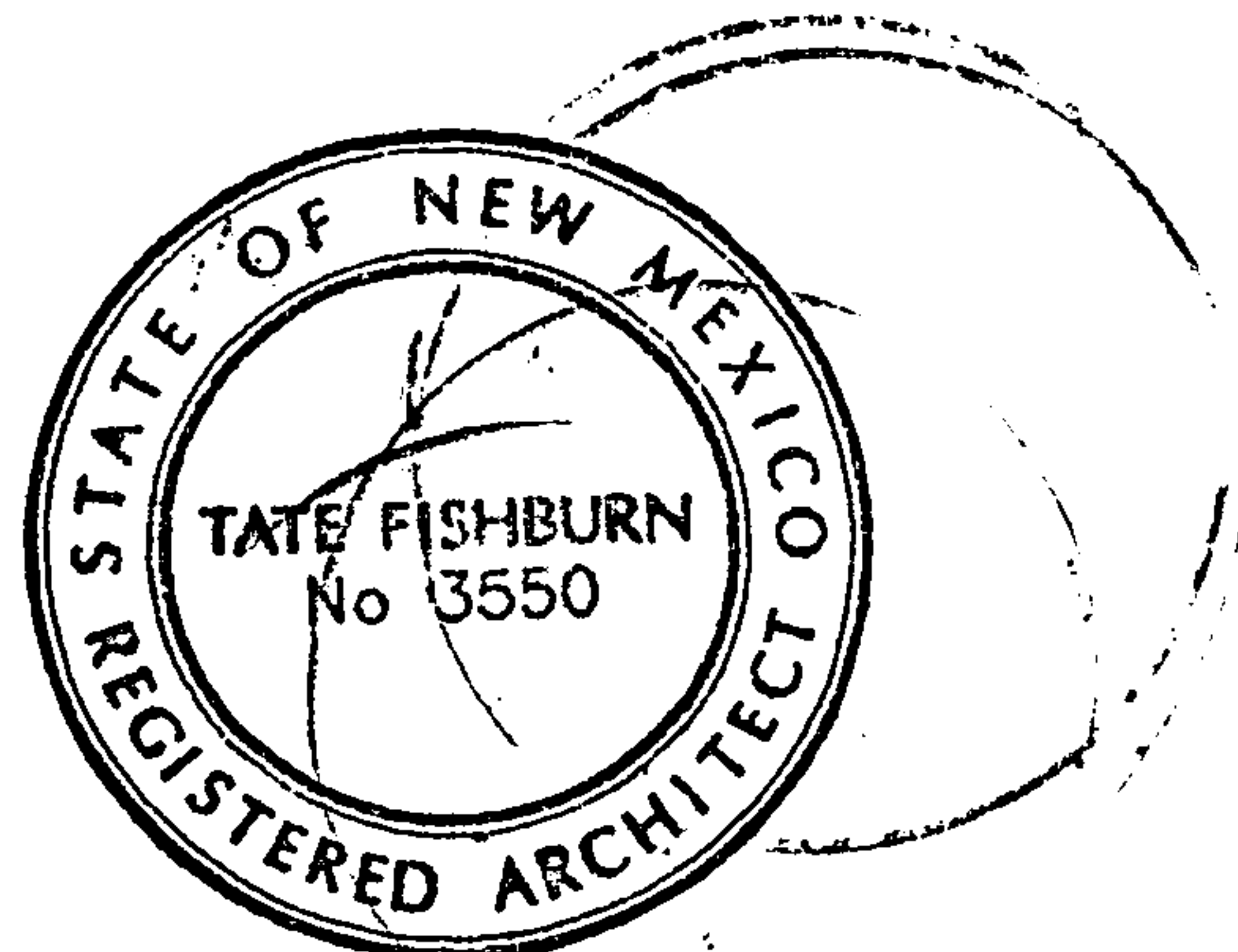
Dear Brad,

I have observed the completed traffic circulation layout for the above- ^{COMPLIANCE} mentioned project. I have found that it is in substantial ~~conformance~~ ^{TRF} with the approved DRB drawings, which are attached. If you have any questions please contact my office.

Sincerely,



Tate Fishburn
Architect





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 13, 2004

Jeffrey Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: St. Stephens UMC Phase 1, 4601 Juan Tabo NE, Certificate of Occupancy
Engineer's Stamp dated 4-02-03 (F21/D113)
Certification dated 2-13-04**

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 2-13-04, the above referenced certification is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 22, 2003

Jeff Mortensen, PE
Jeff Mortensen & Associates
6010B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: St. Stephens UMC Phase 1 Grading and Drainage Plan (F-21/D13)
Engineer's Stamp Dated April 2, 2003**

Dear Mr. Mortensen:

The above referenced grading and drainage plan received April 4, 2003 is approved for Building Permit. Upon completion of the project the engineer will need to certify the project per the DPM for Certificate of Occupancy release.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions please call me at 924-3982

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: Charles Caruso, Public Works Hydrology
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 5, 2002

Jeff Mortensen, PE
Jeff Mortensen & Associates
6010B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: St. Stephen's United Methodist Church
Conceptual Grading and Drainage Plan (F21-D13)
Engineer's Stamp Dated November 5, 2002**

Dear Mr. Mortensen:

Based on the information contained in your submittal dated November 6, 2002, the above referenced plan is approved for Site Plan for Building Permit Action by the DRB.

