

A Detail Not Used

B Detail Not Used

C Detail Not Used

D Detail Not Used

Zoning Info

PARKING

Required for Office: 1 space per 200 SF 1st floor
1 space per 300 SF 2nd floor

1st floor= 9,866 sf gross / 200 = 50 Spaces
2nd floor= 6,893 sf gross / 300 = 23 Spaces
Less 10% bus discount = 73 Spaces
= 66 Spaces (Required)

Motorcycle space = 3 Spaces
Handicap space = 3 Regular spaces and 1 Van
25% small car space = less than 17 Spaces allowed

Provided:
Standard Spaces = 59 Spaces
Small Car Space = 2 Spaces
HC Space = 4 Spaces
Total = 65 Spaces

EPC has waived the parking requirement of 66 required spaces and allow the provided 65 spaces

Motorcycle Space = 4 Spaces

BICYCLE PARKING

Required: 1 space/20 parking spaces
76 parking / 20 = 4 spaces

Provided: (2) 4 space racks

Keyed Notes

- Proposed 2-story 20,451 sf Office Building.
1st story = 11,522 sf (net)
2nd story = 8,929 sf (net)
- Existing medians.
- Existing curb and/or gutter.
- Existing sidewalk.
- Existing railroad tie retaining wall, 3'-0" above existing grade.
- Existing fire hydrant.
- Existing water fixture (meter -or- valve).
- Existing electrical equipment, relocate as required- see sheet SDP-8.
- Existing manhole (sewer).
- Existing private drive.
- Existing HC ramp.
- Property line (typical).
- 10' Public Utility Easement.
- 5' Public Utility Easement.
- Typical Parking space 9'-0" x 16'-0" (with additional 24" overhang).
- Typical HC parking space 9'-0" x 17'-0" (with additional 24" overhang) with sign.
- 5'-0" wide HC access aisle colored concrete and textured.
- 8'-0" wide HC access aisle colored concrete and textured.
- Typical Small car parking space 8'-0" x 15'-0". Provide "COMPACT" marking on pavement at the front of the space.
- Typical Motorcycle parking space 4'-0" x 8'-0" (Minimum) with sign.
- HC space = an average of 10'-5" wide. Back of space a minimum of 8'-6" and the front of the space a minimum of 11'-11 5/8".
- Parking space = an average of 10'-5" wide. Back of space a minimum of 8'-6" and the front of the space a minimum of 11'-11 5/8".
- Existing 45' drive pad.
- Proposed 30' curb cut, build per COA Drawing 2425.
- Proposed HC ramp: 1:12 slope (maximum).
- Asphalt paving.
- Bicycle rack (4 spaces min.).
- Refuse enclosure, see elevation "W" on sheet SDP-7.
- NOT USED
- Proposed 6' wide concrete sidewalk.
- Proposed 8' wide concrete sidewalk.
- Proposed 10' wide concrete sidewalk.
- Proposed 8' wide colored and textured concrete pedestrian path.
- Proposed 645 sf of public space. 113 sf will be a colored and textured concrete patio, covered by a gazebo.
- Proposed monument sign- see detail "R" on sheet SDP-7.
- Proposed 16'-0" tall site lighting fixture, see detail "Q" on sheet SDP-7.
- Proposed fire hydrant location.
- Proposed CMU retaining wall (6'-0" high maximum) - see detail "V" on sheet SDP-7.
- Proposed Amenities: bench seating and trash containers- 18 seats (14 under cover).
- Existing Bus stop, 115'-0" from the south east corner of property.
- Proposed estate curb.
- Drainage Grate- see sheet SDP-3
- 30' x 10' Public Utility Easement.
- Existing CMU retaining wall, averages 5'-4" above existing grade on proposed property, and averages 11'-4" above finish grade on adjacent property.

