

CITY OF ALBUQUERQUE



September 10, 2009

D. Mark Goodwin, P.E.
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

**Re: Everglades Building (Juan Tabo Office), 5123 Juan Tabo NE,
Permanent Certificate of Occupancy - Approved
Approved Engineer's Stamp Date 7-09-09
Certification dated 9-08-09 (F-21/D033)**

Dear Mr. Goodwin,

PO Box 1293

Based upon the information provided in the Certification received 9-09-09, the above referenced Certification is approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology Section
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Everglades Building (Juan Tabo Office) ZONE MAP/DRG. FILE # F-21-D33
DRB#: 1004221 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract D-3 of replat of Tracts A, D-1, D-2, D-3 & E-2 of Academy Place
CITY ADDRESS: 5123 Juan Tabo NE

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: Mark Goodwin
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Center Street Properties, LLC
ADDRESS: 107 Bryn Mawr SE
CITY, STATE: Albuquerque, NM

CONTACT: Kenny Hinkes
PHONE: 255-4755
ZIP CODE: 87106

ARCHITECT: Jim C. Lewis Architect General Design, Inc.
ADDRESS: 1620 Central Ave SE
CITY, STATE: Albuquerque, NM

CONTACT: Jim Lewis
PHONE: 247-1529
ZIP CODE: 87106

SURVEYOR: Cartesian Surveys
ADDRESS: 2104 Southern Blvd. SE
CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner, Jr.
PHONE: 896-3050
ZIP CODE: 87124

CONTRACTOR: Sierra Development Company
ADDRESS: 107 Bryn Mawr SE
CITY, STATE: Albuquerque, NM

CONTACT: Greg Lutz
PHONE: 262-4000
ZIP CODE: 87106

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

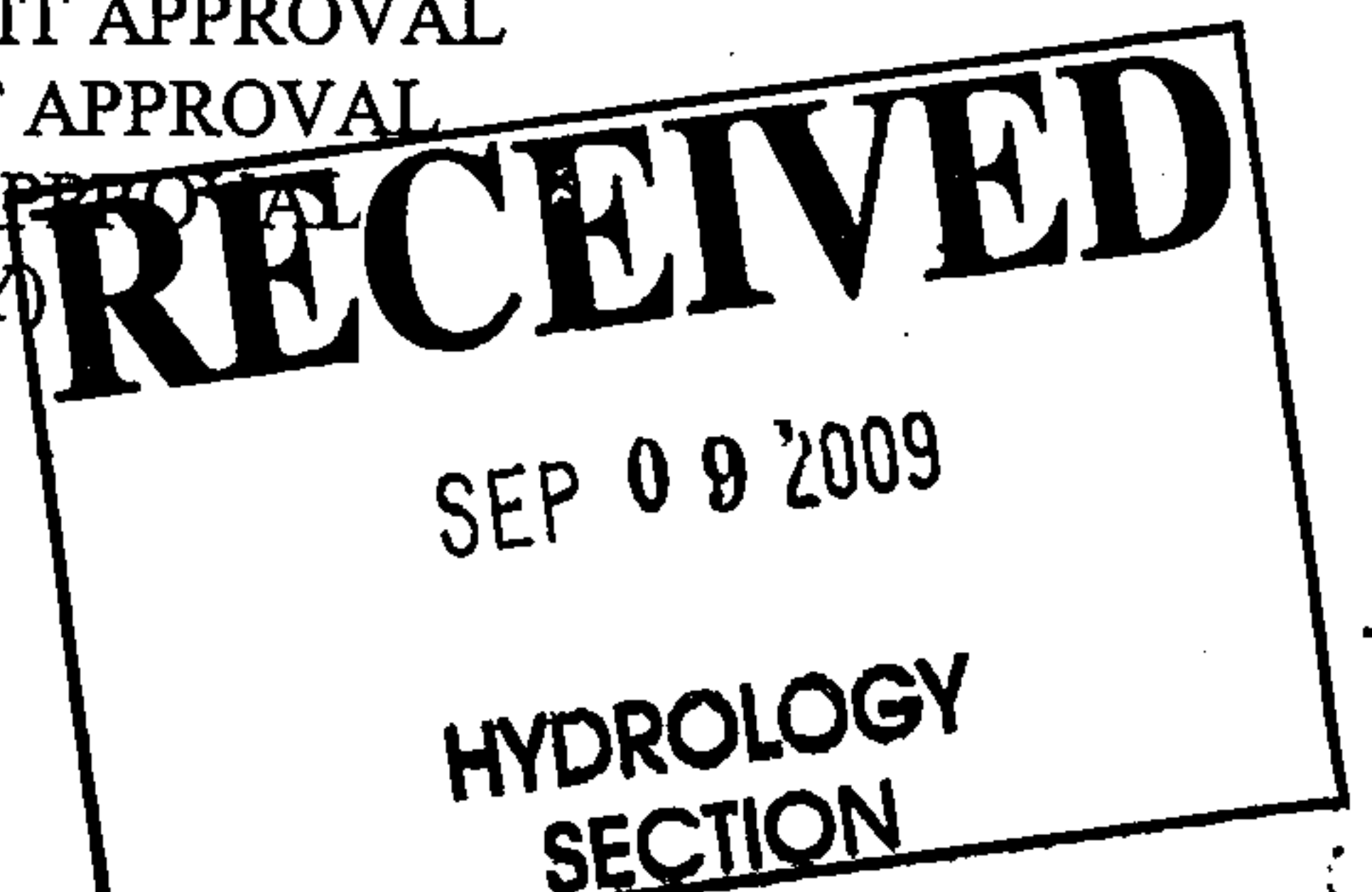
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