If you have any questions, please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: St. Stephen's United Methodist Church ZONE ATLAS/DRNG. FILE #: F-21/D-13
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract SS-1, St. Stephen's United Methodist Church
 CITY ADDRESS: 4601 Juan Tabo Blvd. NE, Albuquerque, NM 87111

ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: Christian J. Sholtis
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: St. Stephen's United Methodist Church CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RD Habiger & Associates, Inc. CONTACT: Robert Habiger
 ADDRESS: 12101 Palomas, NE PHONE: 821-3112
 CITY, STATE: Albuquerque, NM ZIP CODE: 87122

SURVEYOR: Jeff Mortensen & Assoc., Inc. CONTACT: Charles G. Cala
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Klinger Constructors, Inc. CONTACT: Thomas R. Novak
 ADDRESS: 8701 Washington NE PHONE: 856-8209
 CITY, STATE: Albuquerque, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

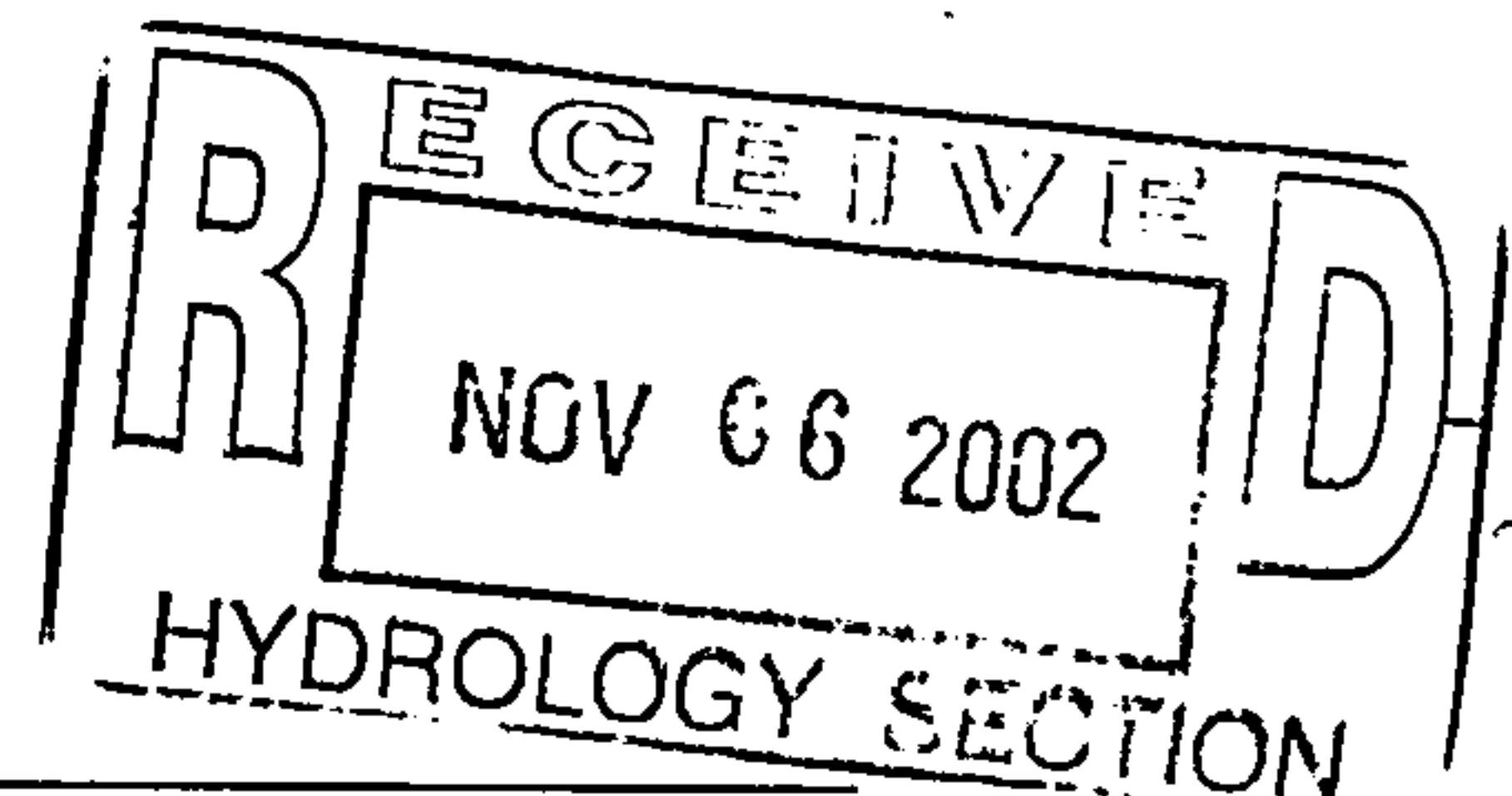
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11-6-02 BY: Chris Sholtis



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 8, 1994

Tom Mann, P.E.
5312 Noreen NE
Albuquerque, N.M. 87111

RE: ENGINEER'S CERTIFICATION FOR ST. STEPHEN'S METHODIST CHURCH (F-21/D13)
RECEIVED MARCH 29, 1994 FOR CERTIFICATE OF OCCUPANCY APPROVAL
ENGINEER'S STAMP DATED 3/28/94

Dear Mr. Mann:

Based on the information included in the submittal referenced above, City Hydrology releases a Certificate of Occupancy for this project.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer/Hydrology

c: Andrew Garcia

WPHYD/7851/JPC

RESUBMITTAL
DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Stephen's Methodist Church ZONE ATLAS/DRNG. FILE #: F-21/D13
LEGAL DESCRIPTION: Tract 55-4 A replat of Tract 55, St. Stephen's Methodist Church
CITY ADDRESS: 4601 Juan Tabo NE

ENGINEERING FIRM: Tom Mann CONTACT: Tom Mann

ADDRESS: 5312 Noreen NE 87111 PHONE: 298-4651

OWNER: St. Stephen's Methodist Church CONTACT: Steve Martin

ADDRESS: 4601 Juan Tabo NE 87111 PHONE: 293-~~1443~~ 9673

ARCHITECT: Robert Haliger CONTACT: Robert Haliger

ADDRESS: 11930 Manual NE PHONE: 293-1443

SURVEYOR: Tom Mann CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Unknown CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING AND DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