James C Lewis Architect

General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 • gdl@mac.com

Architecture & Planning

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Juan Tabo Executive Offices

5203 Juan Tabo NE
Albuquerque, New Mexico 87111

ISSUE DATE:

7 FEBRUARY 2008

REVISIONS:

28 February 2008

7 May 2008

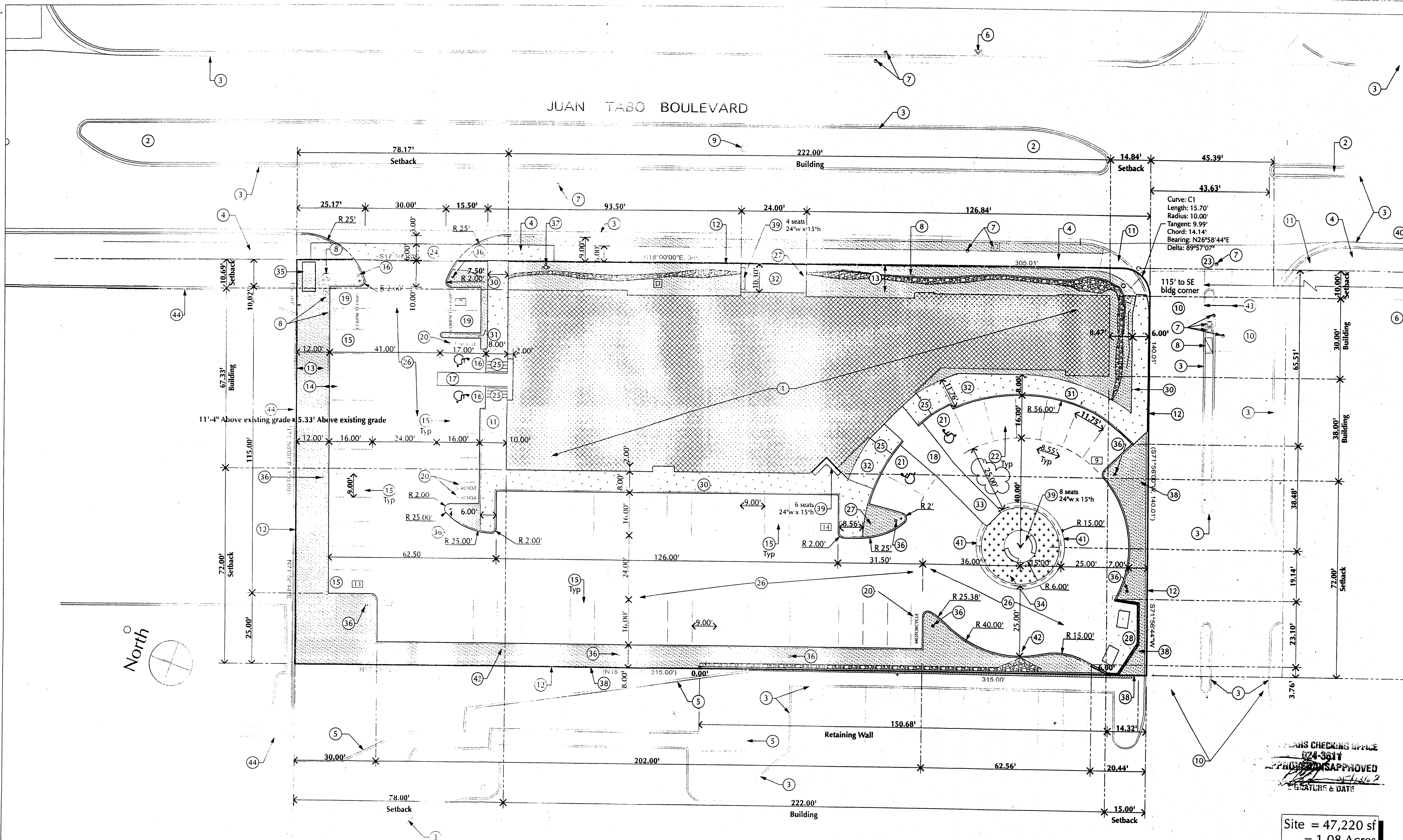
PROJECT # 2007-0029

Site Plan

SHEET

SDP-2

2 OF 8



Site = 47,220 sf
= 1.08 Acres

Signature Block

PROJECT NUMBER: 1004271

Application Number: 08DRB-20278

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/17/08, and the Findings and Conditions in the Official Notification of Decision are satisfied.

