

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

January 21, 2022

David Aube, P.E.  
The Design Group  
120 Vassar Dr SE  
Albuquerque, NM 87106

**Re: La Vida Llena, Phase 3**  
**10501 Lagrima De Oro Rd NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 10-30-19(DRB) (F21D028)  
Certification dated 12-21-21

Dear Mr. Aube,

PO Box 1293

Based upon the information provided in your pictures received 1-21-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

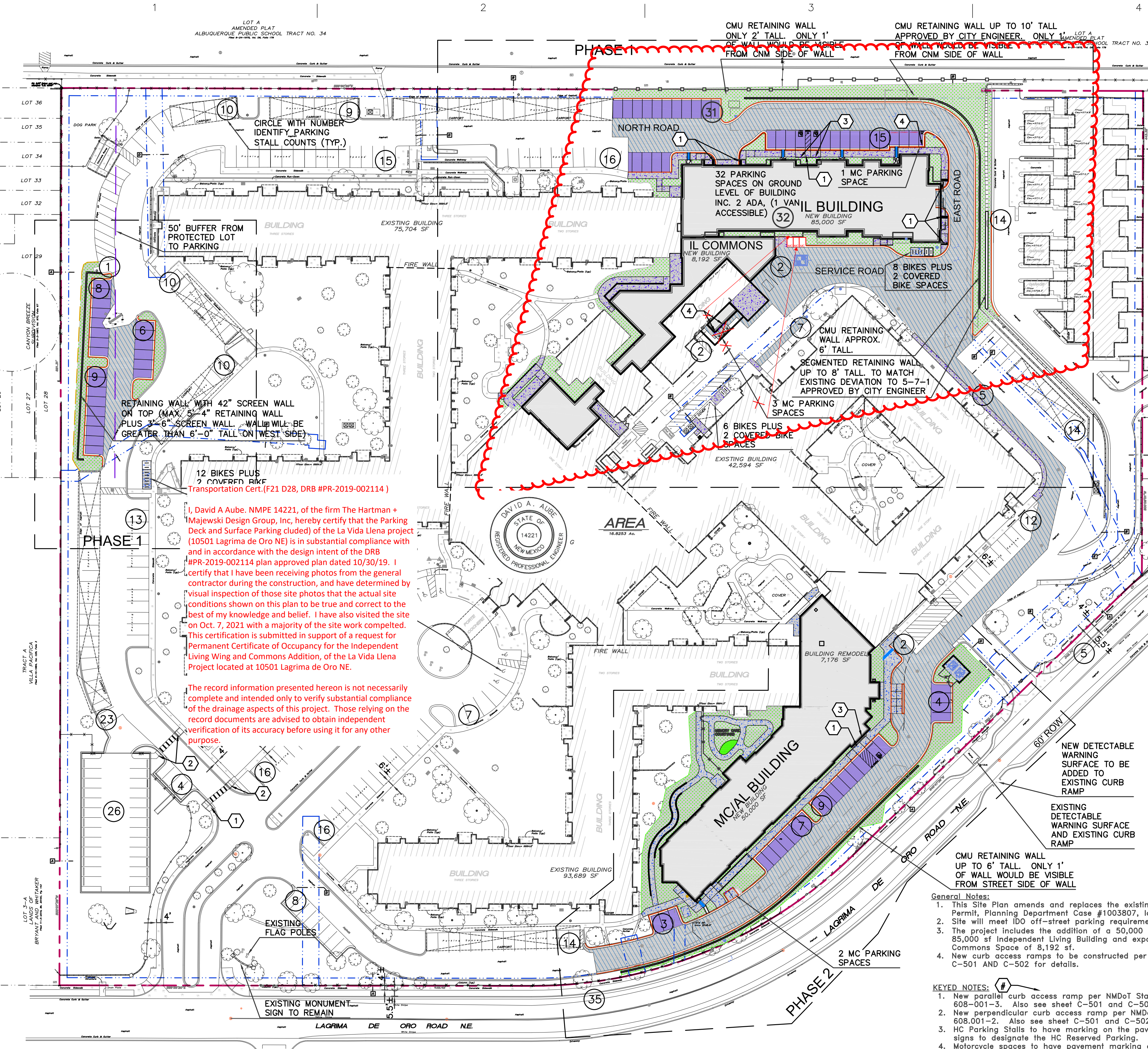
www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