SUBMITTED BY: Mark Goodwin, PE *MG* DATE: September 8, 2009

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

September 8, 2009

Mr. Timothy Sims
Plan Checker – Hydrology
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Everglades Building (F-14 / DO45)
5123 Juan Tabo NE

Dear Mr. Sims:


Attached, please find our revised As-Built for the referenced project. As you requested in your letter dated September 1, 2009, the following issues have been addressed:

- Sidewalk Culvert has been inspected
- Site is now accessible for inspection
- A significant number of As-Built spot elevations have been added that clearly indicate the adequacy of the grading
- Address is 5123 Juan Tabo NE

Please contact our office with any questions or concerns that you may have.

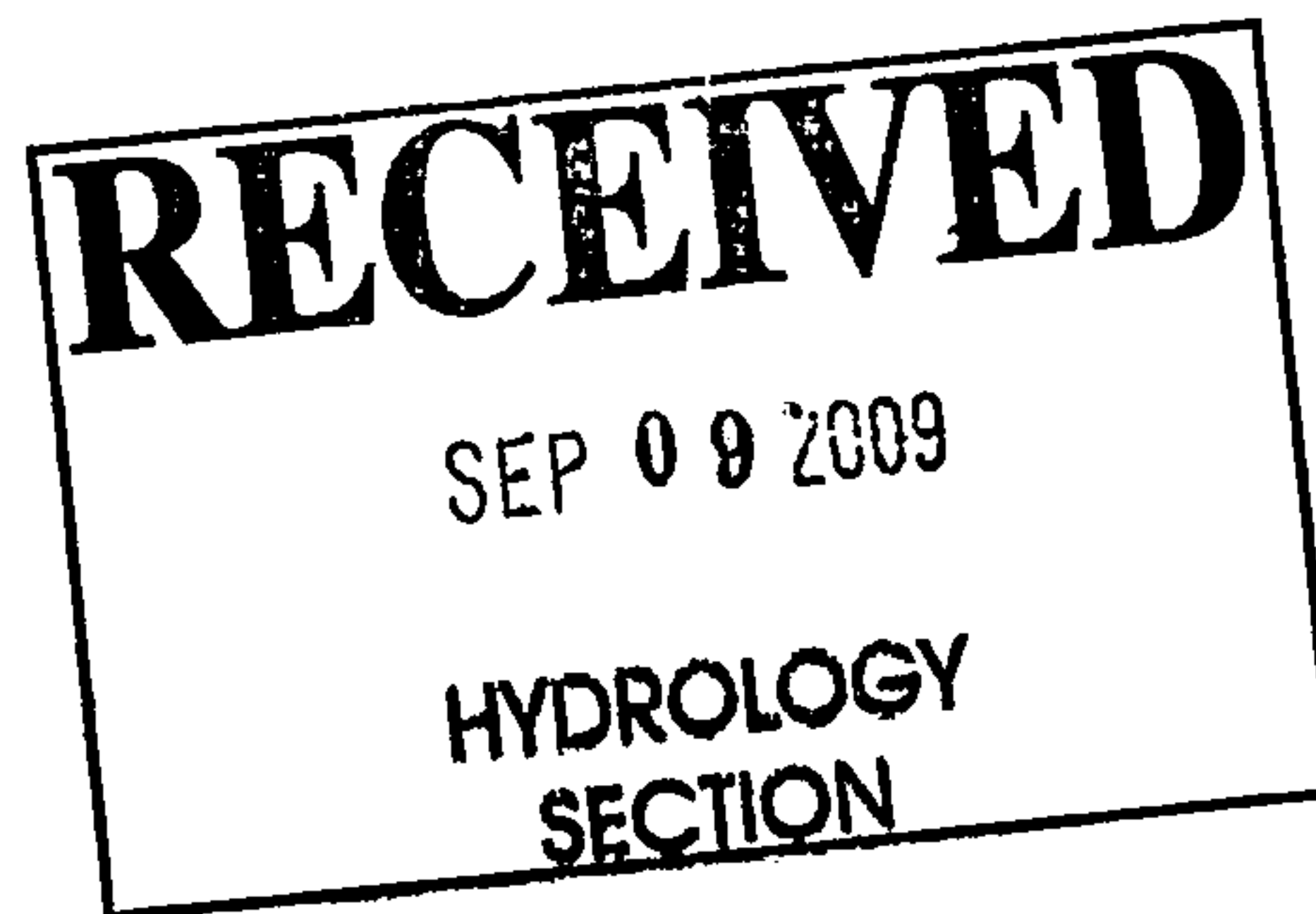
Sincerely,

Mark Goodwin & Associates, PA


Mark Goodwin, PE
President

DMG/la

Attachment



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 4, 2009

James Lewis, Registered Architect
1620 Central SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
Juan Tabo Executive Office, [F-21 / D033]
5203 Juan Tabo NE
Engineer's Stamp Dated 09/03/09

Dear Mr. Lewis:

PO Box 1293

The TCL / Letter of Certification submitted on September 4, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

