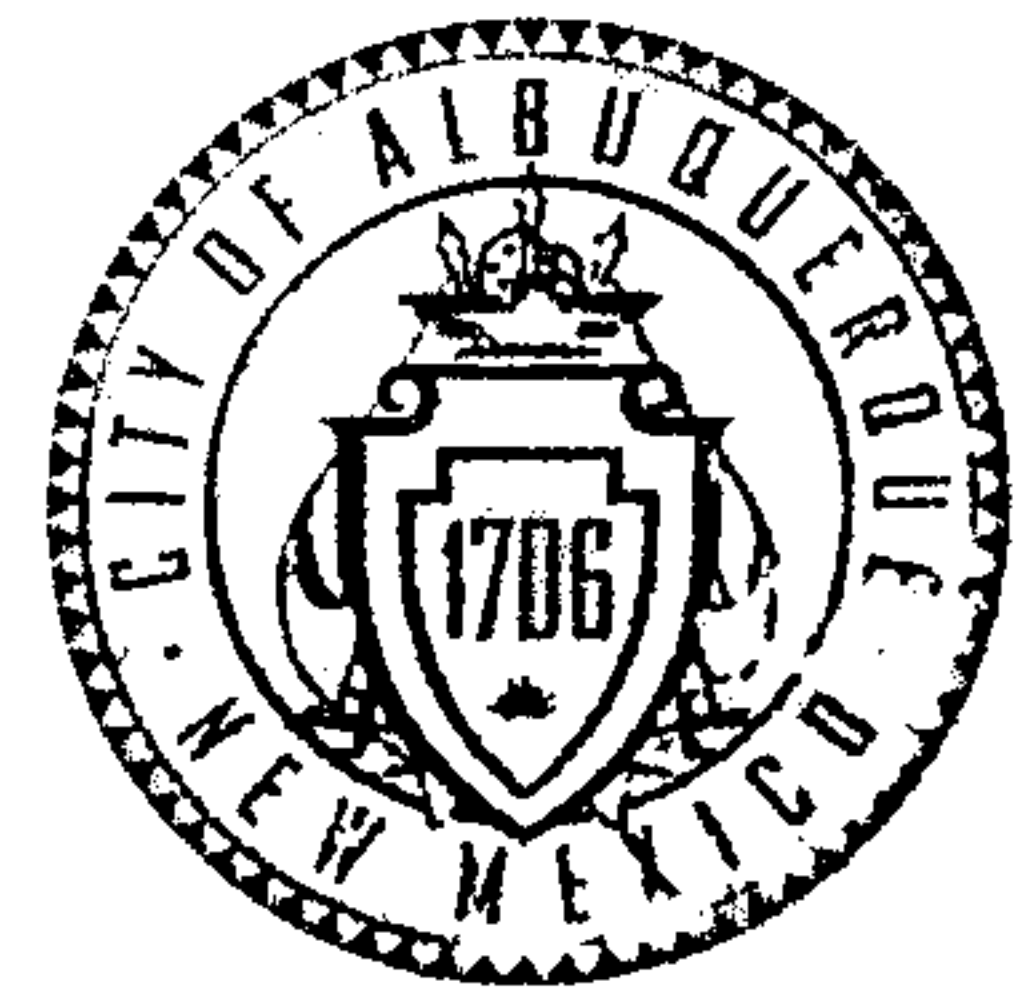


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 30, 2013

Elizabeth A. O'Byrne, Registered Architect
Greer Stafford/SJCF Architecture, Inc.
1717 Louisiana Blvd NE, Ste. 205
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Bear Canyon Senior Center, [F-21/ D045]
4645 Pitts St. NE
Architect's Stamp Dated 10/30/13

Dear Ms. O'Byrne:

PO Box 1293

Albuquerque

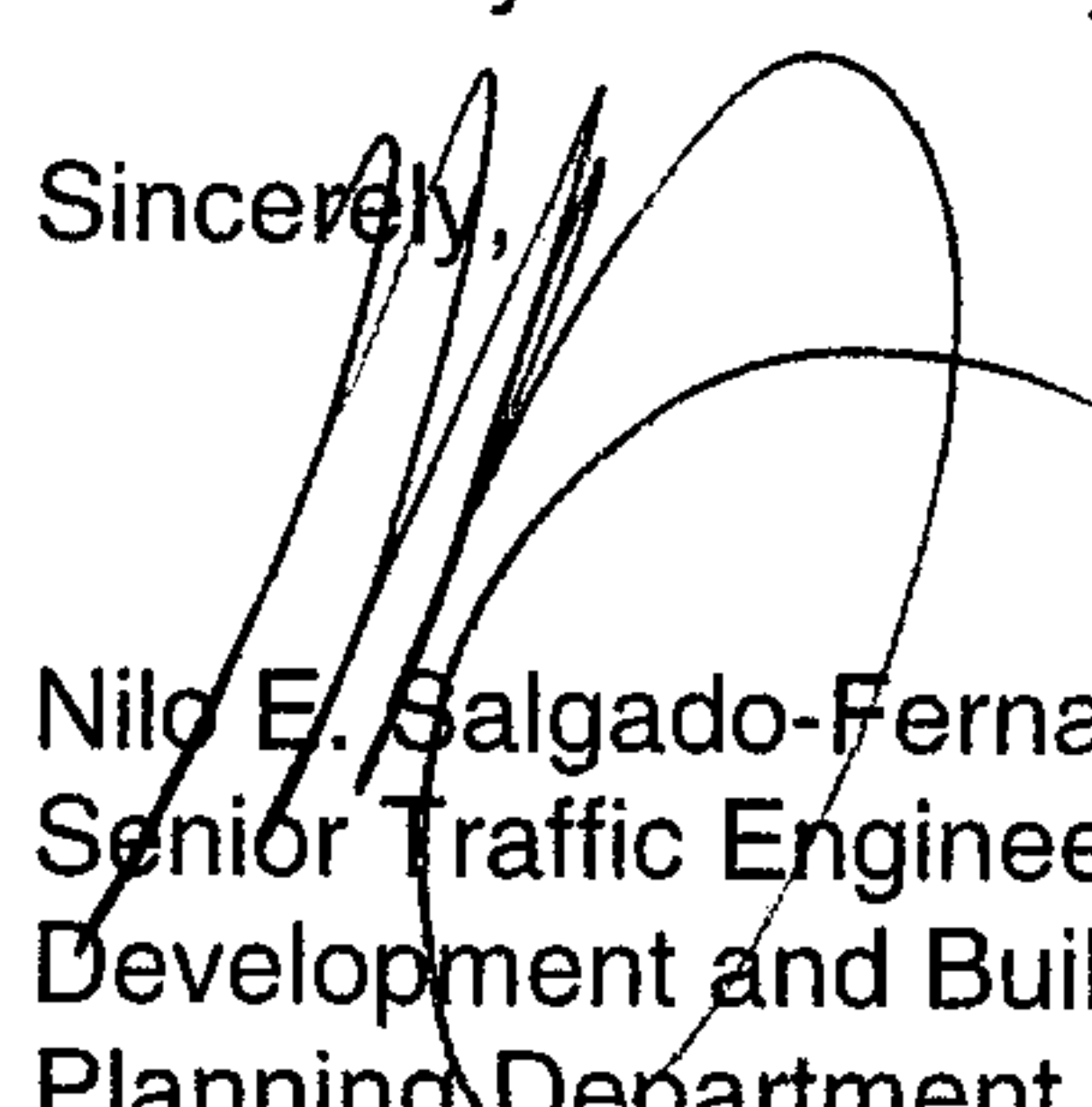
Based upon the information provided in your submittal on 10/30/13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy (C.O.)**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy (C.O.)** to be issued by the Building and Safety Division.

If you have any question, please contact me at (505)924-3630.

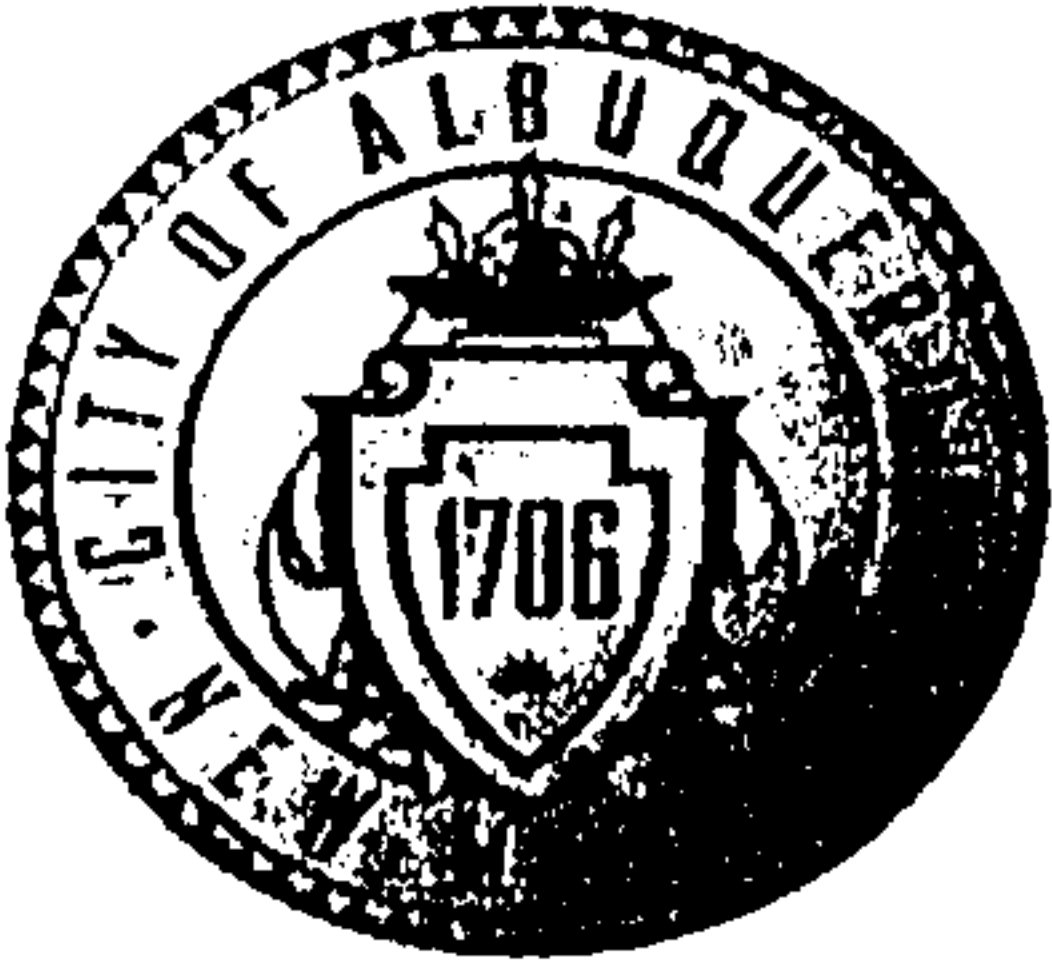
New Mexico 87103

www.cabq.gov

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

F-21/0045
F-21-2

Project Title: Bear Canyon Senior Center Building Permit #: 201295028 City Drainage #: F-21-2
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 4645 P.H St NE
City Address: _____