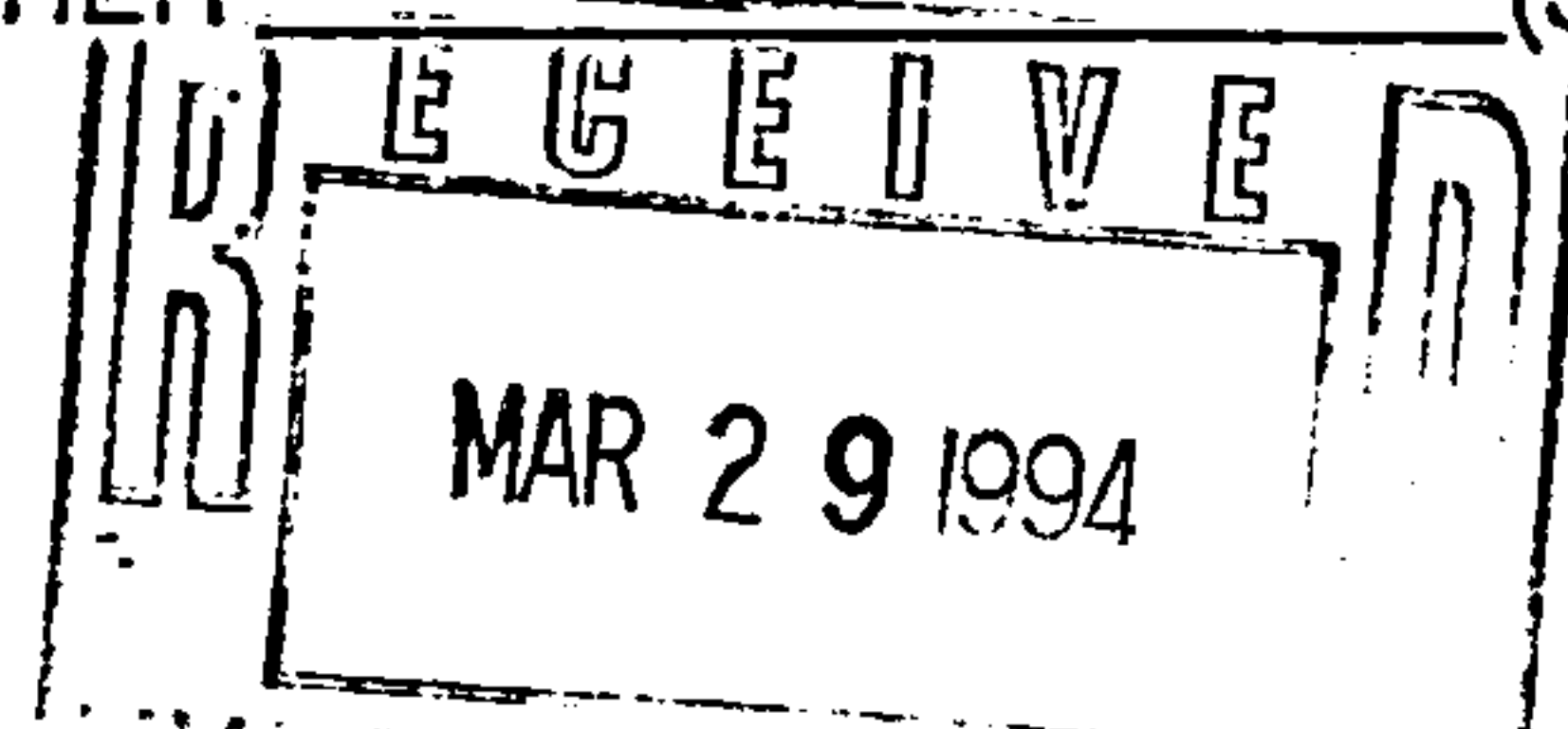
☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

DATE SUBMITTED: 6/23/93 10/4/93 10/28/93

BY: Tom Mann 3/28/94

OTHER _____ (SPECIFY)





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 3, 1993

Tom Mann, P.E.
5312 Noreen NE
Albuquerque, N.M. 87111

RE: GRADING & DRAINAGE PLAN FOR ST. STEPHEN'S METHODIST CHURCH (F-21/D13)
RECEIVED NOVEMBER 1, 1993 FOR BUILDING PERMIT APPROVAL
ENGINEER'S STAMP DATED 10/27/93.

Dear Mr. Mann:

Based on the information included in the submittal referenced above, City Hydrology APPROVES this project for Building Permit.

BE AWARE, this site must accept the existing off-site flows from the north. The private drainage easement on the west side of the property was dedicated to convey the developed off-site flow from the north across this property. Development of this property can not interfere with this easement!

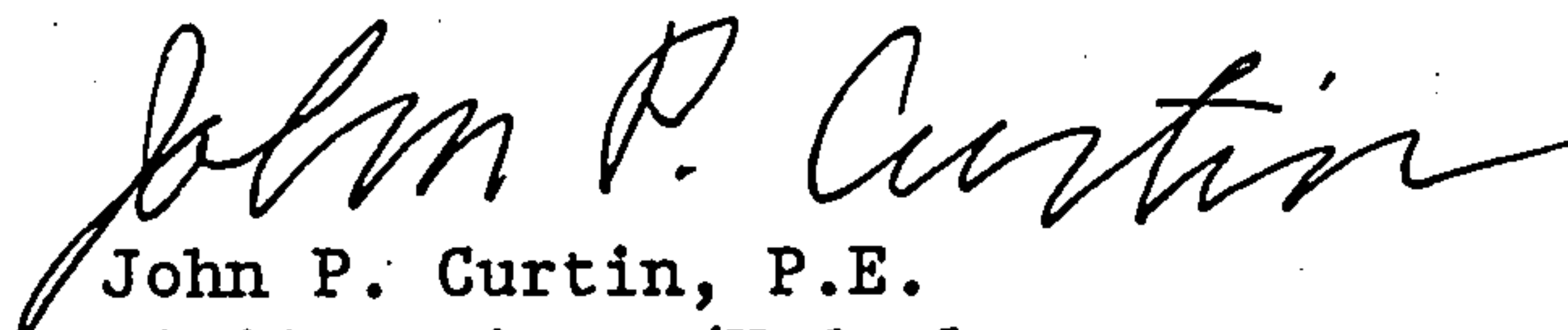
Include a copy of the Grading & Drainage Plan in the set of construction document that is submitted to the "One Stop" for the Building Permit.

The Contractor shall obtain a "Topsoil Disturbance Permit" from the Environmental Health Department prior to any construction.