James C Lewis Architect

September 3, 2009


re: Traffic Certification

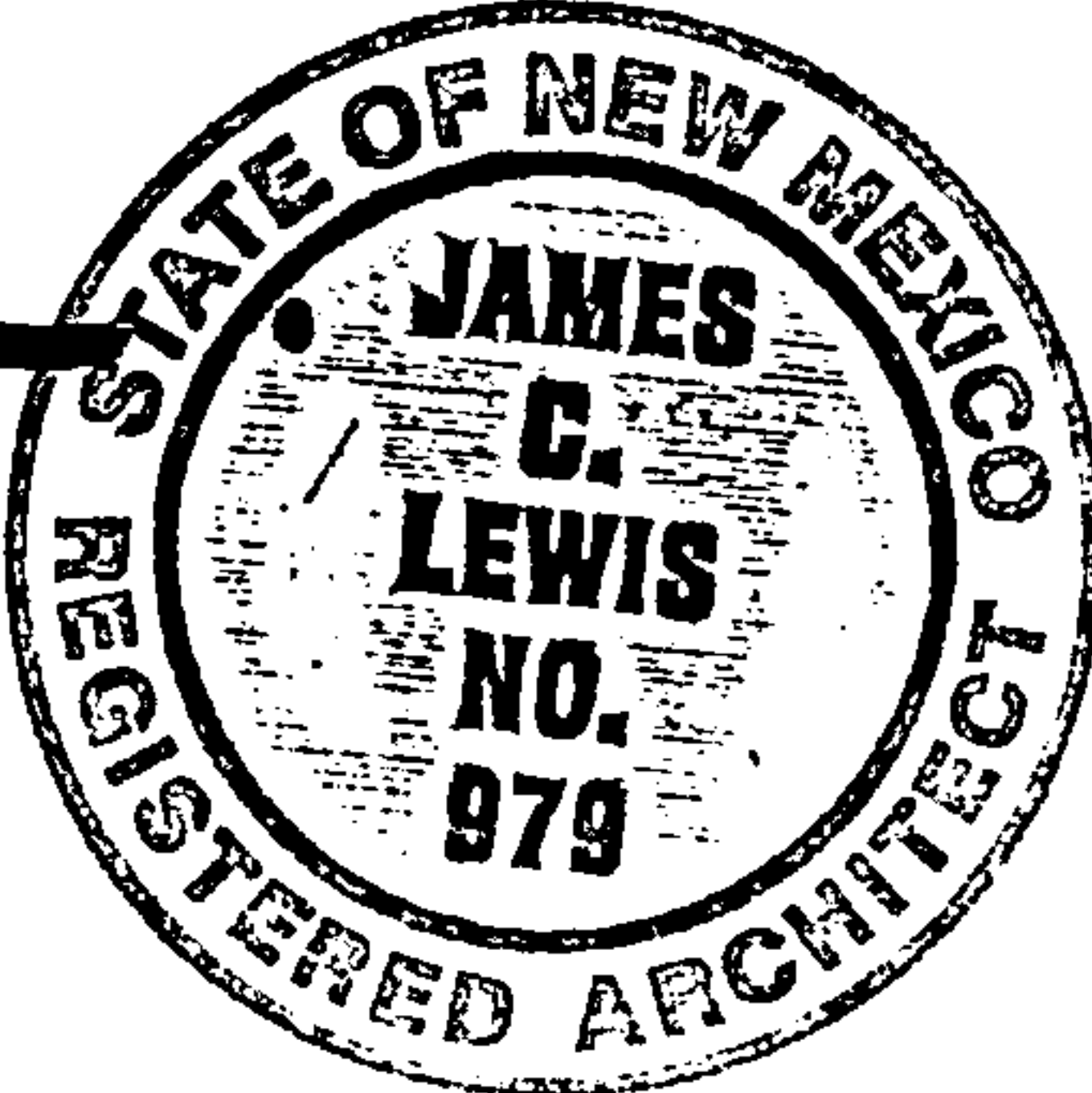
City of Albuquerque
Traffic Division
P.O. Box 1293
Albuquerque, NM 87103