Engineering Firm: Smith Engineering Contact: George Wemetz
Address: 2201 San Pedro NE, Bldg 4, Suite 200
Phone#: 505-764-9801 Fax#: 505-842-5495 E-mail: george@smithengineering.pro
Owner: City of Albuquerque (Sr. Affairs) Contact: Rhonda Mathwin
Address: _____
Phone#: 505-764-6450 Fax#: 505-764-6455 E-mail: smethwin@city.gov
Architect: Greer Staffne/SKF Architecture Contact: Arlene O'Byrne
Address: 1717 Louisiana NE, Suite 205
Phone#: 505-821-0235 Fax#: 505-821-0238 E-mail: ao Byrne@greer-staffne.com
Surveyor: Smith Engineering Contact: George Wemetz
Address: 2201 San Pedro NE, Bldg 4, Suite 200
Phone#: 505-764-9801 Fax#: 505-842-5495 E-mail: george@smithengineering.pro
Contractor: Anchor Built Inc Contact: Rick Morris/Ray Zamora
Address: P.O. Box 27688
Phone#: 505-342-2452 Fax#: _____ E-mail: ray.zamora@anchorbuilt.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

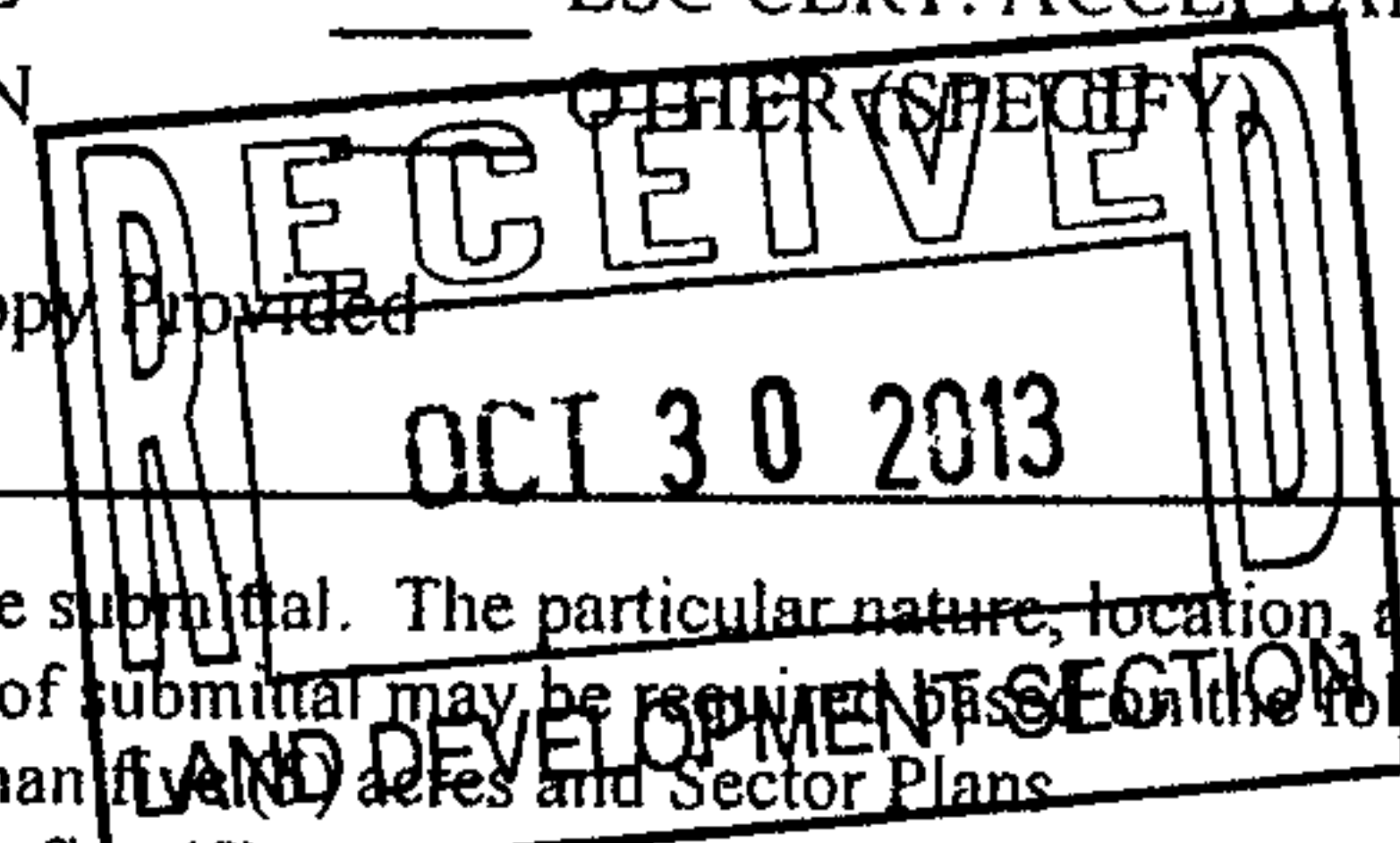
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





GREER STAFFORD/SJCF ARCHITECTURE, INC.
1717 Louisiana Blvd NE, Suite 205
Albuquerque, NM 87110
OFFICE: (505) 821-0235 | FAX: (505) 821-0348
www.greer-stafford.com

TRAFFIC CERTIFICATION

I, E. Ailene O'Byrne, NMRA #4128, Project Architect for Greer Stafford/SJCF Architecture, hereby certify that this project, Bear Canyon Senior Center Renovations, is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated January 9, 2013. The record information edited onto the original design document has been obtained by Greer Stafford/SJCF Architecture. I further certify that I have personally visited the project site on 30 October 2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

Final work is completed for the South parking lot, west traffic circle and the North delivery/fire lane.

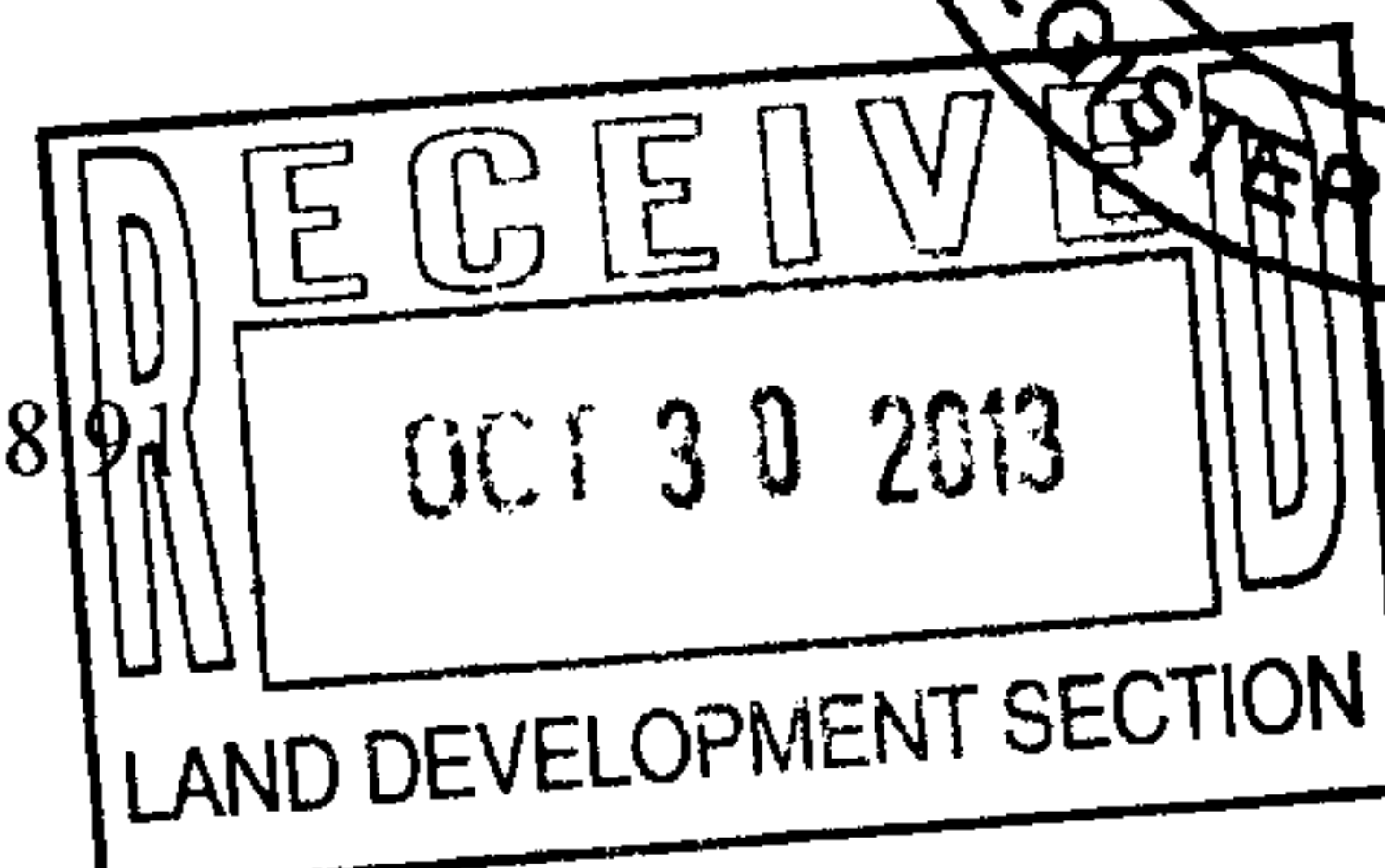
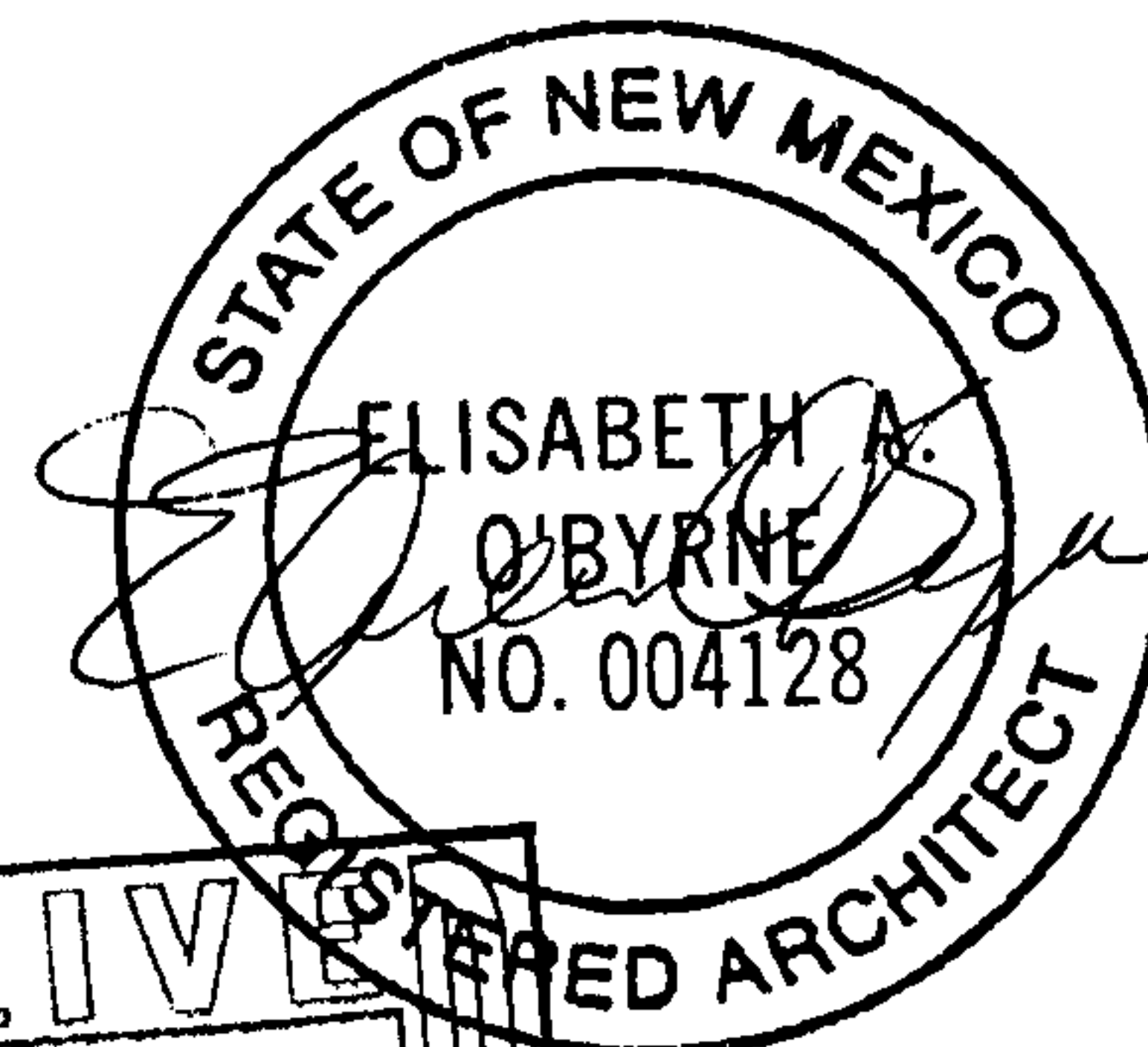
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