Engineer's Certification of grading & drainage per DPM checklist must be approved before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,


John P. Curtin, P.E.
Civil Engineer/Hydrology

xc: Alan Martinez

785/
WPHYD-7960;JPC

PUBLIC WORKS DEPARTMENT

RESUBMITTAL
DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Stephen's Methodist Church ZONE ATLAS/DRNG. FILE #: F-21/D13

LEGAL DESCRIPTION: Tract 55 + A replat of Tract 55, St. Stephen's Methodist Church

CITY ADDRESS: 4601 Juan Tabo NE

ENGINEERING FIRM: Tom Mann CONTACT: Tom Mann

ADDRESS: 5312 Noreen NE 87111 PHONE: 298-4651 897-0000

OWNER: St. Stephen's Methodist Church CONTACT: Steve Martin

ADDRESS: 4601 Juan Tabo NE 87111 PHONE: 293-~~1443~~ 9673

ARCHITECT: Robert Habiger CONTACT: Robert Habiger

ADDRESS: 11930 Manual NE PHONE: 293-1443

SURVEYOR: Tom Mann CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Unknown CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES

☒ NO

____ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

☒ DRAINAGE PLAN

____ CONCEPTUAL GRADING AND DRAINAGE PLAN

☒ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ SITE DEVELOPMENT PLAN APPROVAL

____ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

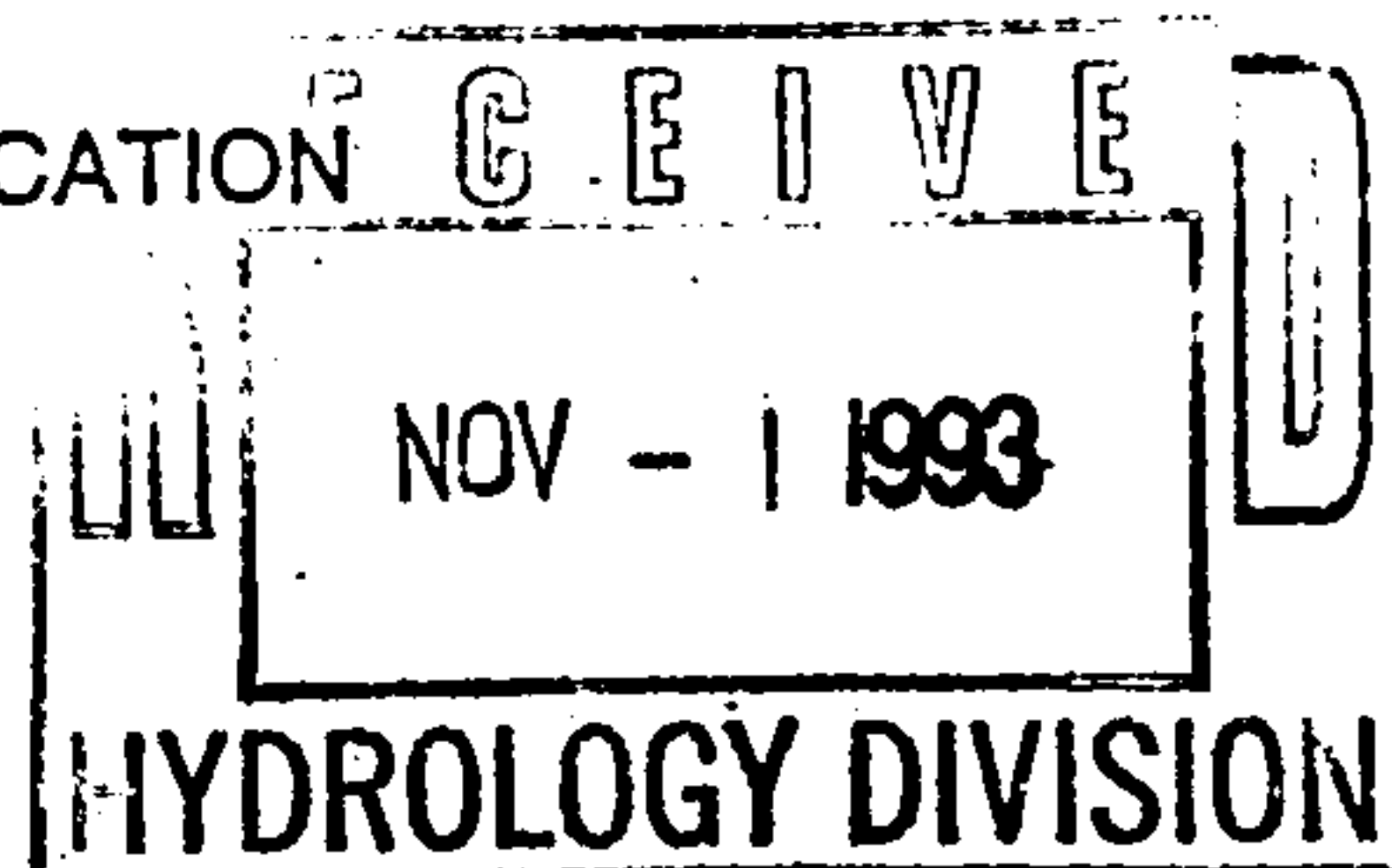
____ FOUNDATION PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ ROUGH GRADING PERMIT APPROVAL

____ GRADING/PAVING PERMIT APPROVAL

____ OTHER _____ (SPECIFY)



DATE SUBMITTED: 6/23/93 10/4/93 10/28/93

BY: Tom Mann



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 11, 1993

Tom Mann, P.E.
5312 Noreen NE
Albuquerque, N.M. 87111

RE: GRADING & DRAINAGE PLAN FOR ST. STEPHEN'S METHODIST CHURCH (F-21/D13)
RECEIVED OCTOBER 4, 1993 FOR BUILDING PERMIT APPROVAL
ENGINEER'S STAMP DATED 10/4/93.