Re: Juan Tabo Executive Offices
5203 Juan Tabo NE

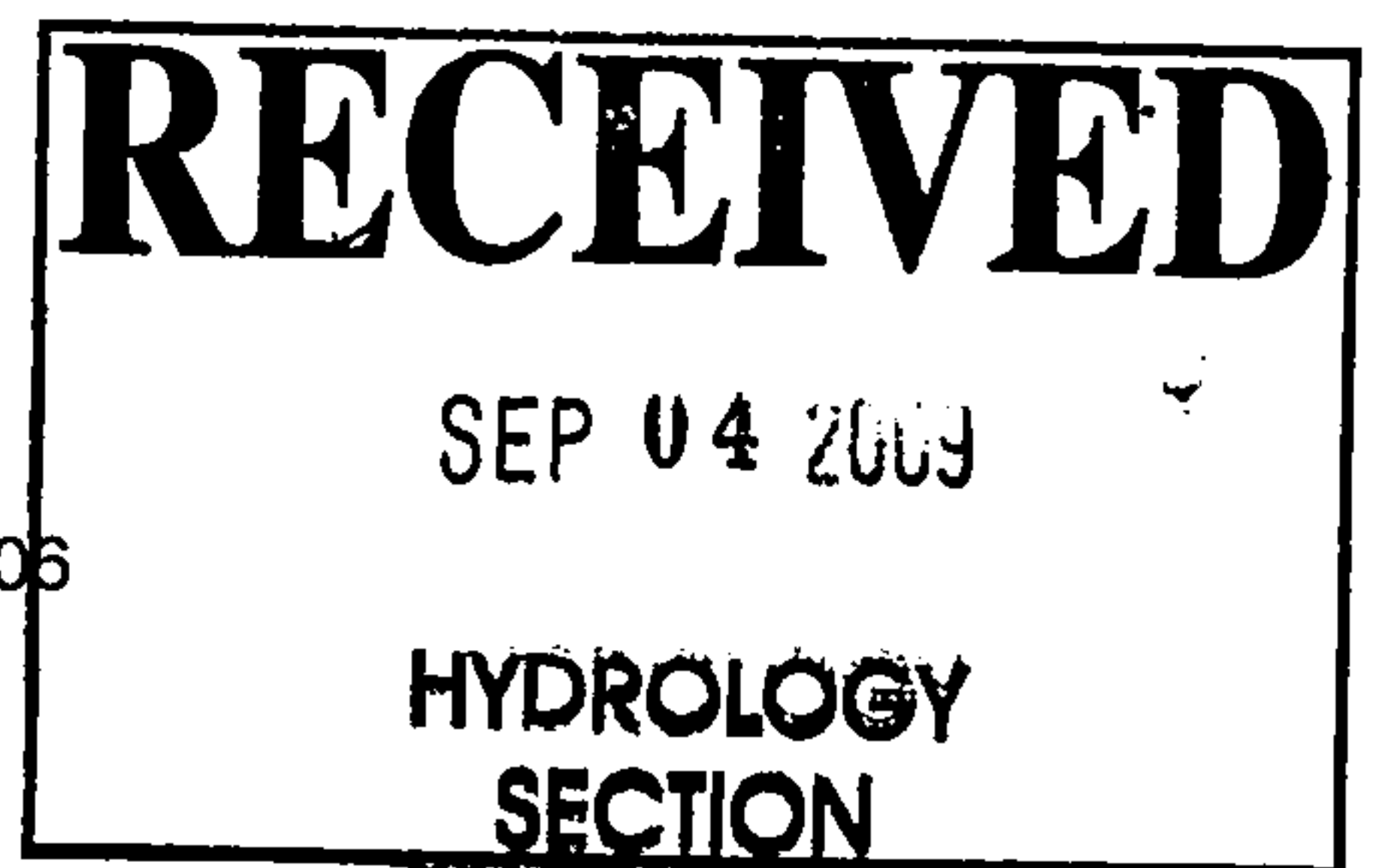
I, James C Lewis, NMRA, of the firm James C. Lewis Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TCL approved plan dated 2/7/08 with a revision date of 5/7/08. The record information edited onto the original design document has been obtained by James C. Lewis, of the firm James C. Lewis Architect. I further certify that I have personally visited the project site on 9/1/09 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


James C Lewis



General Design, Inc.
1620 Central Avenue SE • Albuquerque • NM • 87106
(505) 247-1529 • gdi@mac.com



CITY OF ALBUQUERQUE



September 1, 2009

D. Mark Goodwin, P.E.
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

Re: Everglades Building,
Permanent Certificate of Occupancy - Not Approved
(F-14/D045)
Engineer's Stamp date 07-09-09,
Certification dated 08-19-09