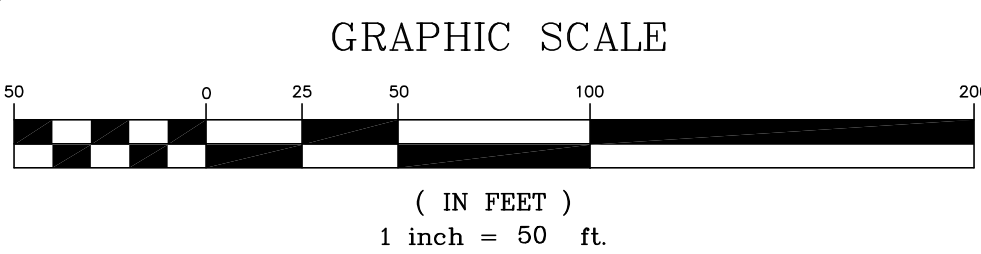
Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





**A1 SITE PLAN - EPC MAJOR AMENDMENT**



CURVE	LENGTH	RADIUS	TANGENT	CHORD	ORD BEARING	DELTA
C1	26.45'	480.00'	13.23'	26.45'	S47°21'30"W	3°09'22"
C2	324.62'	420.00'	170.90'	316.60'	S67°56'09"W	44°17'01"
C3	83.95'	420.00'	42.12'	83.95'	S91°31'14"W	11°22'11"
C4	240.66'	420.00'	123.73'	237.38'	S73°39'45"W	32°49'50"

**KEYED EASEMENTS**

- A** 7' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
- B** 10' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
- C** 15' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
- D** 15' Waterline Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
- E** 20' Waterline Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.

**APPROVED WITH SITE PLAN:**

1. SITE PLAN - Project #2019-002114 (1003807) was Approved by the Environmental Planning Commission on June 14, 2019. The project included a Major amendment to the Side Development Plan (SI-2019-00117) and two Variances (VA-2019-00152 and VA-2019-00179).
2. VARIANCE approved with site plan, VA-2019-00152 allows a 12-foot 9-inch (ALMC Building allowing a total building height of 47-foot 9-inches), and a 29-foot 1.5-inch (IL Building allowing a total building height of 34-foot 1.5-inches) Variance to the 35' maximum building height.
3. VARIANCE approved with site plan, VA-2019-00179 allows a 30-foot Variance from the required 50-foot parking area separation, giving a required setback from the property line to the parking of 20' along the Residential Protected Lots to the west.

**Parking Counts / Calculations**

Per IDO Section 14-16-5-5	MC/AL AND IL ADDITIONS				
	Apts/ Beds	Required Spaces	Provided Spaces	Bike Racks	Motorcycle Parking
INDEPENDENT LIVING (1 SPACE/APT.)	266	266	413	27	
Surface - uncovered parking spaces					
Surface - covered parking spaces					
Under Building - structured parking spaces					
On Street Parking					
NURSING HOME (1 SPACE/5 BEDS)	58	12		1	
ASSISTED LIVING/ MEMORY CARE (1 SPACE/3 BEDS)	74	25		3	
CASITAS (1 SPACE/DWELLING UNIT)	8	8	14	1	
TOTAL	406	311	425	32	6
OVER/UNDER		146	427		

**General Notes:**

- This Site Plan amends and replaces the existing approved Site Plan for Building Permit, Planning Department Case #1003807, last amended by PR-2019-002114.
- Site will meet IDO off-street parking requirements during each phase of the project.
- The project includes the addition of a 50,000 sf Memory Care/Assisted Living Building, 85,000 sf Independent Living Building and expansion of the Independent Living Commons Space of 8,192 sf.
- New curb access ramps to be constructed per NMDOT standard drawings. See sheets C-501 AND C-502 for details.

**KEYED NOTES:**

- New parallel curb access ramp per NMDOT Standard Detail 608-001-3. Also see sheet C-501 and C-502.
- New perpendicular curb access ramp per NMDOT Standard Detail 608.001-2. Also see sheet C-501 and C-502.
- HC Parking Stalls to have marking on the pavement surface and signs to designate the HC Reserved Parking.
- Motorcycle spaces to have pavement marking and signage.