E. Ailene O'Byrne, AIA, PMP, LEED AP BD+C, ICC

30 October 2013

Ref: Bear Canyon Senior Center
4645 Pitt St. NE
Albuquerque, NM 87111

City of Albuquerque Project Number: 561891



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

F-21/D045

PROJECT TITLE: Addition & Renovation, Bear Canyon Senior Center ZONE MAP: F-21
DRB#: _____ EPC#: _____ WORK ORDER#: _____LEGAL DESCRIPTION: City Project Manager → Richard Zita (x83856)CITY ADDRESS: 4645 Pitt Street NEENGINEERING FIRM: Smith Engineering Company CONTACT: George Nemeth, P.E.
ADDRESS: 2201 San Pedro NE PHONE: 884-0700
CITY, STATE: Albuquerque, NM ZIP CODE: 87110OWNER: C.O.A., Dept. of Senior Affairs CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____ARCHITECT: Greer Stafford CONTACT: Ailene O'Byrne
ADDRESS: 1717 Louisiana Blvd PHONE: 821-0235
CITY, STATE: Albuquerque, NM ZIP CODE: 87110SURVEYING FIRM: _____ LICENSED SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

01-09-13
Verbal Approval
by Richard Dourte

DATE SUBMITTED: Jan. 10, 2013BY: George Nemeth, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : C.O.A. - HYDROLOGY

From : GREG CLARKE

Date : 12/22/92

Attn : BERNIE MONTAÑA, CE

Re : BEAR CANYON SENIOR CENTER

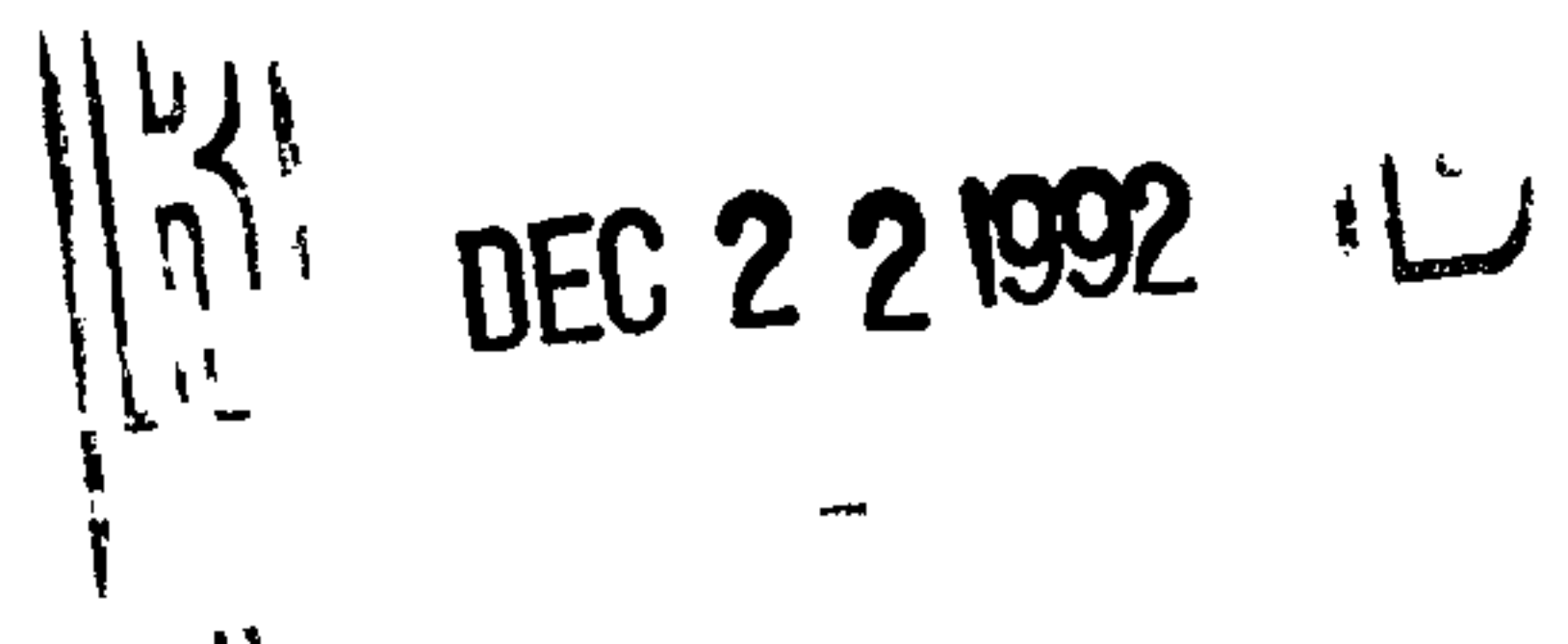
Our Project No. : _____

WE TRANSMIT THE FOLLOWING :

- | | | |
|--|---|---|
| ☐ SHOP DRAWINGS | ☐ SPECIFICATIONS | ☐ CHANGE ORDER |
| ☒ PRINTS | ☐ COPY OF LETTER | ☐ UNDER SEPARATE COVER VIA _____ |
| ☐ DOCUMENTS | ☐ DOCUMENTS | ☐ _____ |

FOR YOUR :

- | | |
|---|--|
| ☐ APPROVAL | ☐ DISTRIBUTION TO PARTIES |
| ☐ REVIEW & COMMENT | ☐ RECORD |
| ☒ USE | ☐ INFORMATION |



IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1	12/22	BLENDLINE PRINT AS REQUESTED,

Remarks : THIS PRINT SHOWS THE NEW CHAIN-LINK
FENCE AROUND PERIMETER OF POND, AND POND
LANDSCAPING AS REQUESTED. PLEASE CALL IF YOU
HAVE ANY QUESTIONS. THANK-YOU

Copy To : _____

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT



ENGINEERING GROUP

INTER-OFFICE CORRESPONDENCE

December 15, 1993

TO: Andre Houle, Construction Management Section

FROM: Bernie J. Montoya, Engineer Associate, PWD, Hydrology *Bm*

SUBJECT: SENIOR CENTER ADDITIONS @ NORTH VALLEY & BEAR CANYON SENIOR CENTERS
(G14-D4) & (F21-D45) RECEIVED 12/14/93 PROJECT NO. 4351.90.

Based on the information provided on your December 14, 1993 submittal,
Certification for the above referenced sites is acceptable.

File

DRAINAGE INFORMATION SHEET

G 141 04
F21/048

PROJECT TITLE: SENIOR CENTERS ADDITION ZONE ATLAS/DRNG. FILE #: G4 F21
DRB #: NA EPC #: NA WORK ORDER #: 4351.90
LEGAL DESCRIPTION: NORTH VALLEY & BEAR CANYON SENIOR CENTERS
CITY ADDRESS: 3825 4th ST NW & 4645 PITT ST. NE.
ENGINEERING FIRM: RESOURCE TECH CONTACT: EL VINO
ADDRESS: _____ PHONE: _____
OWNER: CITY OF ALBUQUERQUE CONTACT: KIM PERDUE
ADDRESS: SENIOR CENTER PHONE: _____
ARCHITECT: GAMELSKY-BENTON CONTACT: ISAAC BENTON
ADDRESS: 622 TIJEROS AVENUE NW. PHONE: 842-8865
SURVEYOR: CITY OF ALBU CONTACT: JAN FIALA
ADDRESS: _____ PHONE: _____
CONTRACTOR: COLE & SON GENERAL CONTRACTOR. CONTACT: MR. COLE
ADDRESS: P.O. BOX 10660 ALBU. NM 87114 PHONE: 898 8628

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

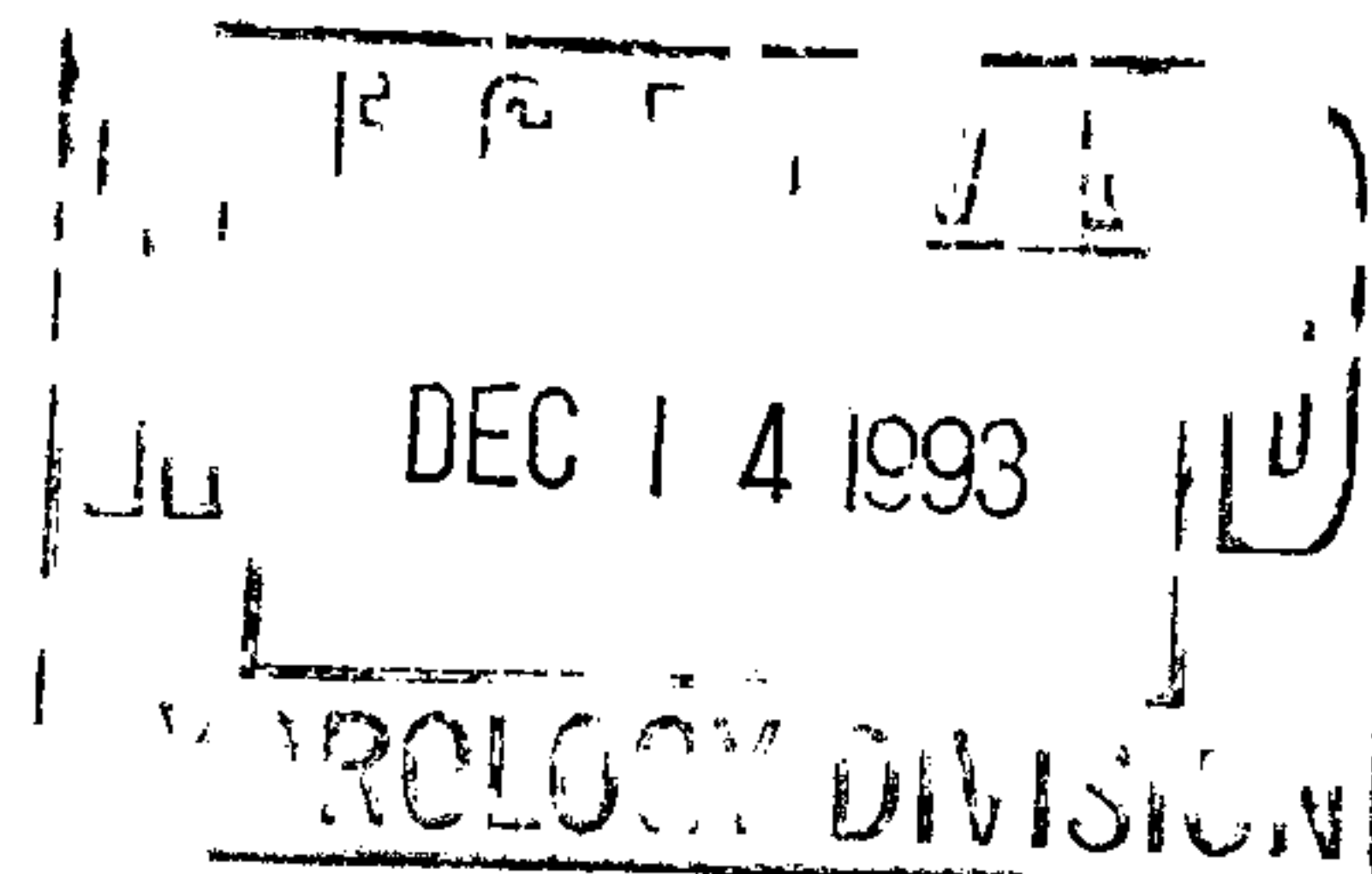
PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER Cert of Occupancy (SPECIFY)