Dear Mr. Mann:

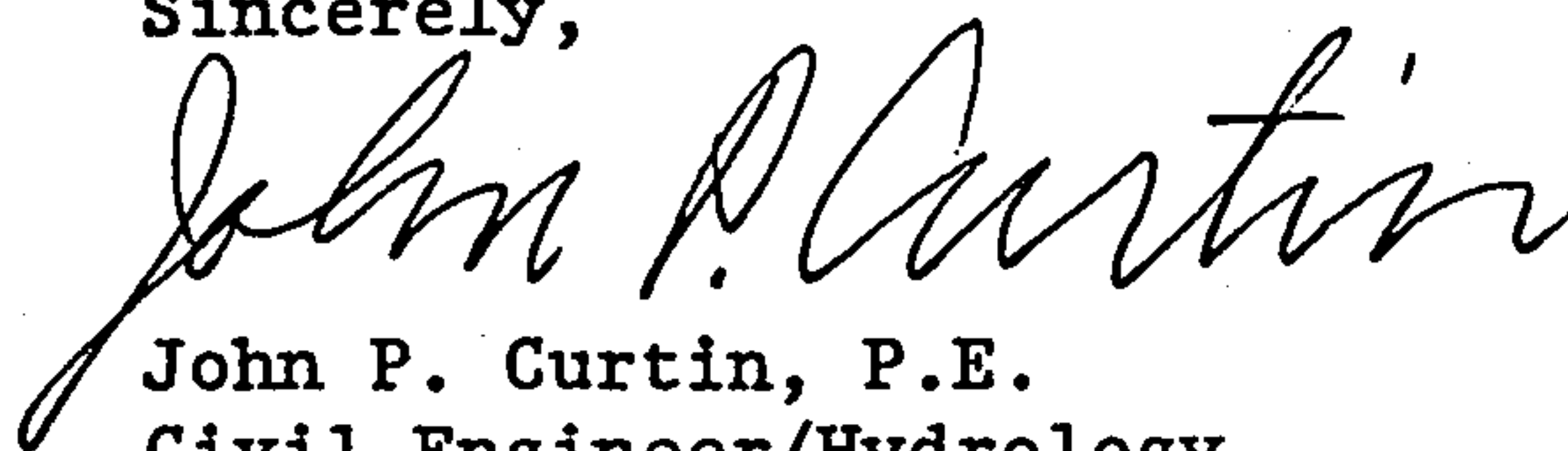
Based on the information included in the submittal referenced above, City Hydrology REJECTS this project for Building Permit.

The following comments must be addressed prior to Building Permit approval:

1. Add off-site drainage basin map. In the Drainage Report for La Vida Llena Expansion, dated 8-22-90, Bohannon-Huston identified Basin OB-2 as draining to the concrete rundown. This basin of 8.3 acres was calculated to have a peak flow of 38 cfs when developed.
2. Split the site into two basins. One that drains to Lagrima De Oro through the driveways, and one that drains to the concrete rundown at the southwest corner of the site. Verify that the swale on the west side designed by Bohannon-Huston is functioning properly.

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,



John P. Curtin, P.E.
Civil Engineer/Hydrology

xc: Fred Aguirre
~~File~~

WPHYD/7851/jpc

PUBLIC WORKS DEPARTMENT

RESUBMITTAL
DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Stephen's Methodist Church ZONE ATLAS/DRNG. FILE #: F-21/D13
LEGAL DESCRIPTION: Tract SS-4 A replat of Tract SS, St. Stephen's Methodist Church
CITY ADDRESS: 4601 Juan Tabo NE

ENGINEERING FIRM: Tom Mann CONTACT: Tom Mann

ADDRESS: 5312 Noreen NE 87111 PHONE: 298-4651

OWNER: St. Stephen's Methodist Church CONTACT: Steve Martin

ADDRESS 4601 Juan Tabo NE 87111 PHONE: 293-~~443~~ 9673

ARCHITECT: Robert Habiger CONTACT: Robert Habiger

ADDRESS: 11930 Manual NE PHONE: 293-1443

SURVEYOR: Tom Mann CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Unknown CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES

☒ NO

____ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

☒ DRAINAGE PLAN

____ CONCEPTUAL GRADING AND DRAINAGE PLAN

☒ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ SITE DEVELOPMENT PLAN APPROVAL

____ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ ROUGH GRADING PERMIT APPROVAL

____ GRADING/PAVING PERMIT APPROVAL

____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/23/93 10/4/93

BY: Tom Mann

OCT - 4 1993

HYDROLOGY DIVISION



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 1993

Tom Mann, P.E.
5312 Noreen NE
Albuquerque, N.M. 87111

RE: GRADING & DRAINAGE PLAN FOR ST. STEPHEN'S METHODIST CHURCH (F-21/D13)
RECEIVED JUNE 24, 1993 FOR BUILDING PERMIT APPROVAL
ENGINEER'S STAMP DATED 6/23/93

Dear Mr. Mann:

Based on the information included in the submittal referenced above, City Hydrology APPROVES the Site Development Plan for this project.

The following comments must be addressed prior to Building Permit approval:

1. Add spot elevations at each corner and curve at the parking lot. Show the radius for all curves. Label the concrete channel at the southwest corner of the site.
2. Contact Transportation Development for their requirements for the new entrance.

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,

John P. Curtin
John P. Curtin, P.E.
Civil Engineer/Hydrology

*Must address
off-site flows*

xc: Fred Aguirre

WPHYD+7851;jpc

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Stephen's Methodist Church ZONE ATLAS/DRNG. FILE #: F-2/ D13LEGAL DESCRIPTION: Tract SS-4 A replat of Tract SS, St. Stephen's Methodist ChurchCITY ADDRESS: 4601 Juan Tabo NEENGINEERING FIRM: Tom Mann CONTACT: Tom MannADDRESS: 5312 Noreen NE 87111 PHONE: 298-4651OWNER: St. Stephen's Methodist Church CONTACT: Steve MartinADDRESS: 4601 Juan Tabo NE 87111 PHONE: 293-~~1443~~ 9673ARCHITECT: Robert Habiger CONTACT: Robert HabigerADDRESS: 11930 Manual NE PHONE: 293-1443SURVEYOR: Tom Mann CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Unknown CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO

DRB NO. _____

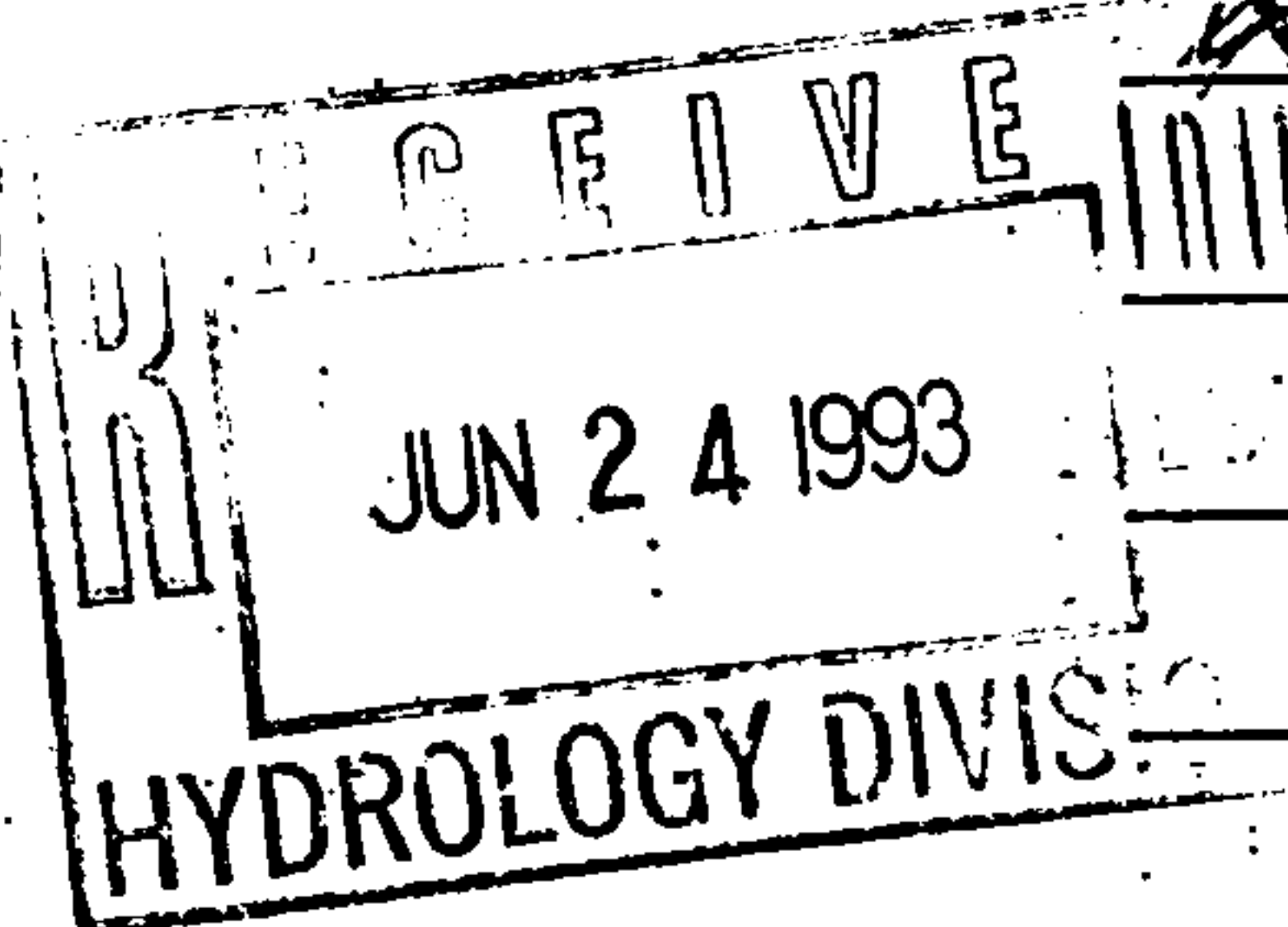
EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING AND DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☒ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVALDATE SUBMITTED: 6/23/93 OTHER _____ (SPECIFY)BY: Tom Mann

7851

Pre-Design Investigation
(Additions)

DATE 4-28-87

ADDRESS 4601 JUNE TARI

ZONE ATLAS # F21/D13

LEGAL DESCRIPTION _____

OWNER _____

ARCHITECT/ENGINEER _____

LOT SIZE _____

ZONING _____

PROPOSED DEVELOPMENT ADDITION TO EXIST. CHURCH

	YES	NO	NA	COMMENTS
FLOOD HAZARD AREA		C		
PART OF AN APPROVED REPORT				
CONSTRUCTION PLANS ON MICRO-FILM				
FIELD INSPECTION	✓			

COMMENTS:

ADDITION OVER EXIST. CONC. DRAINAGE

CHARACTERISTICS NOT CHANGED.

DRAINAGE REQUIREMENTS:

FINAL
DRAINAGE REPORT
AND
GRADING PLAN
FOR
LA VIDA LLENA EXPANSION

Prepared For:

La Vida Llena
10501 Lagrima de Oro N.E.
Albuquerque, New Mexico 87111

Prepared By:

Bohannon-Huston, Inc.
7500 Jefferson N.E.
Albuquerque, New Mexico 87109

Job No. 90126.07

August 1990

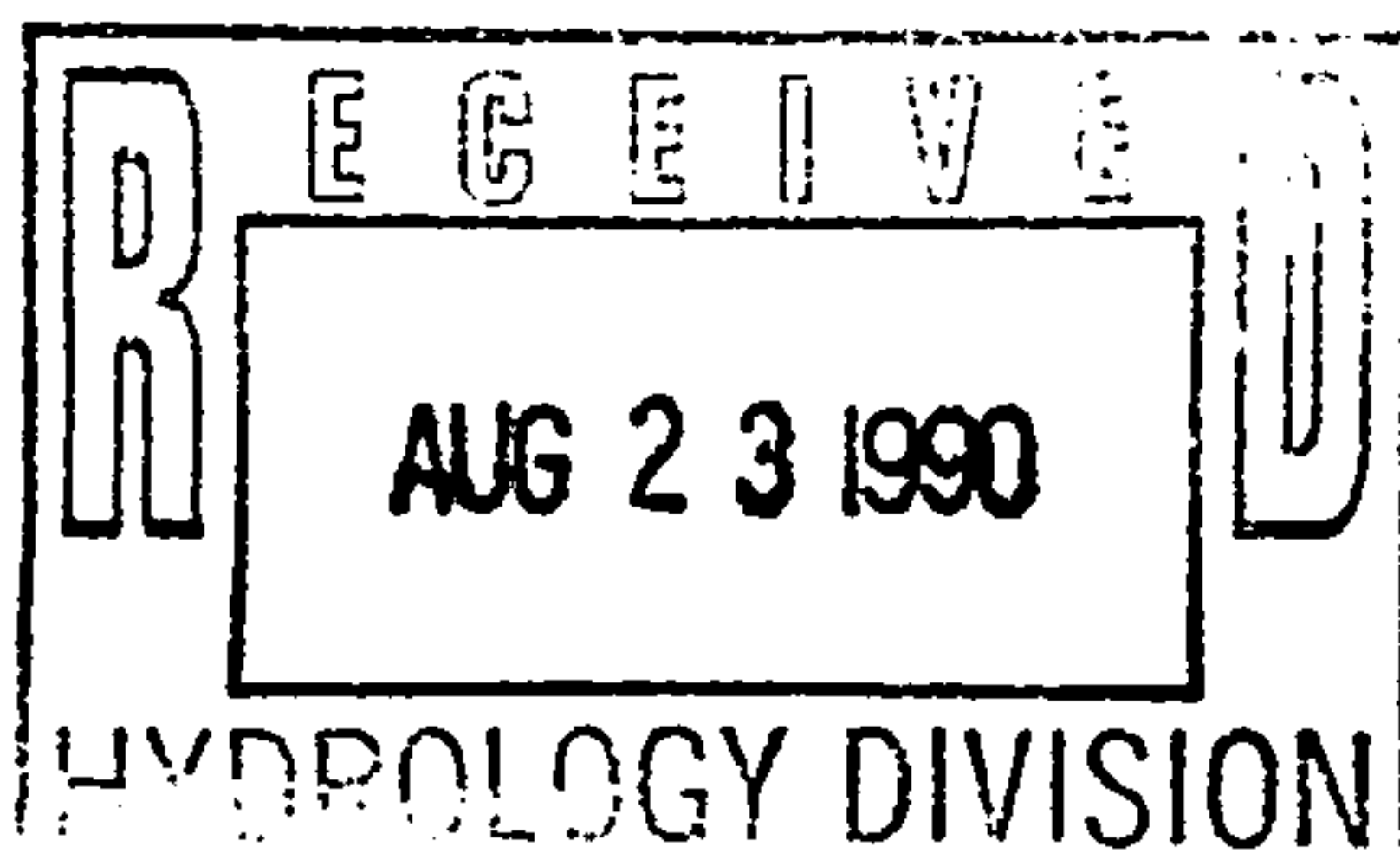




FIGURE 4
OFFSITE DRAINAGE BASINS

OFFSITE BASING

EXISTING CONDITIONS

see Figure 4, "Offsite Drainage Basins" Map

A. Offsite Basin OB-1 (Rational Method)

total Area = 1.32 acres

(This area is +/- overflow earth parking area with a short paved road crossing it perpendicularly)

Area (under.) = 1.23 acres @ $C = 0.40$

Area (paved) = 0.09 acres @ $C = 0.95$

$$\text{Composite } C = \frac{1.23(0.4) + 0.09(0.95)}{1.32} = 0.44$$

$$\text{Intensity, } I = 2.55(6.84)(10)^{0.51} = 5.39 \text{ "/hr}$$

6-hr Rain = 2.55" Plate 22.2 D-1

DPM
Plate 22.2 D-2

$$Q = CIA = 0.44(5.39)1.32 = \boxed{3.13 \text{ cfs}}$$

B. Offsite Basin OB-2

total Area = 8.3 acres

Area (Under.) = 7.1 acres

Area (paved) = 1.2 acres (3 exist. developments)
↑ Roof

$$\text{Composite } C = \frac{7.1(0.4) + 1.2(0.95)}{8.3} = 0.48$$

$$T_c = 0.0078 \frac{1200^{0.77}}{0.0342^{0.385}} = 6.7 \text{ min.}, \text{ use } 10 \text{ min.}$$

(Kirpich)



BOHANNAN-HUSTON, INC.

PROJECT NAME LA VIDA LLENA SHEET _____ OF _____
PROJECT NO. 90126.10 BY JAMECT DATE 3.27.90
SUBJECT _____ CH'D _____ DATE _____

$$Q = C I A = 0.48 (5.39) 8.3 = \boxed{21.47 \text{ cfs}}$$

PROPOSED CONDITIONS

See also Figure 4

A. Offsite Basin OB-1

This basin diverted such that its flows remain on T-VI property.
See text for additional discussion.

B. Offsite Basin OB-2

Assume developed composite $C = 0.85$

$$Q = C I A = 0.85 (5.39) 8.3 = \boxed{38 \text{ cfs}}$$



BOHANNAN-HUSTON INC.