**PROJECT LOCATION:**  
10501 Lagrima de Oro, NE between Morris Street NE and Juan Tabo Blvd. NE

**LEGAL DESCRIPTIONS:**  
AMENDED PLAT LAND IN Sec 33, T11N, R4E, LA VIDA LLENA Containing 16.89 AC.

**ZONE ATLAS PAGE:**

F-21-Z

**TOTAL ACREAGE:**  
16.8937 ACRES

**EXISTING ZONING:**  
R-ML Multi-family Low Density

**PROPOSED USES:**  
Independent Living, Assisted Living, Memory Care and Skilled Nursing Facility

**TABULATED OPEN SPACE:**  
PER TABLE 5-1-1  
200 SF PER STUDIO/1BD  
250 SF PER 2 BEDROOM

**FOR CALCULATION ALL IL UNITS ARE TREATED AS 2 BEDROOM, ASSISTED LIVING, MEMORY CARE AND HEALTHCARE ARE 1 BEDROOM**

**TOTAL NUMBER OF UNITS 406**  
IL/CASITAS UNITS = 274  
AL/MC/HC UNITS = 132

**REQUIRED OPEN SPACE**  
274 \* 250 = 68,500 SF.  
132 \* 200 = 26,400 SF  
TOTAL = 94,900

**WITHOUT COUNTING BALCONIES ACCESSED FROM RESIDENTIAL UNITS**

**AVAILABLE OPEN SPACE**  
= 138,420 SF WITHIN PERIMETER RING ROAD

**TABULATED BUILDING AREAS:**  
EXISTING RESIDENTIAL = 252,188 SF  
EXISTING NURSING = 42,594 SF  
EXISTING COMMONS = 30,210 SF  
EXISTING CASITAS = 12,414 SF

**TOTAL EXISTING BUILDINGS**  
AREA = 337,406 SF

**PROPOSED ADDITIONS**  
MC/AL WING = 50,000 SF  
IL WING = 85,000 SF  
IL COMMONS = 8,192 SF

**TOTAL PROPOSED ADDITIONS**  
AREA = 143,192 SF

**CAMPUS TOTAL = 480,598 SF**

**SHEET INDEX:**

- SP-EPC-1: PROPOSED OVERALL SITE PLAN  
SP-EPC-2: ENLARGED SITE PLAN  
SP-EPC-3: ENLARGED SITE PLAN  
C-101: ENLARGED HORIZONTAL CONTROL PLAN  
C-102: ENLARGED HORIZONTAL CONTROL PLAN  
L-101: OVERALL LANDSCAPING PLAN  
L-102: ENLARGED LANDSCAPING PLAN  
L-103: ENLARGED LANDSCAPING PLAN  
CD-1: DRAINAGE PLAN EXISTING CONDITIONS  
CD-2: DRAINAGE PLAN PROPOSED CONDITIONS  
C-201: ENLARGED GRADING PLAN  
C-202: ENLARGED GRADING PLAN  
C-203: ENLARGED GRADING PLAN  
C-301: OVERALL CONCEPTUAL UTILITY PLAN  
C-302: ENLARGED CONCEPTUAL UTILITY PLAN  
C-303: ENLARGED CONCEPTUAL UTILITY PLAN  
C-304: ENLARGED CONCEPTUAL UTILITY PLAN  
C-501: CURB ACCESS RAMP DETAILS  
C-502: CURB ACCESS RAMP DETAILS  
A-203: MC/AL ELEVATIONS  
A-204: IL/IL COMMONS ELEVATIONS  
A-205: IL/IL COMMONS ELEVATIONS

**PROJECT NUMBER:** PR-2019-002114

**Application Number:**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 10/30/19, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