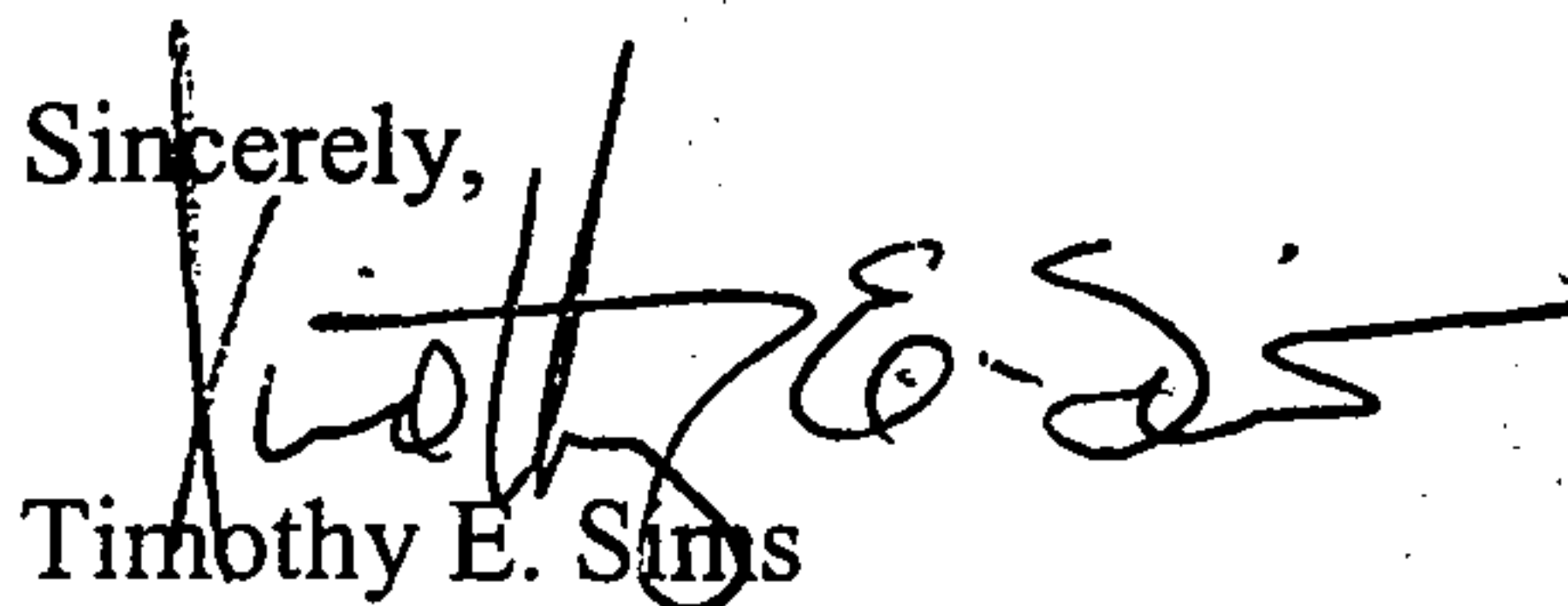
Dear Mr. Goodwin,

Based upon the information provided in the Certification received 8-28-09, the above referenced Certification is not approved for Permanent Certificate of Occupancy. The following issues need to be resolved prior to issuance of a Temporary or Permanent Certificate of Occupancy.