PROJECT NAME _____ SHEET _____ OF _____

PROJECT NO. _____ BY _____ DATE _____

SUBJECT _____ CH'D _____ DATE _____

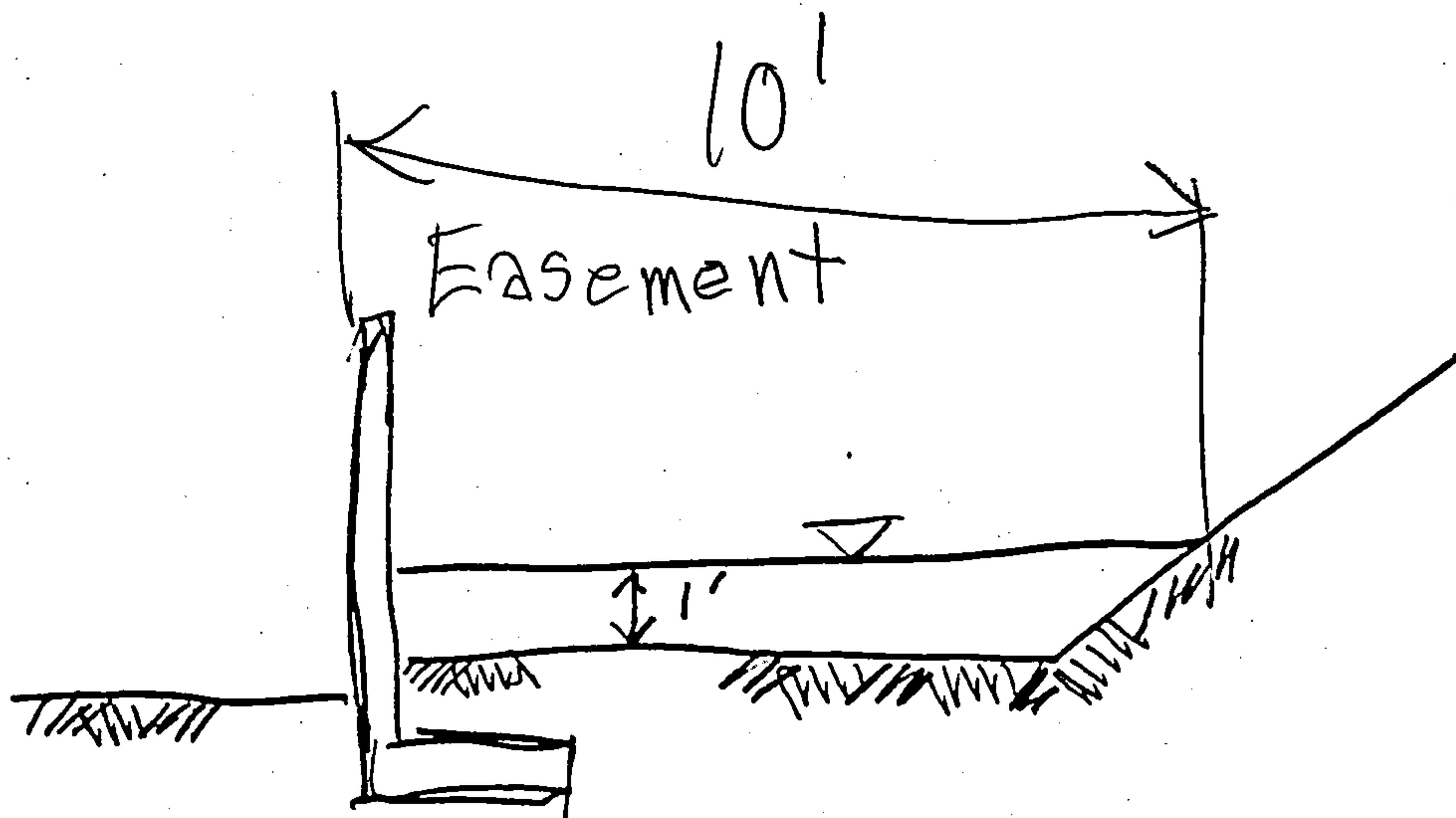
EAST OFFSITE CHANNEL

MANNINGS N=.0300

SLOPE =.0050

POINT	DIST	ELEV	POINT	DIST	ELEV	POINT	DIST	ELEV
1	0.00	2.00	3	10.00	0.00	5	21.00	2.00
2	0.01	0.00	4	14.00	1.00			

	WSEL	DEPTH	FLOW	FLOW	WETTED	FLOW	TOPWID
	FT.	INC	AREA	RATE	PER	VEL	
			SQ.FT.	(CFS)	(FT)	(FPS)	
	0.2	0.2	2.1	2.4	11.0	1.2	10.8
	0.4	0.4	4.3	7.6	12.0	1.8	11.6
	0.6	0.6	6.7	15.1	13.1	2.2	12.4
10-yr	0.8	0.8	9.3	24.6	14.1	2.7	13.2
100-yr	1.0	1.0	12.0	36.0	15.1	3.0	14.0
	1.2	1.2	14.9	48.5	16.7	3.2	15.4
	1.4	1.4	18.2	63.1	18.3	3.5	16.8
	1.6	1.6	21.7	80.1	20.0	3.7	18.2
	1.8	1.8	25.4	99.4	21.6	3.9	19.6
	2.0	2.0	29.5	121.3	23.2	4.1	21.0



depth of flow @
30 cfs = 1',

V = 3 fps (100-yr storm)

Depth = 0.8', V = 2.7 fps
(10-yr. storm = 25 cfs)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 11, 1990

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

RE: DRAINAGE PLAN FOR LA VIDA LLENA EXPANSION (F-21/D28)
ENGINEER'S STAMP DATED AUGUST 23, 1990 ON PLAN WITH
REPORT DATED AUGUST 22, 1990

Dear Mr. Topmiller:

Based on the information provided on your submittal of August 23, 1990, the referenced drainage plan is approved for final plat, building permit, and rough grading.

Please be advised that the building permit will not be released until we receive concurrence from the church that they concur with the grading scheme within their property.

Also, under the guidelines set forth by the SAD, the church does have free discharge into the street. Development within the church site will be allowed free discharge in a manner which will be acceptable to the City.

Prior to Certificate of Occupancy release, the following will be required:

1. Engineer's Certification per the DPM Certification Checklist.
2. Concurrence from TV-I that work performed within their site is acceptable.
3. Concurrence from St. Stephen's that work performed within their site is also acceptable.

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

James Topmiller, P.E.
September 11, 1990

Prior to Rough Grading, you will need to obtain a Top Soil Disturbance Permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

for Bernice Montoya
Fred J. Aguirre, P.E.
Hydrologist

xc: Leon Adkins, La Vida Llena
St. Stephens United Methodist Church

BJM:FJA/bsj
(WP+122)