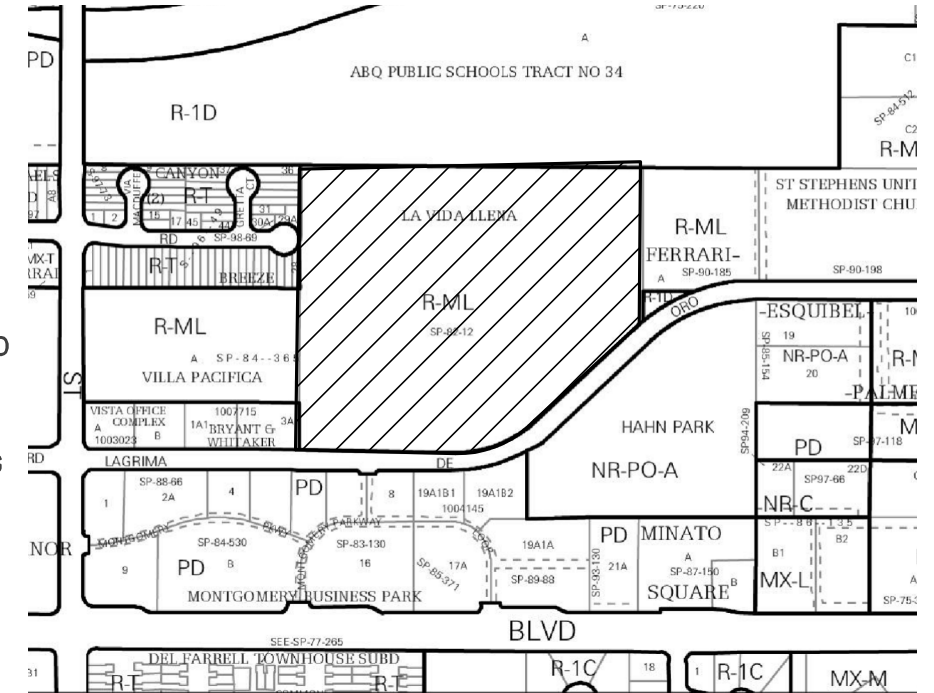
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

*[Signature]* 8-21-19  
Traffic Engineering Division  
Date  
8-21-19  
Date  
10/30/19  
Date  
3/21/19  
Date  
8-21-19  
Date  
9/5/19  
Date  
10/30/19  
Date

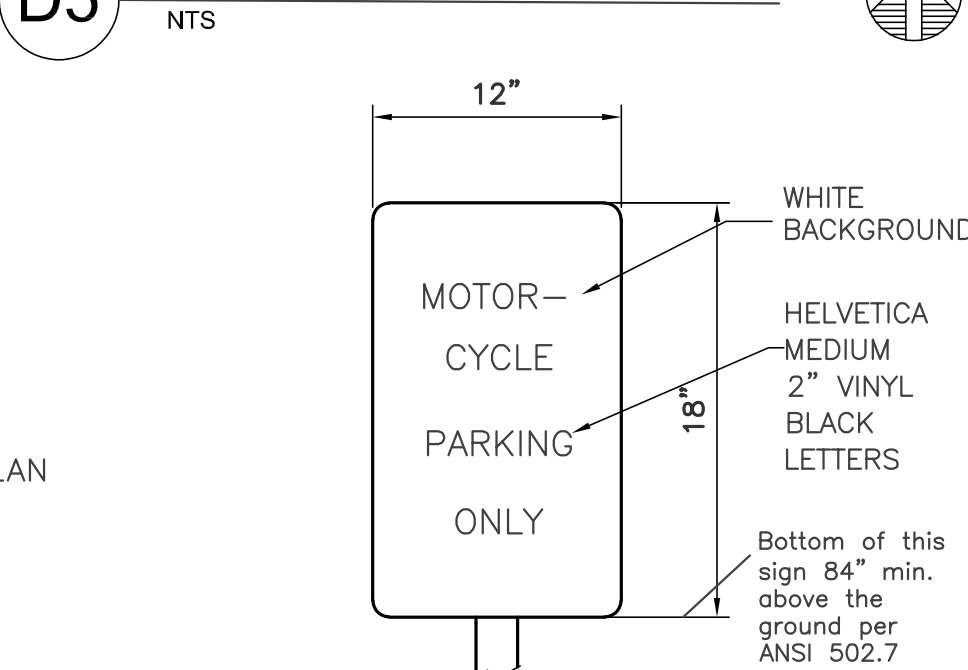
*[Signature]* 8-21-19  
City Engineer/Hydrologist  
Date  
9/5/19  
Date  
10/30/19  
Date

*[Signature]* 8-21-19  
City Engineer/Hydrologist  
Date  
9/5/19  
Date  
10/30/19  
Date