In an Indemnification and Release (I & R) No. 11, the City of Albuquerque has agreed to indemnify and hold the City of Albuquerque harmless from and against all claims, damages, losses, costs, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Albuquerque or its officers, employees, agents, or contractors in connection with the City of Albuquerque's approval of this Site Development Plan.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division

6/17/08

6-17-08

Christina Sandoval

5/11/08

Bradley & Brigham

5/11/08

NA

Environmental Health Department (conditional)

5/13/08

Michael Hutton

5/13/08

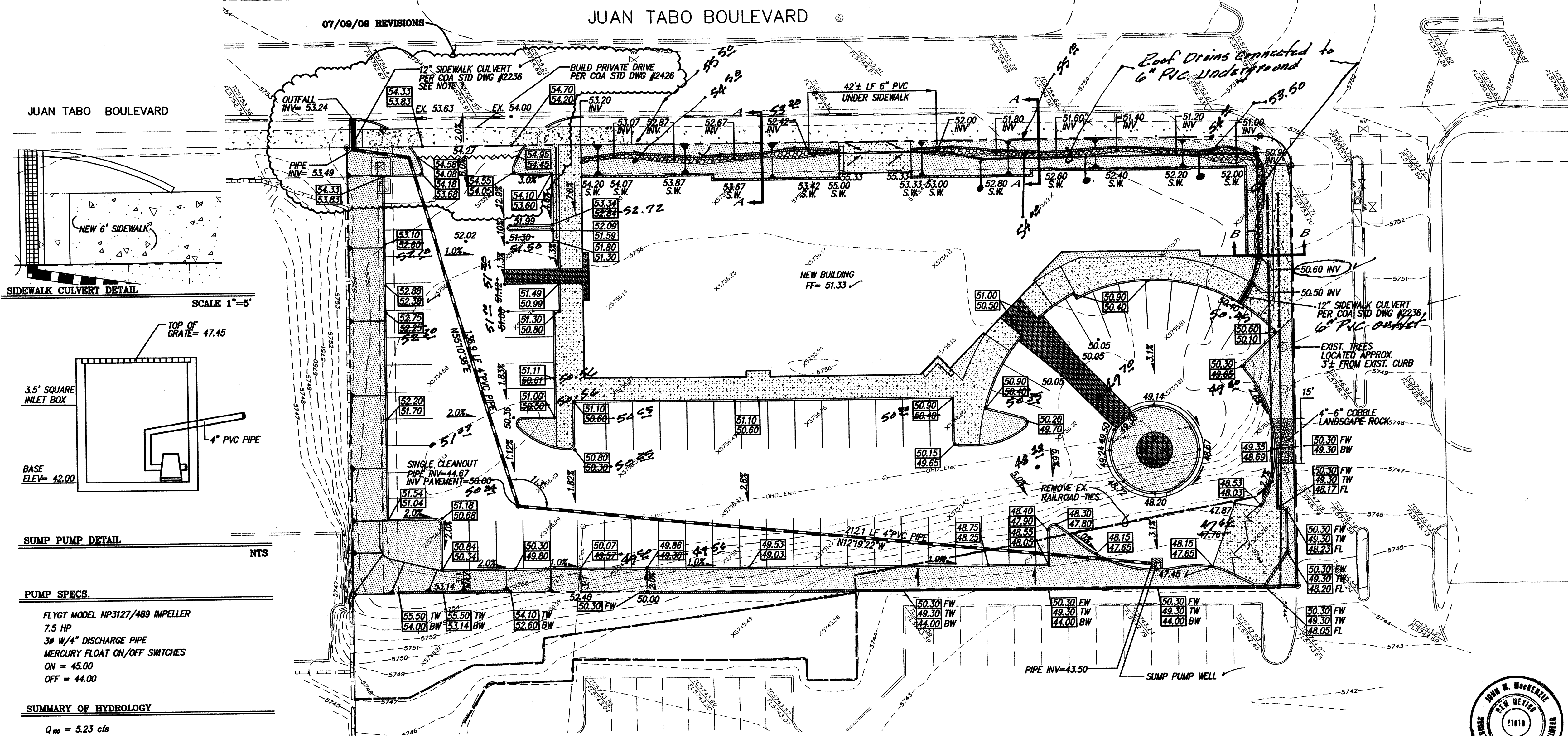
City Engineer

5/13/08

City Engineer

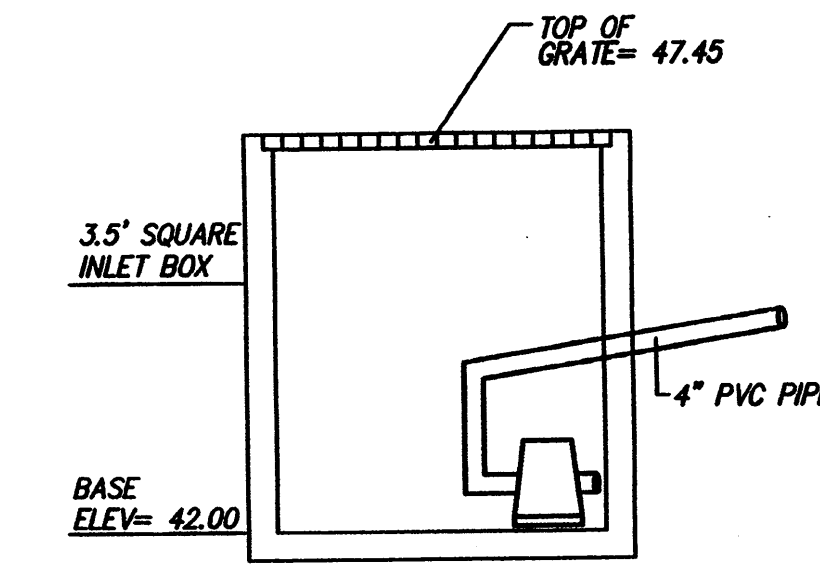
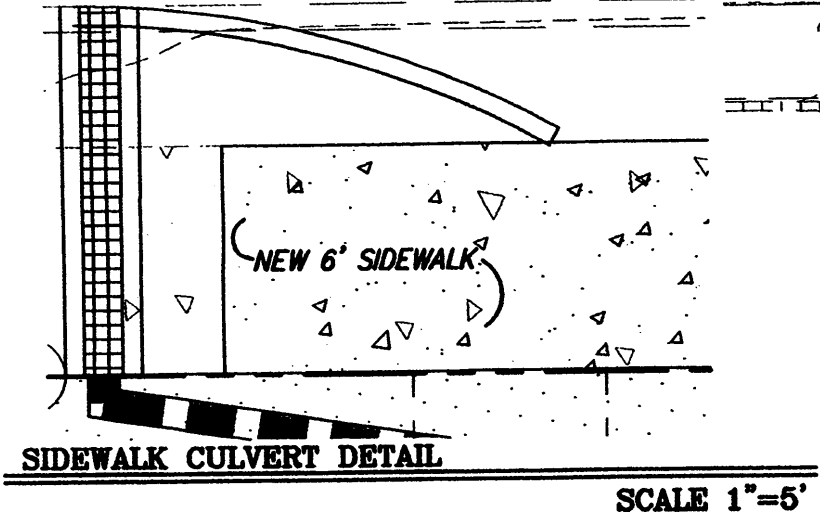
NOTE

1. An "S.O.19" permit is required from the City of Albuquerque for the drainage discharge into Juan Tabo Blvd. The sidewalk culvert construction is per COA Std 2236. Construct a 6" concrete side wall on the back side of the 12" sidewalk culvert at the property line with the 4" C-900 drainage pipe penetrating from the back side in the center of the channel. Pipe should be flush to the concrete surface. (Refer to detail this sheet.)