DATE SUBMITTED: 12/10/93
BY: Anders



CITY OF ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO

December 13, 1993

INTEROFFICE CORRESPONDENCE

TO: Alan Martinez, Drainage Inspector

FROM: Andre Houle, Construction Management Section

SUBJECT: Senior Center Additions Project 4351.90

This memo is to serve as notice that the project has been completed in accordance with the Plans and Specifications. Attached are the as-built grades for the drainage facilities of these two additions. Your assistance in providing the necessary approvals to obtain the Certificate of Occupancy on these two projects is appreciated.

cc.

Russell Givler

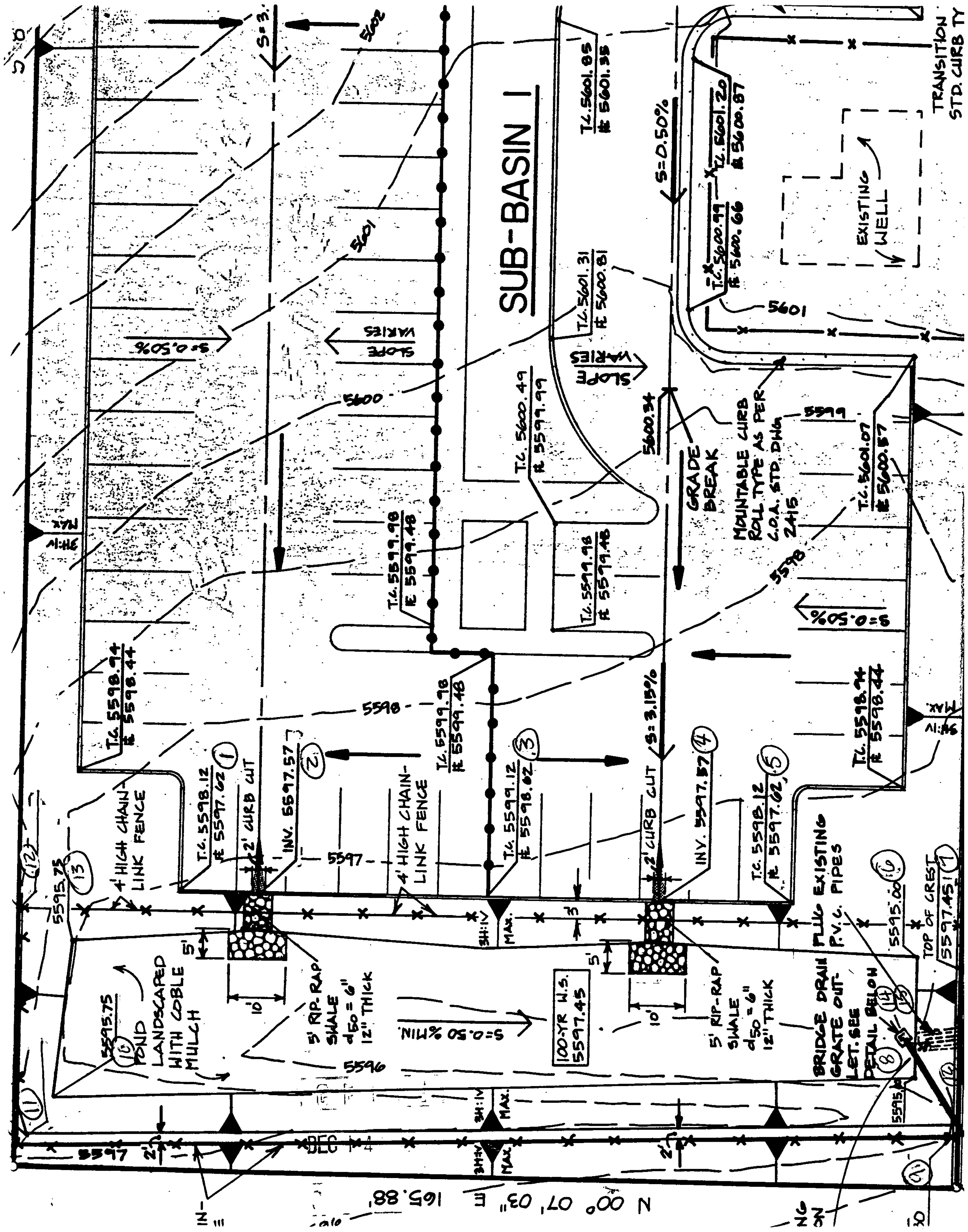
Kim Perdue, Department of Community Services

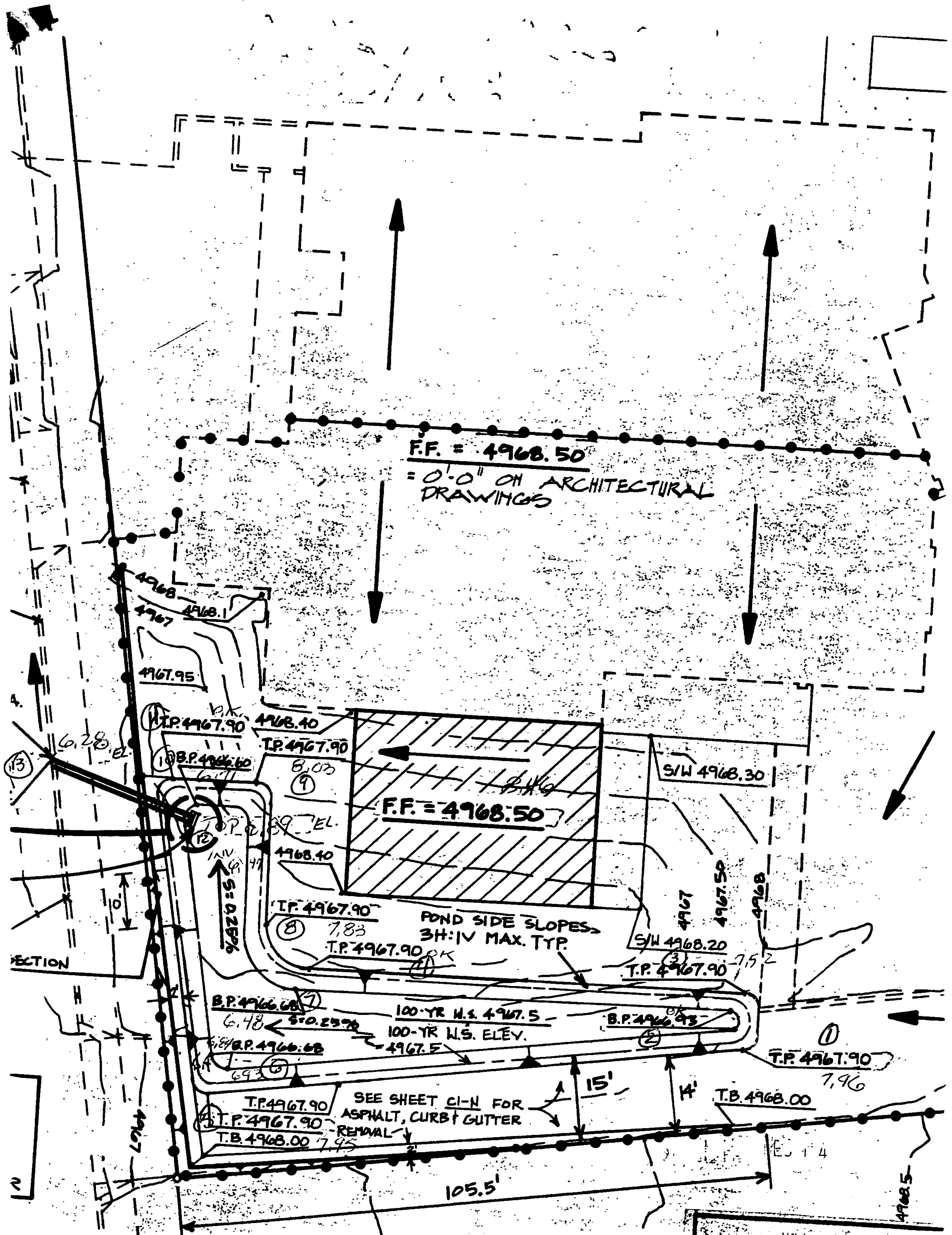
Isiac Benton Gamelsky Benton Architects

RECEIVED

DEC 13 1993

CEY/DA...





12-10-93
Proj. # 4351.90

North Valley Senior Center
As-built NW. Road.

P.C. J. Moncebauer
X D Schmitz

DEC 14

* Note: Lenker Rod.

STA.	Elev.
TBM	4967.55
①	67-96
②	66-93
③	67-52
④	67-90
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Remarks:

Veranda / 5 th
Top Pond (Grass)
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[illegible]

Remarks:
Top Conc. @ Grate.
Inv. 4" Pipes
Inv. 4" Pipes @ π North/South

12-10-93

Proj. 4351.90

Beas Canyon Senior Center

As-built @ Pond

PC, J. Manaballa

K D Schmitz

DEC 14 1993

* Note: Center Rod.

STA	ELV.
TBM	5607.38
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⑦	5598.29
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⑪	5598.00

Remarks:

TG # 3
Top Asphalt
@ Curb Cut Top Asphalt
@ High Point Top Asphalt
@ Curb Cut Top Asphalt
Top Asphalt
Bottom Pond (Dirt)
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Top Pond

Remarks:

Top Pond

Bottom
Party

Top Conc. @ Gate

② 77 Pond.

ち
う

* Note Center 200

574

②



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187.4655

Q



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 6, 1993

Elvidio Diniz.
Resource Technology Inc.
2129 Osuna NE Suite 200
Albuquerque, NM 87113

RE: REVISED DRAINAGE PLAN FOR AN ADDITION AND RENOVATIONS TO THE BEAR
CANYON SENIOR-CENTER (F21-D45) REVISION DATED 11/17/92 & ADDITION
INFORMATION RECEIVED 12/16/92.