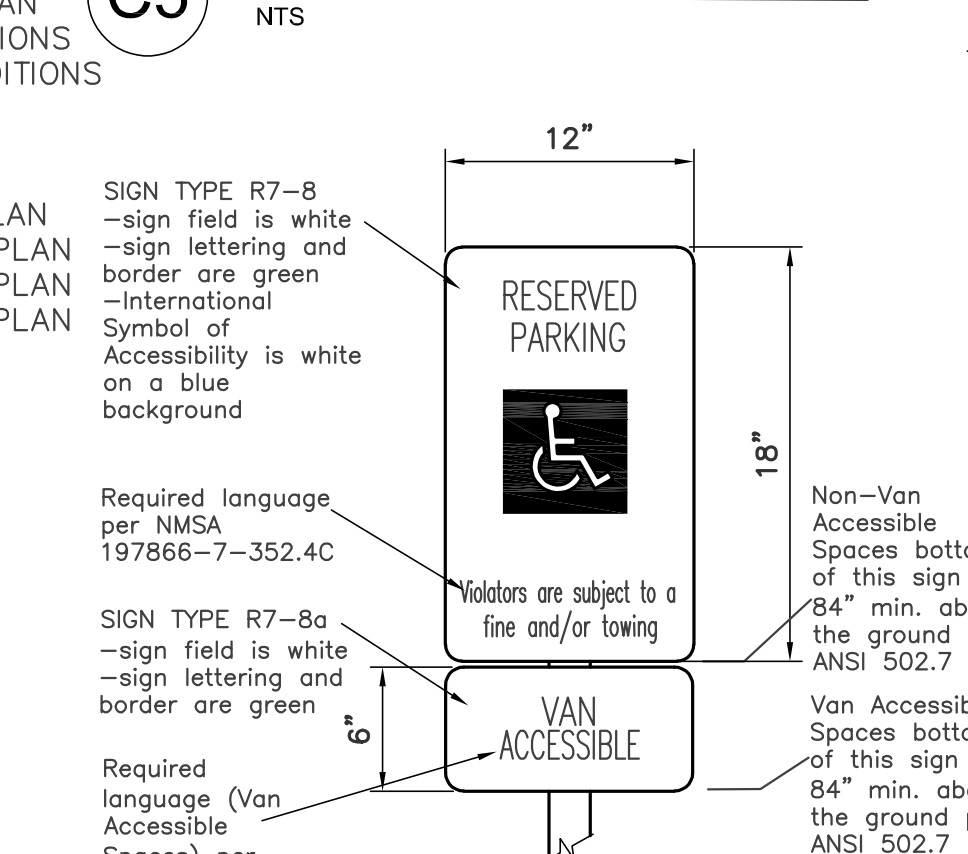
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Date  
9/5/19  
Date  
10/30/19  
Date