JUAN TABO BOULEVARD

JUAN TABO BOULEVARD



SUMP PUMP DETAIL

PUMP SPECS.
 FLYGT MODEL NP3127/489 IMPELLER
 7.5 HP
 3/4" DISCHARGE PIPE
 MERCURY FLOAT ON/OFF SWITCHES
 ON = 45.00
 OFF = 44.00

SUMMARY OF HYDROLOGY
 $Q_{100} = 5.23$ cfs
 $V_{100} = 0.213$ Ac. Ft.
 MAX. PUMP RATE $Q = 1$ cfs
 MAX. PARKING AREA POND ELEV. = 49.27

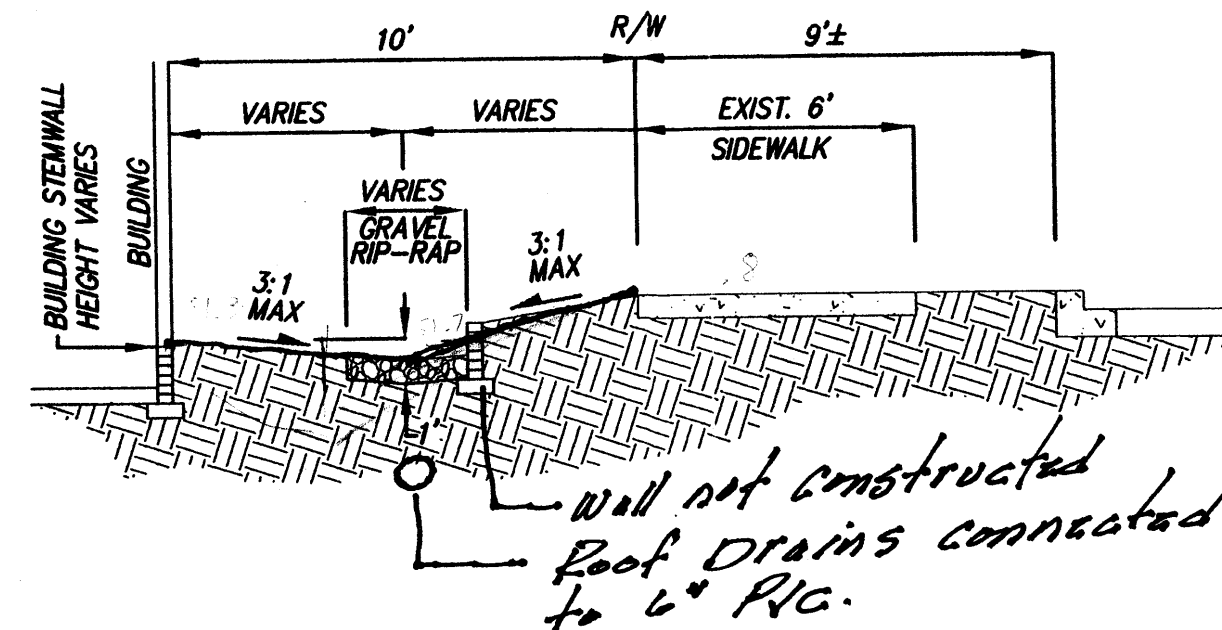
NOTICE TO CONTRACTOR

1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

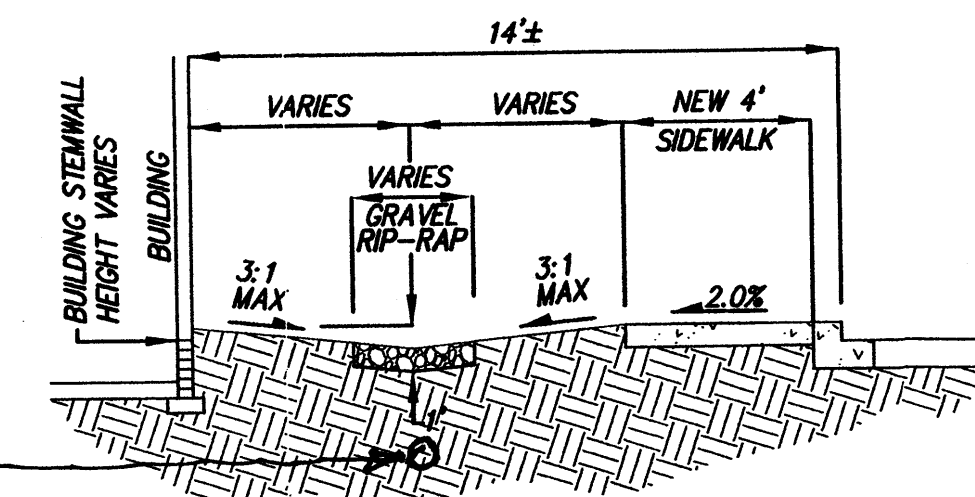