Dear Mr. Diniz:

Based on the information provided on your November 18, 1992 resubmittal, and additional information received December 16, 1992, the above referenced site is approved for Building Permit and Work Order.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, Engineer Certification per the D.P. M. checklist will be required prior to Certificate of Occupancy release.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

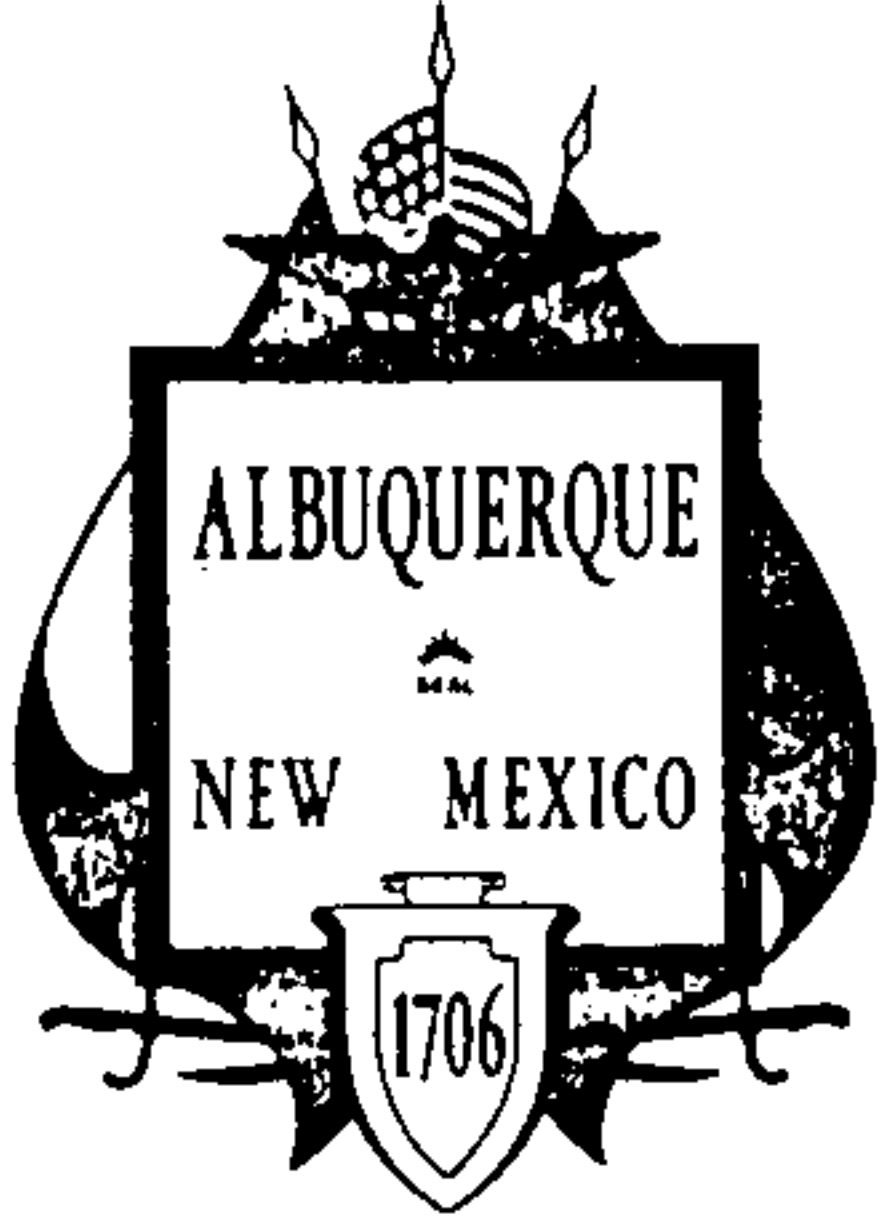
Bernie J. Montoya, CE
Engineering Assistant

BJM/d1/WPHYD/7423

xc: Alan Martinez

File

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 14, 1992

Elvidio Diniz
Resource Technology Inc.
2129 Osuna NE Suite 200
Albuquerque, New Mexico 87113

RE; DRAINAGE PLAN FOR AN ADDITION AND RENOVATIONS TO BEAR CANYON SENIOR CENTER (F-21/D45) ENGINEER'S STAMP DATED AUGUST 26, 1992

Dear Mr. Diniz:

Based on the information provided on your August 27, 1992 submittal, listed you will find some concerns that will need to be addressed prior to final approval:

1. I will need a copy of the filed easement granted by the Lincoln apartments to the City for conveyance of storm water unto their property.
2. On my pre-design recap, I indicated that the files for both the Senior Center and Lincoln Apartments would aid you in analyzing the acceptable discharge from the proposed pond. Your submittal does not indicate your analysis.
3. You may need to analyze where the water from the proposed pond will eventually discharge to at the system within the apartment complex, and then determine if the inlet has sufficient capacity for its own runoff and the additional runoff from the proposed pond.
4. It may be easier to design the grades to allow for an inlet within the proposed parking lot, at a point where your fill and cuts will balance out. It is simpler to pond within the parking lot and provide an inlet that will connect to the existing system, then to have to analyze the downstream conditions and obtain an easement if one does not exist.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Assistant

BJM:jc

PUBLIC WORKS DEPARTMENT

DEC 1 1992
DIVISION

LEGAL DESCRIPTION
P. 1
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UNIFORM PROPERTY CODE
1-1-1991-200

MAP ADDED NUMBER
1-1-1991-200

F-21-Z

CITY OF ALBUQUERQUE
PLANNING DIVISION



85 54675

890
F-21-190

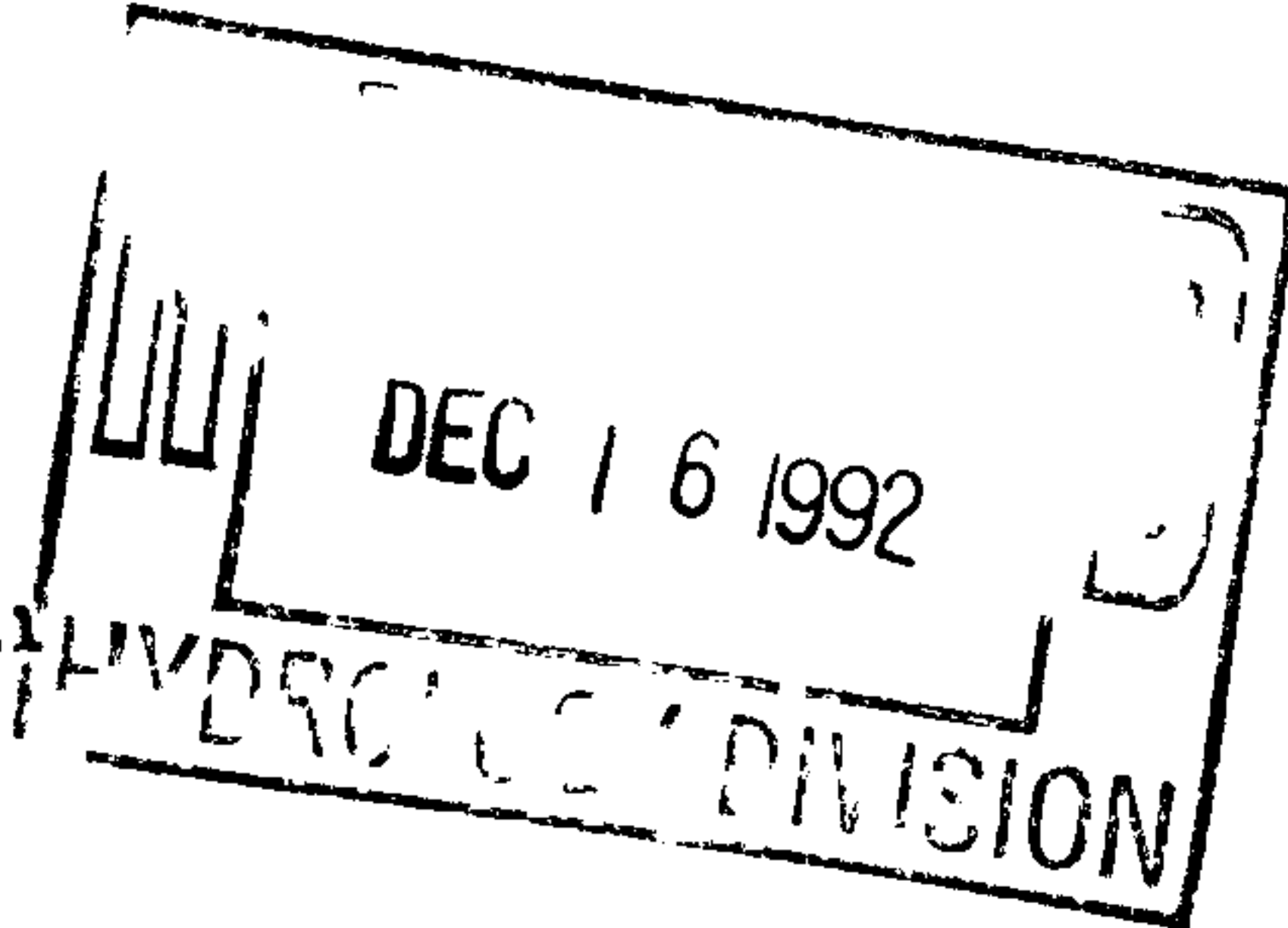
When recorded, return to:

DRAINAGE EASEMENT

GRANTOR: LINCOLN GREEN ALBUQUERQUE LIMITED PARTNERSHIP,
a New Mexico limited partnership

GRANTEE: THE CITY OF ALBUQUERQUE, NEW MEXICO a municipal
corporation

DATE: June 12, 1985



FOR VALUABLE CONSIDERATION, the receipt and sufficiency
of which is hereby acknowledged, Grantor and Grantee hereby agree
as follows:

1. Grant of Easement. Grantor hereby grants to
Grantee a non-exclusive easement for the purpose of drainage
of natural water flow from Grantee's adjacent real property over
and upon the real property described on Exhibit "A" attached
hereto and by this reference incorporated herein (the "Easement
Premises").
2. Restoration of Surface. In connection with the
drainage of water across the Easement Premises, Grantee shall
have the right, at Grantee's sole expense, to install a culvert
under the wall which separates Grantee's and Grantor's property
and which is located on the Easement Premises; provided, however,
Grantee shall, at Grantee's expense, promptly and in a good
and workmanlike manner, restore the surface of the Easement
Premises (other than the culvert) to the same condition as existed
prior to such work. After installation Grantee shall thereafter
maintain, repair and replace the culvert, as necessary, at Grantee's
sole expense and Grantee shall have the right to enter onto Grantor's
property in order to perform such duties.
3. Surface Use by Grantor. Grantor shall have the
right to use the surface of the Easement Premises for any purpose
not inconsistent with or which would interfere with the rights
granted herein.
4. Indemnification. Grantee agrees to indemnify and
hold Grantor harmless, within the limits of liability established
by the New Mexico Tort Claims Act, from and against each and every
loss, cost, damage and expense, including reasonable attorneys' fees,
arising out of or in connection with any accident or other occurrence
causing injury to or death of persons or damage to property by rea-
son of any construction or use or neglect of the Easement Premises
by Grantee, its agents, employees and contractors.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1985 JUL -8 PM 2:07
BK 246 PG 690-694
DOLORES C. WALLER
CLERK & RECORDER
[Signature]

5. Benefit. All provisions of this instrument, including the benefits and burdens, run with the land and are binding upon and shall inure to the benefit of the successors and assigns of the parties hereto.