1. The sidewalk culvert will need to be inspected and approved by Duane Schmitz. He can be contacted at 235-8016.
2. The site will need to be accessible for inspection by this office for a permanent request. The construction fence will need to be removed prior to issuance of the permanent certificate of occupancy.
3. Additional elevations are needed to reflect substantial compliance to the grading plan. The swale fronting the East and South sides of the building, top of walls and bottom of walls, as well as, additional parking lot elevations are needed.
4. Please include the address of this site with the next submittal.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims
Plan Checker—Hydrology
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



July 9, 2009

John M. MacKenzie, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: Everglades Building, 5123 Juan Tabo NE, Grading and Drainage Plan
Engineer's Stamp date 7-9-09 (F21/D033)**

Dear Mr. MacKenzie,

Based upon the information provided in your submittal received 7-9-09, the above referenced plan is approved for Building Permit and SO 19 Permit.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

To obtain a temporary or permanent C.O., Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

This is the plan to Certify for release of C.O.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Duane Schmitz, Street/Storm Drain Maintenance

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



July 3, 2008

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: **Everglades Building (Tract D-3) 5123 Juan Tabo NE (MAP F21- D 033)**
Grading & Drainage Plan for Site Plan & Building Permit (PE Stamp 07-03-08)

Dear Ms. Hoelzer:

Based upon information in your submittal received 6/30/08 and amended plan received 7/3/08, the above referenced Grading and Drainage Plan is approved for Building Permit, conditioned upon compliance with the NPDES/SWPPP requirements discussed below.

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by Hydrology.

PO Box 1293

SWPPP: This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of the P.E. certified Storm Water Pollution Prevention Plan (SWPPP) on a CD to City of Albuquerque, Storm Drainage Division at:

Albuquerque

Department of Municipal Development, Storm Drainage Division

P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

NM 87103

SO-19: A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. To obtain a temporary or permanent CO the sidewalk culvert must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

www.cabq.gov

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.

XC: Brad Bingham
Kathy Verhage, COA/DMD-Storm Drainage
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance
Drainage file - F21 - D 033



June 16, 2008

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: **Everglades Building (Tract D-3) 5123 Juan Tabo NE (MAP F21-D 033)**
Grading & Drainage Plan for Site Plan & Building Permit (PE Stamp 05-08-08)

Dear Ms. Hoelzer:

The subject site was reviewed and approved for site plan by the Development Review Board on May 21, 2008 (DRB Case No. 1004221), so this review will only address your request for Building Permit approval.

PO Box 1293

Based upon the information provided in your submittal received 05/09/08 the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