Approval	Name	Date
Inspector		

NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

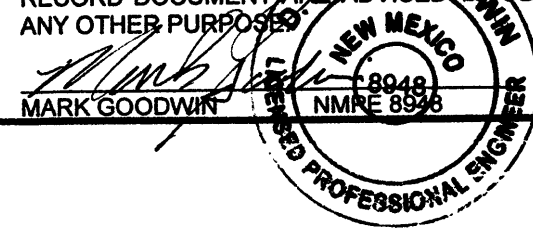


DETAIL A - A
 DRAINAGE CERTIFICATION NTS



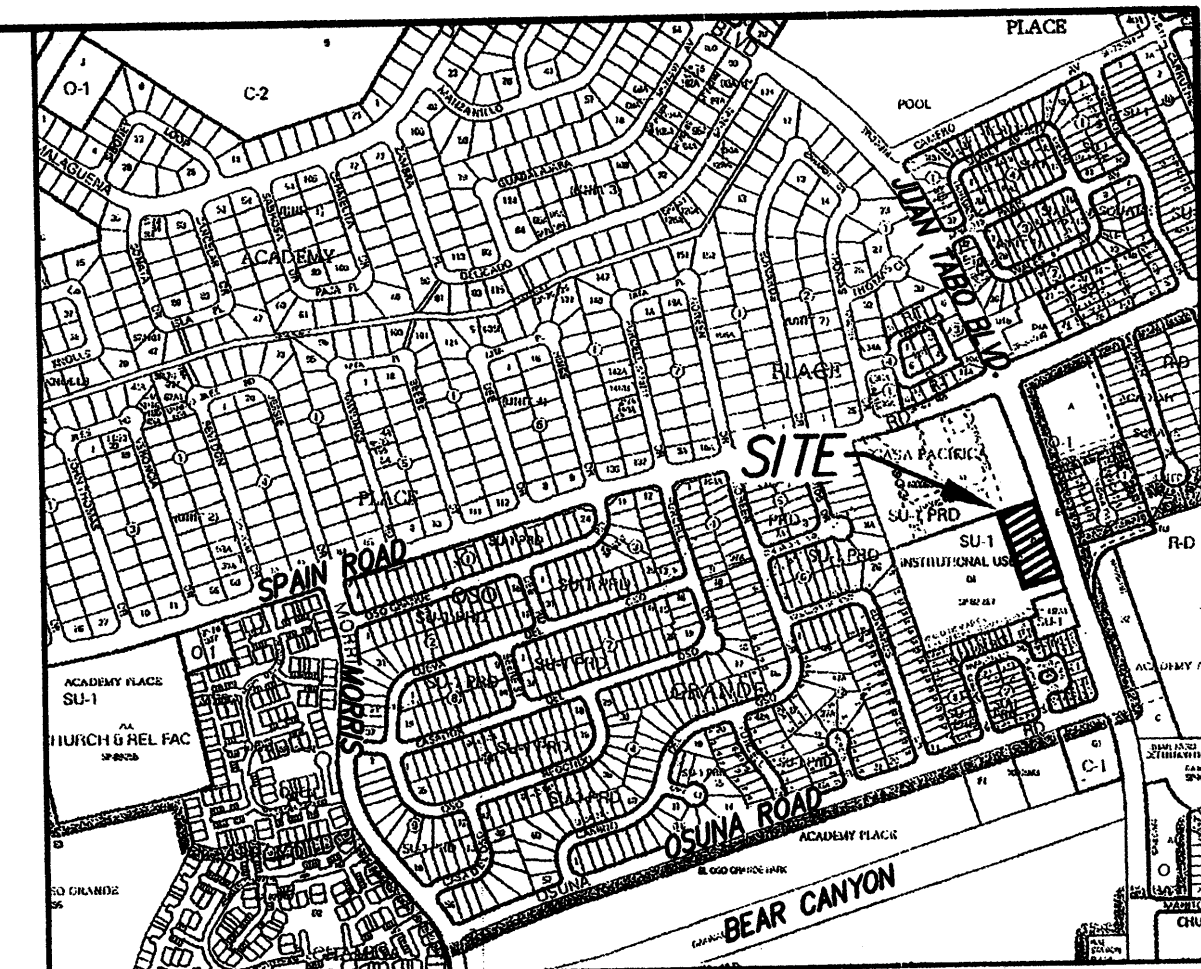
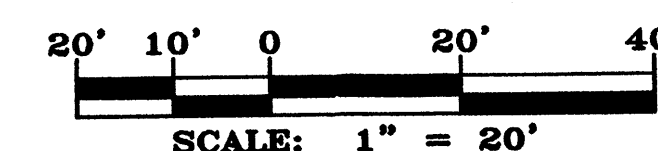
DETAIL B - B
 NTS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE DESIGN OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT FOR ANY OTHER PURPOSES ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.