6. Attorney's Fees. In the event of any action to enforce the provisions of this instrument, the prevailing party shall be entitled to receive its costs and attorneys' fees as determined by the court.

DATED the day and year first above written.

LINCOLN GREEN ALBUQUERQUE
LIMITED PARTNERSHIP, a New
Mexico limited partnership

By LINCOLN PROPERTY COMPANY
NO. 580 LIMITED PARTNERSHIP,
a New Mexico limited
partnership, General Partner

By Nicholas Keipert, Jr.
General Partner

"Grantor"

THE CITY OF ALBUQUERQUE,
NEW MEXICO, a municipal
corporation

By Boh V. Stora 7-3-85
its

"Grantee"

ATTEST

Coryn L. Linder
City Clerk

Approved As To Form:

Michael W. Karmy
Assistant City Attorney
[Signature]
City Attorney

STATE OF ARIZONA)
County of Maricopa) ss.

The foregoing instrument was acknowledged before me this 12th day of June, 1985 by Nicholas Keipert Jr., a general partner in Lincoln Property Company No. 580 Limited Partnership, a New Mexico limited partnership, as general partner in LINCOLN GREEN ALBUQUERQUE LIMITED PARTNERSHIP, a New Mexico limited partnership, on behalf of the limited partnership.

Marilyn Kay Seagle
Notary Public

My commission expires:

My Commission Expires Nov 24 1987

STATE OF New Mexico
County of Bernalillo

The foregoing instrument was acknowledged before me this 3rd day of July, 1985 by Bob U. Stover, the C.A.O. of THE CITY OF ALBUQUERQUE, NEW MEXICO, a municipal corporation, on behalf of the municipal corporation.

John L. Grant
Notary Public

My commission expires:

12/18/85

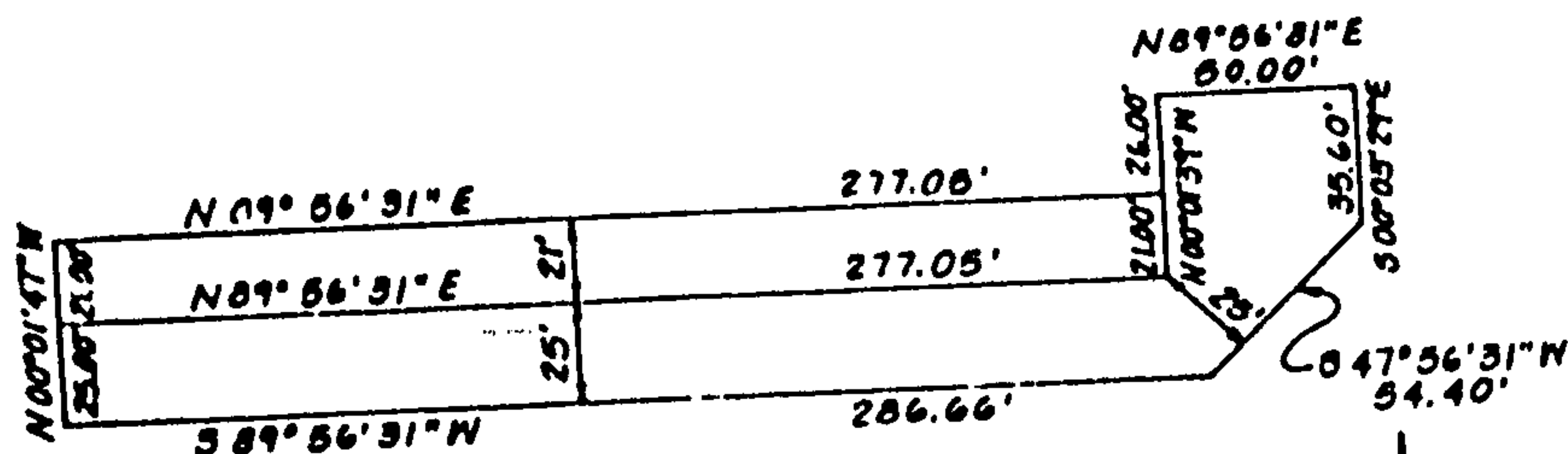
8 1 6 0 2 E

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EXHIBIT 'A'

693

EUBANK BLVD. N.E.



PARCEL "A"
LINCOLN GREEN APARTMENTS
FILED: JAN. 24, 1984
(C23-24)

SCALE: 1" = 60'

DESCRIPTION

A certain Tract of land situate within the southwest 1/4 of Section 33, T11N. R4E. N.M.P.M., County of Bernalillo, City of Albuquerque, New Mexico, said tract being a northwesterly portion of Parcel "A", LINCOLN GREEN APARTMENTS, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on Jan. 24, 1984, and more particularly described by plat bearings and ground distances as follows:

BEGINNING at the northwest corner of the tract herein described, said corner being a point on the westerly boundary of said Parcel "A" and also being a point on the easterly right-of-way of Eubank Boulevard, NE. whence the Northwest corner of said Parcel "A" bears N 00° 01' 47" W, 21.00 feet; thence,

N 89° 56' 31" E,	277.05 feet to a point; thence,
N 00° 01' 39" W,	21.00 feet to a point on the northerly boundary
of said Parcel "A"; thence,	
N 00° 01' 39" W,	26.00 feet along said northerly boundary to
a point; thence,	
N 89° 56' 31" E,	50.00 feet along said northerly boundary to
a point; thence,	
S 00° 03' 29" E,	35.60 feet to a point; thence,
S 47° 56' 31" W,	54.40 feet to a point; thence,
S 89° 56' 31" W,	286.65 feet to a point on the westerly boundary
of said Parcel "A", also being a point on the easterly right-of-way of	
Eubank Boulevard NE.; thence,	
N 00° 01' 47" W,	25.00 feet along said westerly boundary of
Parcel "A" and easterly right-of-way of Eubank Boulevard NE to the	
Point of Beginning.	

Tract contain 0.2248 Acres, more or less.

094

AREA

FAC. N.E. HEIGHTS

FF 5598.0

COURT YARD

FF 5598.0

FF 5591.0

COURTS

DECK AREA

AREA

Note: The proposed areas for
the Apartment Site provide at least
35' cover above existing collector
12' collector line & storm sewer lines

Proposed curb & gutter
to serve as overflow

12' E.C.P. WITH L.C. LINE

See Appendix A for Detail of Line

Install type D.C. in
area of site & etc.

SCULPTURE

When recorded, return to:

CONSENT TO
DRAINAGE EASEMENT

GRANTOR: LINCOLN GREEN ALBUQUERQUE LIMITED PARTNERSHIP,
a New Mexico limited partnership

GRANTEE: THE CITY OF ALBUQUERQUE, NEW MEXICO, a municipal
corporation

DATE: April 11, 1985

FOR VALUABLE CONSIDERATION, the receipt and sufficiency
of which is hereby acknowledged, Grantor and Grantee hereby agree
as follows:

1. Grant of Easement. Grantor hereby grants to
Grantee a non-exclusive easement for the purpose of drainage
of natural water flow from Grantee's adjacent real property over
and upon the real property described on Exhibit "A" attached
hereto and by this reference incorporated herein (the "Easement
Premises").

2. Restoration of Surface. In connection with the
drainage of water across the Easement Premises, Grantee shall
have the right, at Grantee's sole expense, to install a culvert
under the wall which separates Grantee's and Grantor's property
and which is located on the Easement Premises; provided, however,
Grantee shall, at Grantee's expense, promptly and in a good
and workmanlike manner, restore the surface of the Easement
Premises (other than the culvert) to the same condition as existed
prior to such work. After installation Grantee shall thereafter
maintain, repair and replace the culvert, as necessary, at Grantee's
sole expense and Grantee shall have the right to enter onto Grantor's
property in order to perform such duties.

3. Surface Use by Grantor. Grantor shall have the
right to use the surface of the Easement Premises for any purpose
not inconsistent with or which would interfere with the rights
granted herein.

4. Indemnification. Grantee agrees to indemnify and
hold Grantor harmless, within the limits of liability established
by the New Mexico Tort Claims Act, from and against each and every
loss, cost, damage and expense, including reasonable attorneys' fees,
arising out of or in connection with any accident or other occurrence
causing injury to or death of persons or damage to property by rea-
son of any construction or use or neglect of the Easement Premises
by Grantee, its agents, employees and contractors.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1985 JUL -8 PM 2:17

DOLores C. WATKINS
CLERK & RECORDER

DEC 16 1982

5. Benefit. All provisions of this instrument, including the benefits and burdens, run with the land and are binding upon and shall inure to the benefit of the successors and assigns of the parties hereto.

6. Attorneys' Fees. In the event of any action to enforce the provisions of this instrument, the prevailing party shall be entitled to receive its costs and attorneys' fees as determined by the court.

DATED the day and year first above written.

FIRST FEDERAL SAVINGS OF ARKANSAS F. A.

By: Dolores Walker
Its: Vice President

STATE OF Arkansas) ss.
COUNTY OF Pulaski)

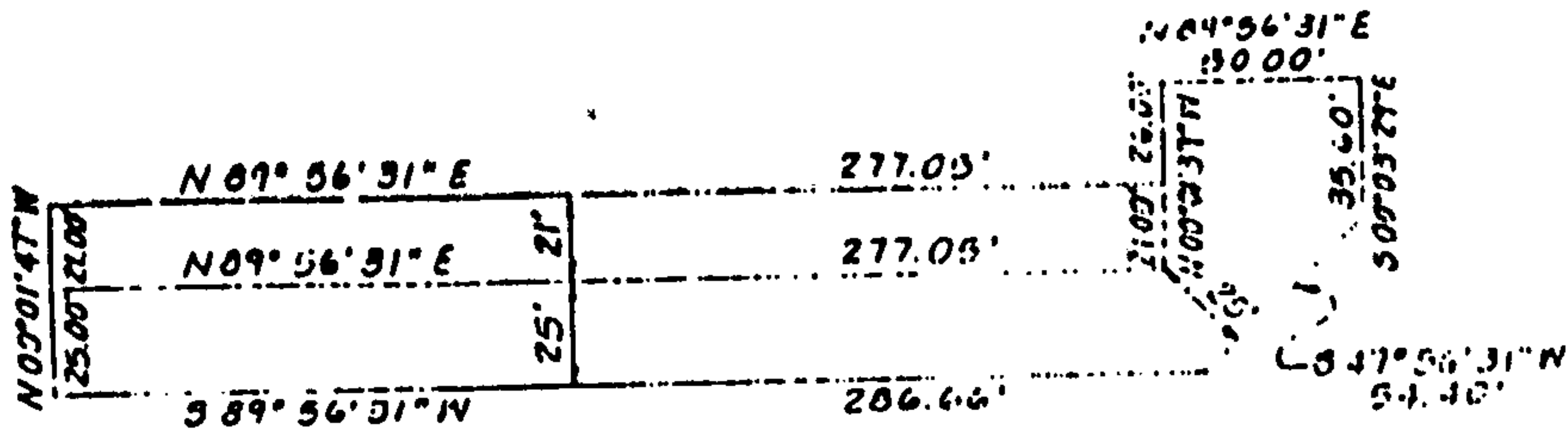
The foregoing instrument was acknowledged before me this 11th day of April, 1985 by Dolores Walker,
Vice President of FIRST FEDERAL SAVINGS OF ARKANSAS F. A.
(title)
on behalf of said Corporation.