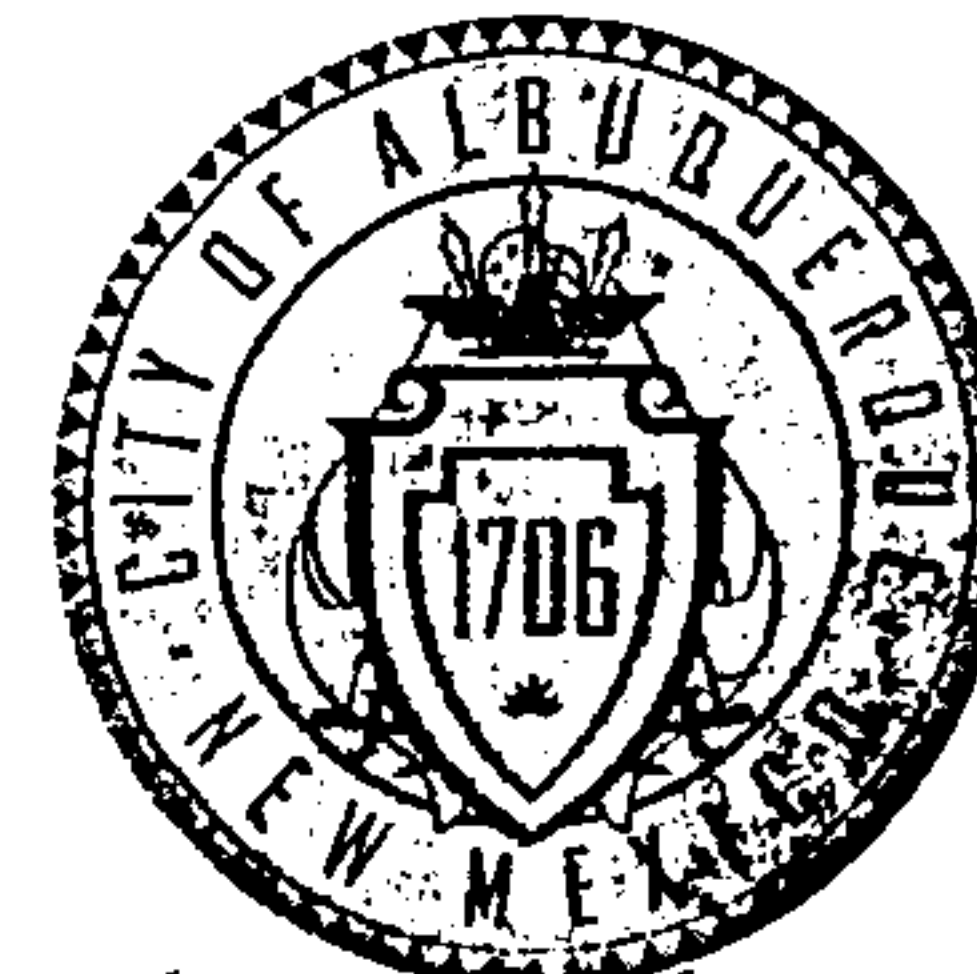
Albuquerque

NM 87103

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- 1) This drainage submittal lacks several critical items of information necessary for our review (refer to DPM Chapter 22, Section 7). Of particular concern are a narrative discussion of existing and proposed flow conditions and outfall discharge rates, accompanied by calculations to support flow rates and ponding volumes.
- 2) The plan shows a portion of the existing graded site discharging westerly to Tract D-1, with the proposed plan constructing retaining walls to keep flows on site. Provide cross sections and details for proposed wall locations, and easements if offsite grading is required for wall construction.
- 3) Near the SE corner of the circular parking area, the landscape drainage invert at the back of sidewalk appears to be below the sidewalk elevation. A pipe or culvert is required to convey flows under the sidewalk.
- 4) The landscaped area north of the east building entrance appears to require a retaining wall, similar to that south of the entrance, as grades result in over 2-to-1 slopes at the back of the adjacent, public sidewalk.
- 5) The Summary of Hydrology indicates a Maximum Water Surface Elevation of 5749.27. This water level will pond against the retaining wall, which must provide a minimum 1.0 foot of freeboard. The currently specified TW = 5749.30 is not adequate. Also, the tie

PLANNING DEPARTMENT – Development & Building Services
Everglades Building - Academy Place, Tract D-3