DATE 8/19/09 Rev. 9/2/09

F:\A07JOBS\A07044 JUAN TABO OFFICE BUILDING\Grading & Drainage\A07044_GD4_A.dwg\7/9/2009\diane ACH RFH



VICINITY MAP

ACS BENCHMARK

Vertical datum shown hereon is based upon the Albuquerque Central Survey Monument "77-120-2" having a published elevation of 5782.119 feet (NAVD 1988).

LEGAL DESCRIPTION

Tract "D-3" of the Replat of Tracts A, D-1, D-2, D-3 & E-2 of ACADEMY PLACE, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Replat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 3, 1963, in Plat Book C20, page 190.

LEGEND

- 5750 EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING POWER POLE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING WATER VALVE
- EXISTING RAIL ROAD TIE RETAINING WALL
- EXISTING CURB
- EXISTING RETAINING WALL
- EXISTING SPOTS
- EXISTING TREE
- NEW STANDARD CURB & GUTTER
- NEW FINISHED FLOOR ELEVATION
- NEW BUILDING
- NEW CONTOURS
- NEW WATER BLOCK
- NEW DRAINAGE FLOW
- NEW STORM DRAIN
- NEW RETAINING WALL
- NEW STEM WALL
- NEW SWALE
- NEW HANDRAIL
- NEW SLOPE
- NEW TOP OF CURB
- NEW FLOWLINE
- NEW TOP OF WALL
- NEW BOTTOM OF CURB
- 53.80 S.W.
- 50.30 FW
- NEW SPOT STEM WALL
- NEW SPOT FLOODWALL
- NEW SIDEWALK
- NEW LANDSCAPING
- NEW OFF-SITE GRADING

RECEIVED
 SEP 09 2009

GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539
 Designed: TG Drawn: SPS Checked: DMG
 Scale: 1" = 20' Date: 4/1/2008 Job: A07044

SDP-4