Mary Lee Frank
Notary Public

My commission expires:

June 27, 1989

EUBANK BLVD. N.E.



PARCEL "A"
LINCOLN GREEN APARTMENTS
FILED: JAN. 24, 1984
(C23-24)

SCALE: 1"=40'

DESCRIPTION

A certain Tract of land situate within the southwest 1/4 of Section 33, T11N. R4E. H.M.P.M., County of Bernalillo, City of Albuquerque, New Mexico, said tract being a northwesterly portion of Parcel "A", LINCOLN GREEN APARTMENTS, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on Jan. 24, 1984, and more particularly described by plat bearings and ground distances as follows:

BEGINNING at the northwest corner of the tract herein described, said corner being a point on the westerly boundary of said Parcel "A" and also being a point on the easterly right-of-way of Eubank Boulevard, NE. thence the Northwest corner of said Parcel "A" bears N 00° 01' 47" W, 21.00 feet; thence,

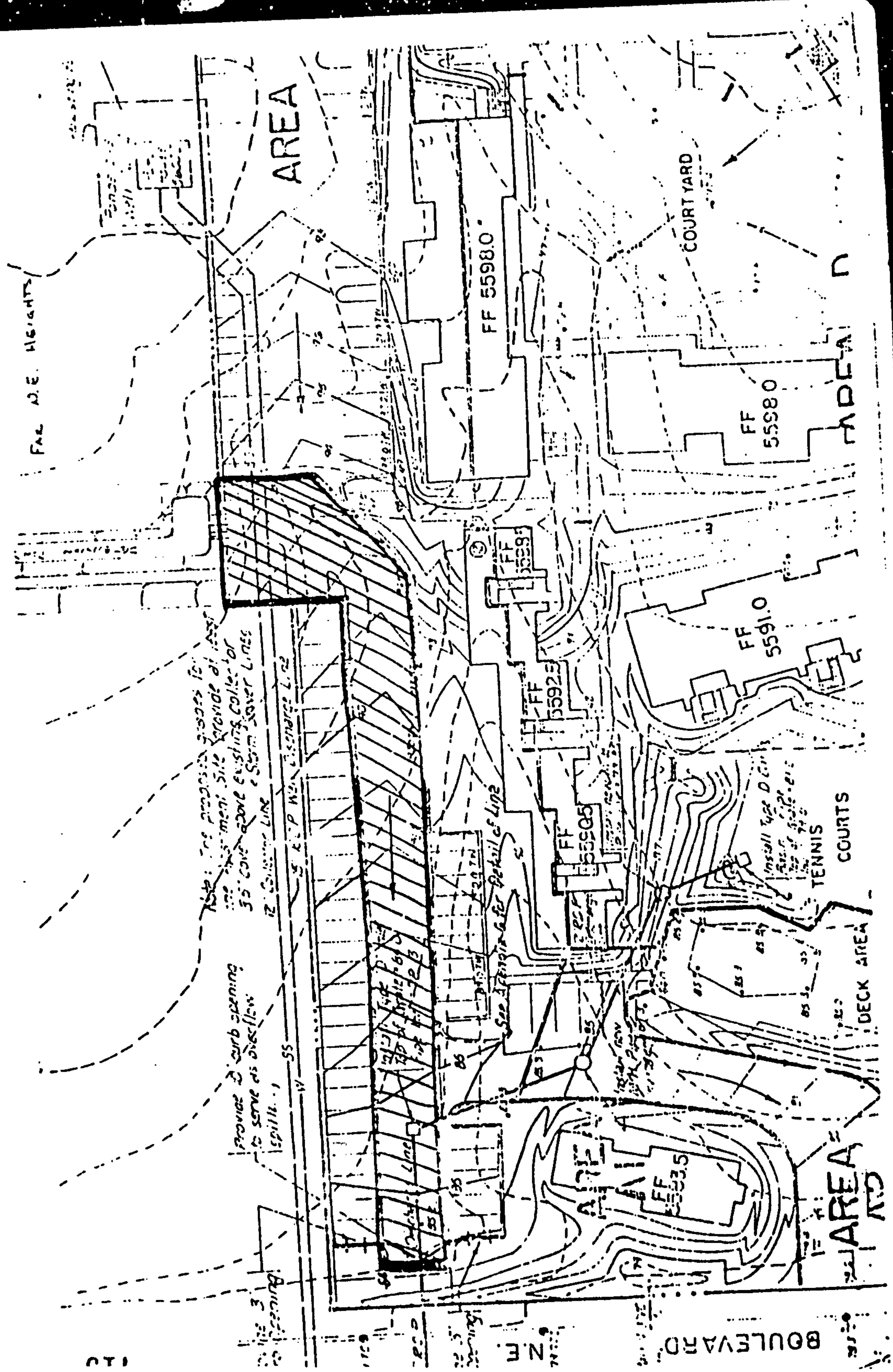
N 89° 56' 31" E,	277.05 feet to a point; thence,
N 00° 01' 39" W,	21.00 feet to a point on the northerly boundary of said Parcel "A"; thence,
N 00° 01' 39" W,	26.00 feet along said northerly boundary to a point; thence,
N 89° 56' 31" E,	50.00 feet along said northerly boundary to a point; thence,
S 00° 03' 29" E,	35.60 feet to a point; thence,
S 47° 56' 31" W,	54.40 feet to a point; thence,
S 89° 56' 31" W,	206.66 feet to a point on the westerly boundary of said Parcel "A", also being a point on the easterly right-of-way of Eubank Boulevard NE.; thence,
N 00° 01' 47" W,	25.00 feet along said westerly boundary of Parcel "A" and easterly right-of-way of Eubank Boulevard NE to the Point of Beginning.

Tract contain 0.2248 Acres, more or less.

E 2 6 0 2 E

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6 1 2 3 4 5 6 7 8 9 10 11 12



TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : C.O.A. - HYDROLOGY

From : GREG CLARKE

Date : 12/16/92

Attn : BERNIE MONTAÑA, C.E.

Re : BEAR CANYON SENIOR CENTER

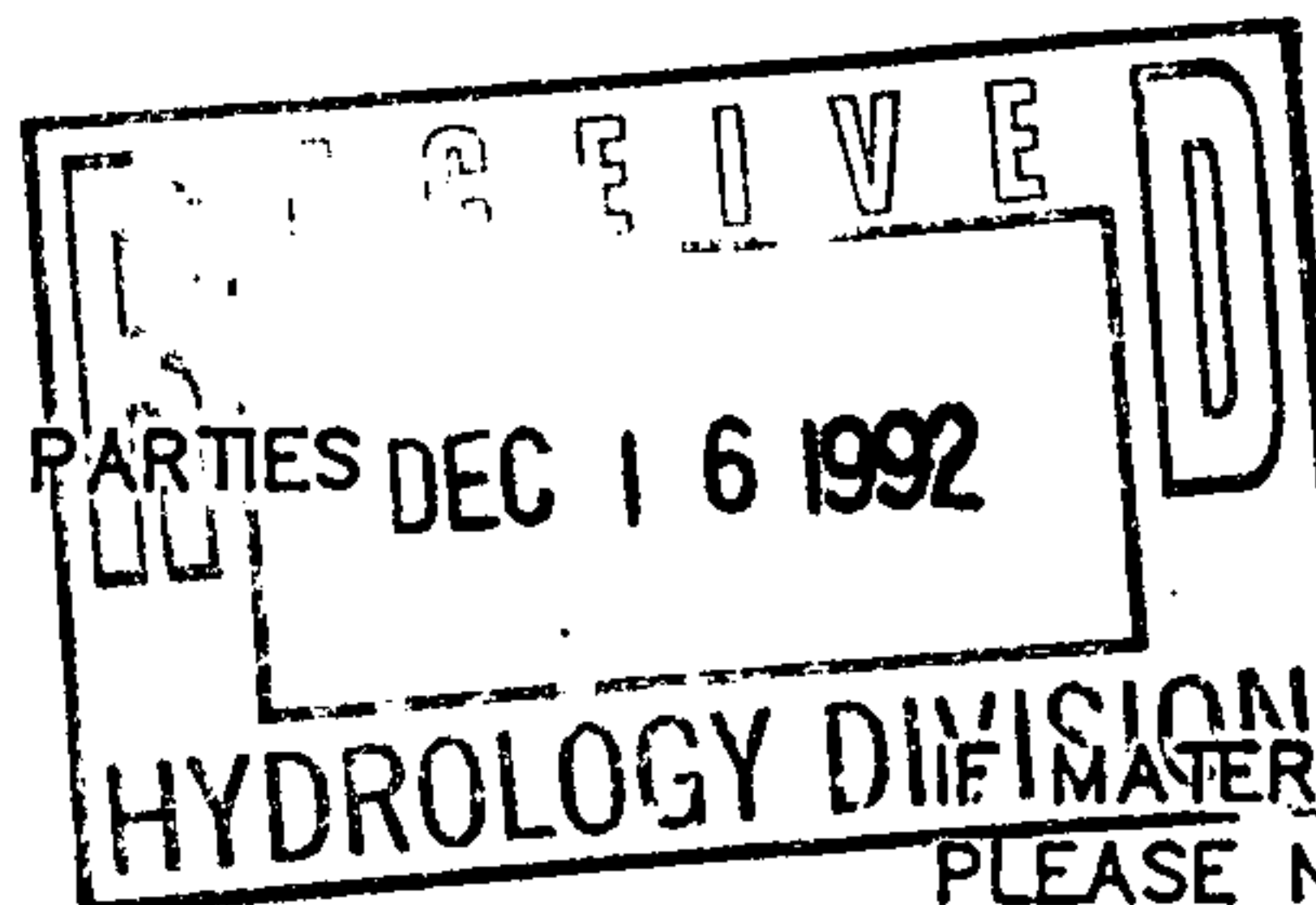
Our Project No. : F21/D45

WE TRANSMIT THE FOLLOWING :

- | | | |
|---|---|---|
| ☐ SHOP DRAWINGS | ☐ SPECIFICATIONS | ☐ CHANGE ORDER |
| ☐ PRINTS | ☐ COPY OF LETTER | ☐ UNDER SEPARATE COVER VIA _____ |
| ☒ DOCUMENTS | ☐ DOCUMENTS | ☐ _____ |

FOR YOUR :

- | | |
|---|--|
| ☐ APPROVAL | ☐ DISTRIBUTION TO PARTIES |
| ☐ REVIEW & COMMENT | ☐ RECORD |
| ☒ USE | ☐ INFORMATION |



MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1		COPY OF DRAINAGE EASEMENT AS REQUESTED FOR LINCOLN GREEN APARTMENTS

Remarks : HERE IS A COPY OF DISCHARGE EASEMENT
AS REQUESTED. IF YOU HAVE ANY QUESTIONS PLEASE
CALL ME. THANK-YOU.

Copy To : _____

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: F-21-D45 DATE: 5/21/92 @ 9:30 A.M.