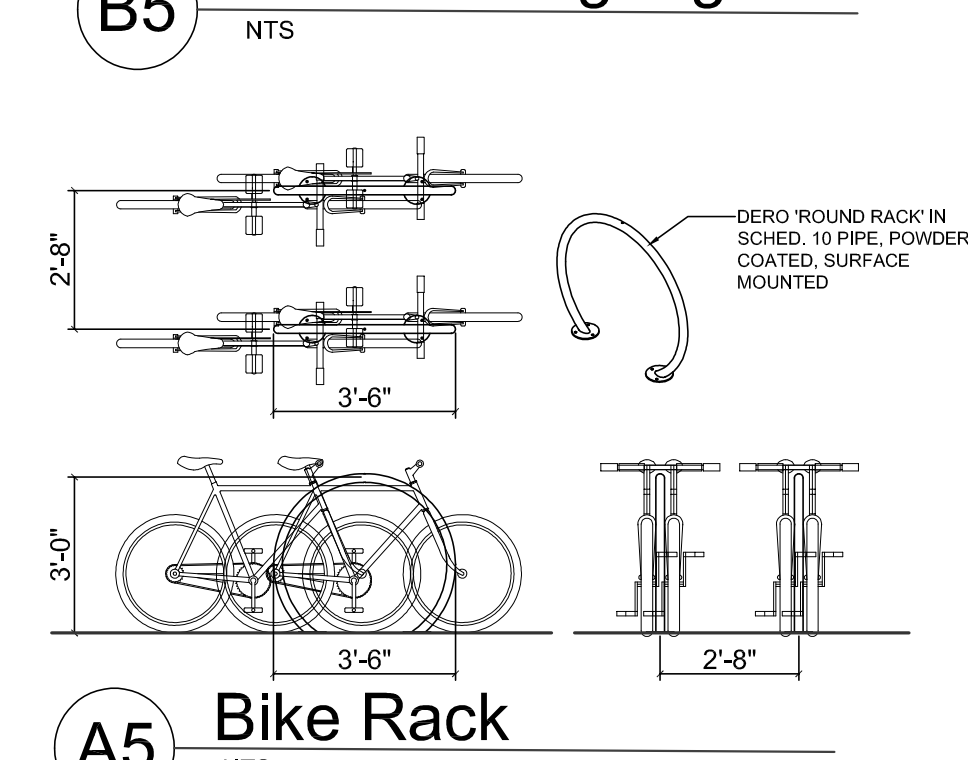
**D5 ZONE ATLAS PAGE F-21-Z**



**C5 MC Parking Signs**



**B5 ADA Parking Signs**



**THE HARTMAN + MAJEWSKI**  
**DESIGN GROUP**  
Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP

**PROJECT NAME:**  
LA VIDA LLENA  
10501 LAGRIMA DE ORO NE

**HAVERLAND CARTER GROUP**  
10701 Montgomery Boulevard NE  
ALBUQUERQUE NM, 87111

**REVISIONS:**

No.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by	
Checked by	
Date	7-31-2019
Project number	2811
Cad file name	

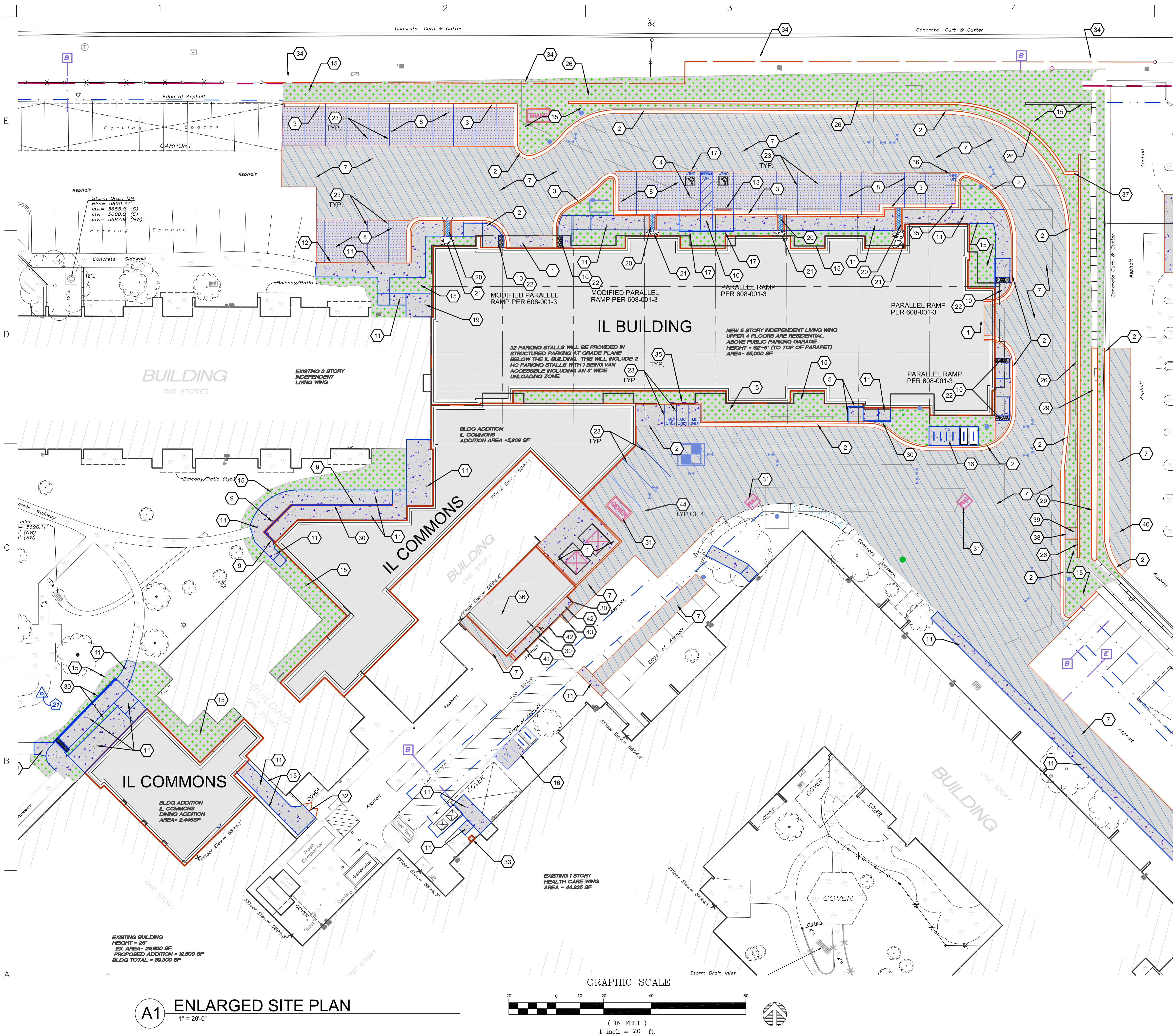
SHEET TITLE:

PROPOSED OVERALL  
SITE PLAN

SHEET NUMBER:

**SP-EPC-1**





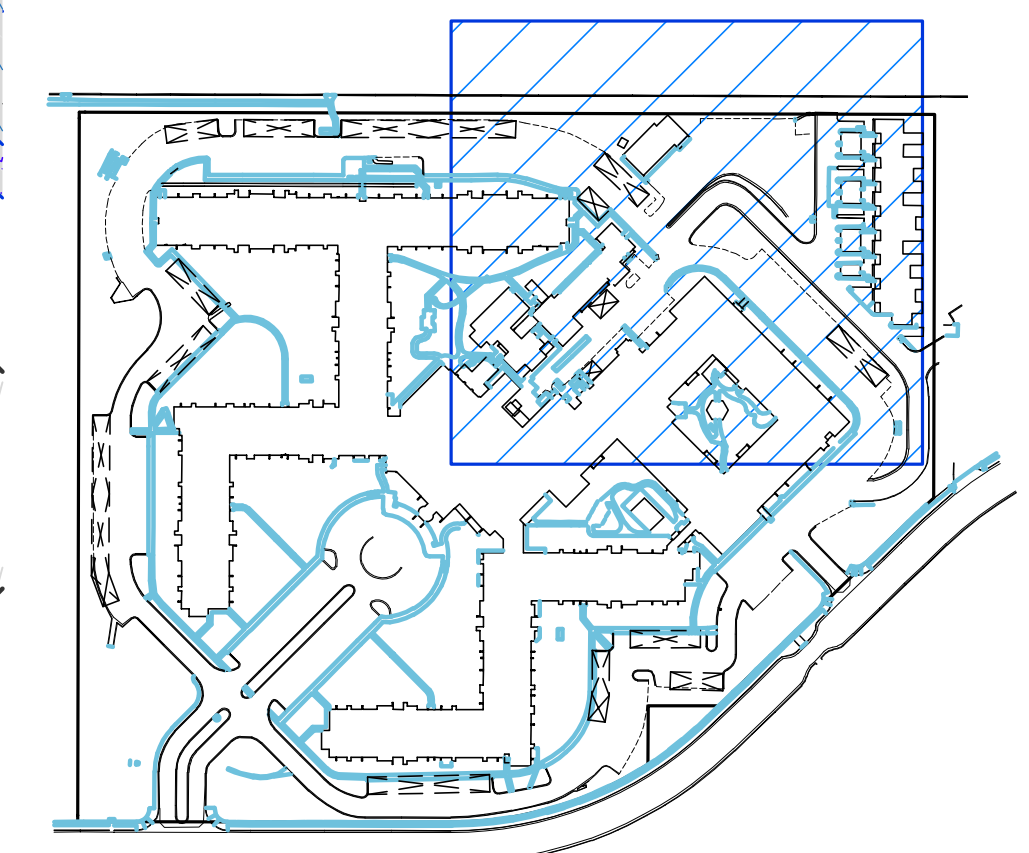
**A1 ENLARGED SITE PLAN**  
1" = 20'-0"

### PAVING PLAN GENERAL NOTES

- SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- PAVING WITHIN LAGRIMA DE ORO RIGHT OF WAY SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE PUBLIC WORK ORDER PLANS, CITY OF ALBUQUERQUE STANDARD DETAILS, COLLECTOR ASPHALT PAVING FOR UTILITY PATCHING.