June 16, 2008



to existing Railroad Tie Retaining Wall on the west side of the lot must be revised to provide the necessary freeboard, which cannot be provided by the R.R. Ties.

- 6) The 4" pipe connection to the curb at the NE corner of the site is not acceptable, as it will be discharging 450 gpm at over 11 ft/sec into Juan Tabo traffic. An alternate detail like a sidewalk culvert is suggested, to reduce the energy of flows entering Juan Tabo.
- 7) Provide details of the "SO-19" connection to the curb on Juan Tabo and refer to the Notice To Contractor requirements on this plan.
- 8) I have operational concerns for the proposed pump and discharge piping; review and amend as appropriate for:
 - a) Is there a check valve in the discharge line?
 - b) The 1.0 cfm sump pump will empty the 1 foot on-off head depth within the sump in only 12 seconds. Will the pump cycle on-off too frequently during low flows?
 - c) Will the water standing in the pump discharge line freeze during winter months of non-use? No pipe bury depth was specified.
- 9) Since this site exceeds 1 Acre, a Storm Water Pollution Prevention Plan (SWPPP) will be required. Effective July 1, 2008, a SWPPP must be included with the submittal for a Rough Grading, Grading, Paving or Building Permit. The SWPPP must be in PDF or MS Word format on a CD.

PO Box 1293


Albuquerque

If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

NM 87103

Sincerely,

www.cabq.gov

 6/15/08
Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
file F21 - D 033