### PAVING PLAN KEYED NOTES

- CONCRETE PAVEMENT.
- 6" STANDARD CURB AND GUTTER.
- 6" DEPRESSED CURB AND GUTTER.
- RUNDOWN GUTTER.
- 6" HEADER CURB.
- CURB TRANSITION.
- MAIN DRIVE ASPHALT PAVEMENT.
- PARKING LOT ASPHALT PAVEMENT.
- CMU RETAINING WALL, 4'-0" TALL MAX.
- CONCRETE CURB ACCESS RAMP PER NMDOT DETAILS ON SHEETS C-501 AND C-502.
- CONCRETE SIDEWALK.
- TURNDOWN EDGE ON SIDEWALK.
- CONCRETE PARKING BLOCK.
- ADA RESERVED PARKING STALL.
- SEE LANDSCAPING PLANS.
- BICYCLE RACK.
- ADA RESERVED PARKING SIGN.
- ADA VAN ACCESSIBLE RESERVED SIGN.
- CONCRETE STOOP.
- CONCRETE SIDEWALK CULVERT.
- RIP RAP EROSION PROTECTION.
- DETECTABLE WARNING SURFACE.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 4" AND 6" TALL.
- CMU WALL.
- PAINTED CROSSWALK.
- CONCRETE VALLEY GUTTER.
- KEystone BLOCK WALL WITH MAX HEIGHT 4' PER MANUFACTURERS RECOMMENDATIONS.
- HANDRAIL.
- ELECTRICAL EQUIPMENT.
- NEW PAIR OF 3' WIDE WOOD GATES, HEIGHT TO MATCH EXISTING WALL (APPROX 6'). MODIFY EXISTING CMU WALL AS REQUIRED TO INSTALL.
- BUILD 2' WIDE, 4' TALL ENCLOSURE AROUND NEW 6" DI FIRE SUPPRESSION LINE FROM FIRE DEPARTMENT CONNECTION. ENCLOSURE TO BE METAL STUDS, EXTERIOR SHEATHING, AND STUCCO TO MATCH EXISTING. SLOPE TOP SURFACE OF ENCLOSURE AT 1/2" PER FOOT.
- WROUGHT IRON FENCE WITH MASONRY PILASTERS.
- MOTORCYCLE PARKING ONLY SIGN.
- 12" TALL "MC ONLY" LETTERS PAINTED ON PAVEMENT.
- 6' SEGMENT OF WALL TO BE CONSTRUCTED PERPENDICULAR TO THE RETICULATED HELICAL PIER RETAINING WALL. CORE DRILL AND EPOXY ANCHOR #5 REBAR AT 16" ON CENTER VERTICALLY TO ATTACH WALLS TOGETHER.



**A5 KEY PLAN**  
NOT TO SCALE

No.	DATE	DESCRIPTION
12	RFI-029	03.12.2020
Copyright: Design Group		
Drawn by		
Checked by		
Date		7-31-2019
Project number		2811
Cad file name		





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** La Vida Llena **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** F21-D28  
**DRB#:** #2019-002114 (1003807) **EPC#:** SI-2019-00117 **Work Order#:** \_\_\_\_\_  
**Legal Description:** Amended Plat Land in Section 33, T11N, R4E, NMPM, La Vida Llena,  
**City Address:** 10701 Lagrima de Oro Road NE

**Applicant:** Haverland Carver Lifestyle Group **Contact:** Joe Gomez  
**Address:** 101501 Montgomery Boulevard NE, 87111  
**Phone#:** 505-991-5557 **Fax#:** \_\_\_\_\_ **E-mail:** jgomez@lavidallena.com

**Other Contact:** The Design Group **Contact:** David Aube  
**Address:** 120 Vassar Drive SE, Albuquerque, NM 87106  
**Phone#:** 505-998-6430 **Fax#:** 505-242-6881 **E-mail:** daube@designgrouponnm.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 12-21-2021 **By:** David Aube

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_