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: _____

STREET ADDRESS: betw Eubank & Pitt Street, North of Montgomery

LEGAL DESCRIPTION: Far Northeast Heights Senior Center
Tract C-A

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN X BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

ATTENDANCE:

WHO	REPRESENTING
<u>Greg Clark 345-3115</u>	<u>Resource Technology Inc.</u>
<u>Bernie Montoya</u>	<u>Hydrology Dev Section</u>

FINDINGS:

1. Site is not located within a designated floodzone.
2. Update original plan (F21-D45) to reflect the addition.
3. Existing 54" R.C.P. & 18" R.C.P. within the site.
4. If Addition is going to be placed over existing ponding area, revisions for release onto the Lincoln property must be redesigned. Drainage report F21-D45 will assist you in determining the release rate allowed.
5. New inlet may be placed within new parking area to tie into the existing manhole.

NOV 18

DISCLOSED

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Greg C. Clarke SIGNED: Bernie Montoya
TITLE: _____ TITLE: Engineering Assistant
DATE: 5/21/92 DATE: 5/21/92

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

DRAINAGE INFORMATION SHEET
ADDITIONS AND RENOVATIONS

PROJECT TITLE: TO BEAR CANYON SENIOR CENTER ZONE ATLAS/DRAINAGE FILE # F-21-2/045

LEGAL DESCRIPTION: FAR NORTHEAST HEIGHTS SENIOR CENTER - TRACT CA

CITY ADDRESS: NONE PROVIDED

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC. CONTACT: GREG CLARKE

ADDRESS: 2129 OSUNA RD. SUITE 200 PHONE: 345-8115

OWNER: OFFICE OF SENIOR AFFAIRS - C.O.A. CONTACT: NONE PROVIDED

ADDRESS: 714 7TH STREET S.W. PHONE: NONE PROVIDED

ARCHITECT: GAMELSKY BENTON ARCHITECTS, P.C. CONTACT: IKE BENTON

ADDRESS: 622 TIJERAS AVE. N.W. PHONE: 842-8865

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRB. NO. _____

EPC NO. _____

PROJECT NO. (F-21/045)

AUG. - 26 - 1992

NOV 18 1992
PROLOGY DIVISIO

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT

☐ SECTOR PLAN APPROVAL

☒ DRAINAGE PLAN

☐ SKETCH PLAT APPROVAL

☐ CONCEPTUAL GRADING & DRAIN PLAN

☐ PRELIMINARY PLAT APPROVAL

☒ GRADING PLAN

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ EROSION CONTROL PLAN

☐ FINAL PLAT APPROVAL

☐ ENGINEER'S CERTIFICATION

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

DATE SUBMITTED: 11/18/92

☐ GRADING/PAVING PERMIT APPROVAL

BY: Greg Clarke

☐ OTHER _____ (SPECIFY)

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : C.O.A. - HYDROLOGY

From : GREG CLARKE

Date : 11/10/92

Attn : BERNIE J. MONTANO, C.E.

Our Project No. : 92-1608

Re : BEAR CANYON SENIOR CENTER

WE TRANSMIT THE FOLLOWING :

- | | | |
|--|---|---|
| ☐ SHOP DRAWINGS | ☐ SPECIFICATIONS | ☐ CHANGE ORDER |
| ☒ PRINTS | ☐ COPY OF LETTER | ☐ UNDER SEPARATE COVER VIA _____ |
| ☐ DOCUMENTS | ☐ DOCUMENTS | ☐ _____ |

FOR YOUR :

- | | |
|--|--|
| ☒ APPROVAL | ☐ DISTRIBUTION TO PARTIES |
| ☐ REVIEW & COMMENT | ☐ RECORD |
| ☐ USE | ☐ INFORMATION |

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1	11/17	BULELINE PRINT OF REVISED GRADING AND DRAINAGE PLAN. (COMMENTS DONE)
1	11/18	DRAINAGE INFORMATION SHEET
1	5/21	COPY OF PRE-DESIGN CONFERENCE

Remarks : _____

Copy To : _____

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : C.O.A. - HYDROLOGY

From : GREG CLARKE

Date : 11/12/92

Attn : BERNIE J. MONTONA

Re : NORTH VALLEY SENIOR CENTER

Our Project No. : _____

WE TRANSMIT THE FOLLOWING :

☐ SHOP DRAWINGS

☐ SPECIFICATIONS

☐ CHANGE ORDER

☒ PRINTS

☐ COPY OF LETTER

☐ UNDER SEPARATE COVER VIA _____

☐ DOCUMENTS

☐ DOCUMENTS

☐ _____

FOR YOUR :

☐ APPROVAL

☐ DISTRIBUTION TO PARTIES

☐ REVIEW & COMMENT

☐ RECORD

☒ USE

☐ INFORMATION

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1	11/4	BUELINE PRINT AS REQUESTED
		RECEIVED
		11/31
		1001
		1001
		1001

Remarks : _____

Copy To : _____

DRAINAGE INFORMATION SHEET

ADDITIONS AND RENOVATIONS

PROJECT TITLE: TO BEAR CANYON SENIOR CENTER ZONE ATLAS/DRAINAGE FILE # F-21-2/D45

LEGAL DESCRIPTION: FAR NORTHEAST HEIGHTS SENIOR CENTER - TRACT CA

CITY ADDRESS: _____

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC. CONTACT: GREG WADDE

ADDRESS: 2129 OSUNA RD. SUITE 200 PHONE: 345-3115

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

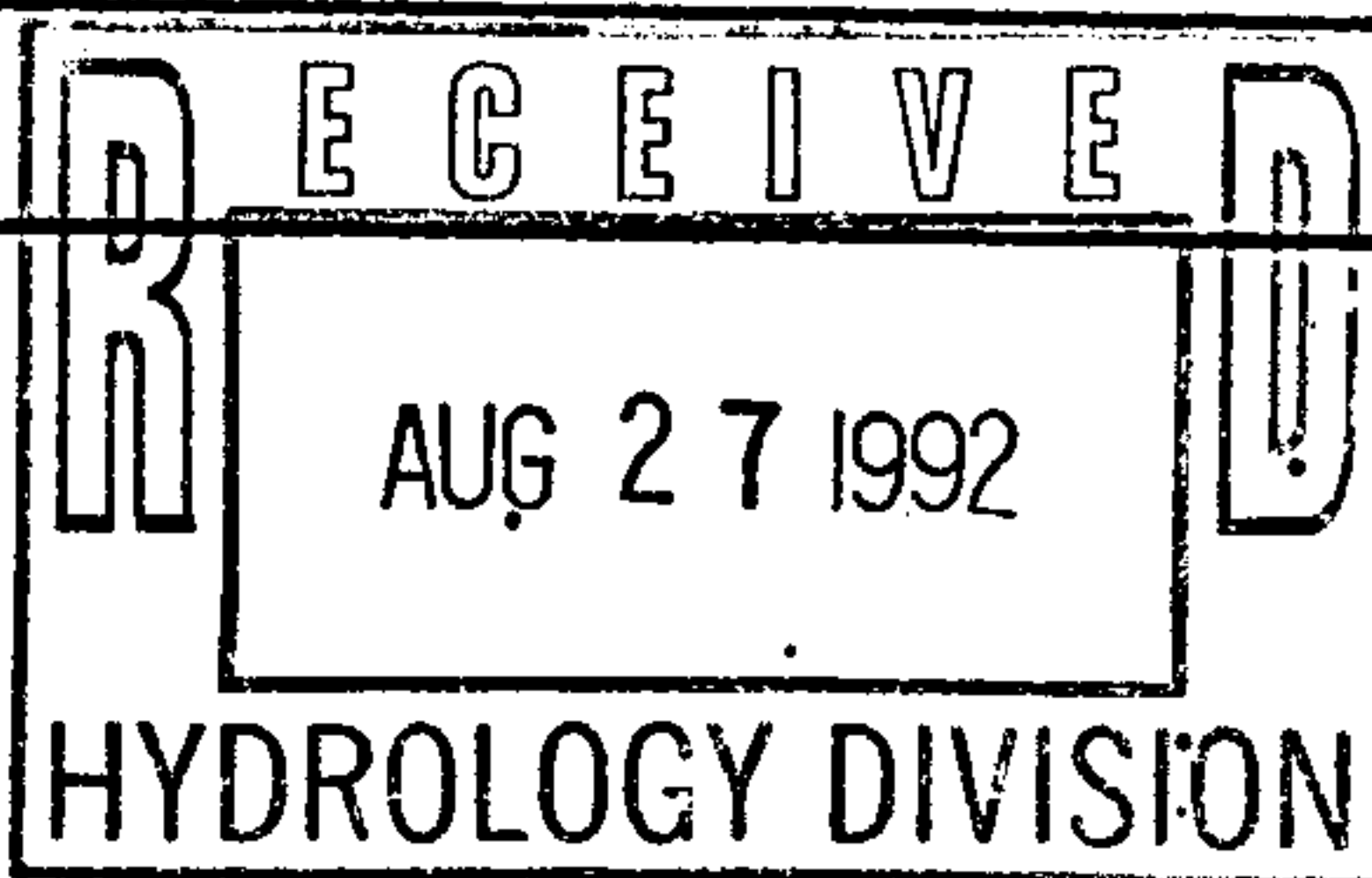
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED



DRB. NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

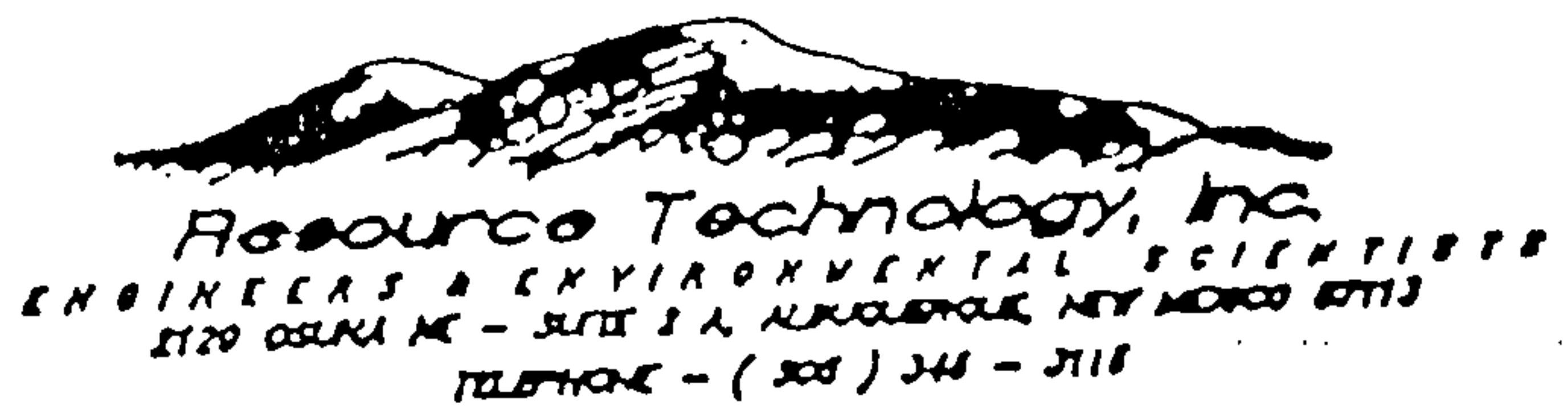
☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 8/27/92

BY: GREG C. WADDE

TRANSMITTAL



To: C.D.A. - HYDROLOGY

From: GREG CLARKE

Date: 8/27/92

Our Project No. 92-160 B

Attn: BERNIE MONTAÑA

Re: BEAR CANYON SENIOR CENTER

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

WE ARE SENDING YOU

☐ ATTACHED

☐ TRACINGS

☐ SHOP DRAWINGS

☐ CATALOGS

☒ PRINTS

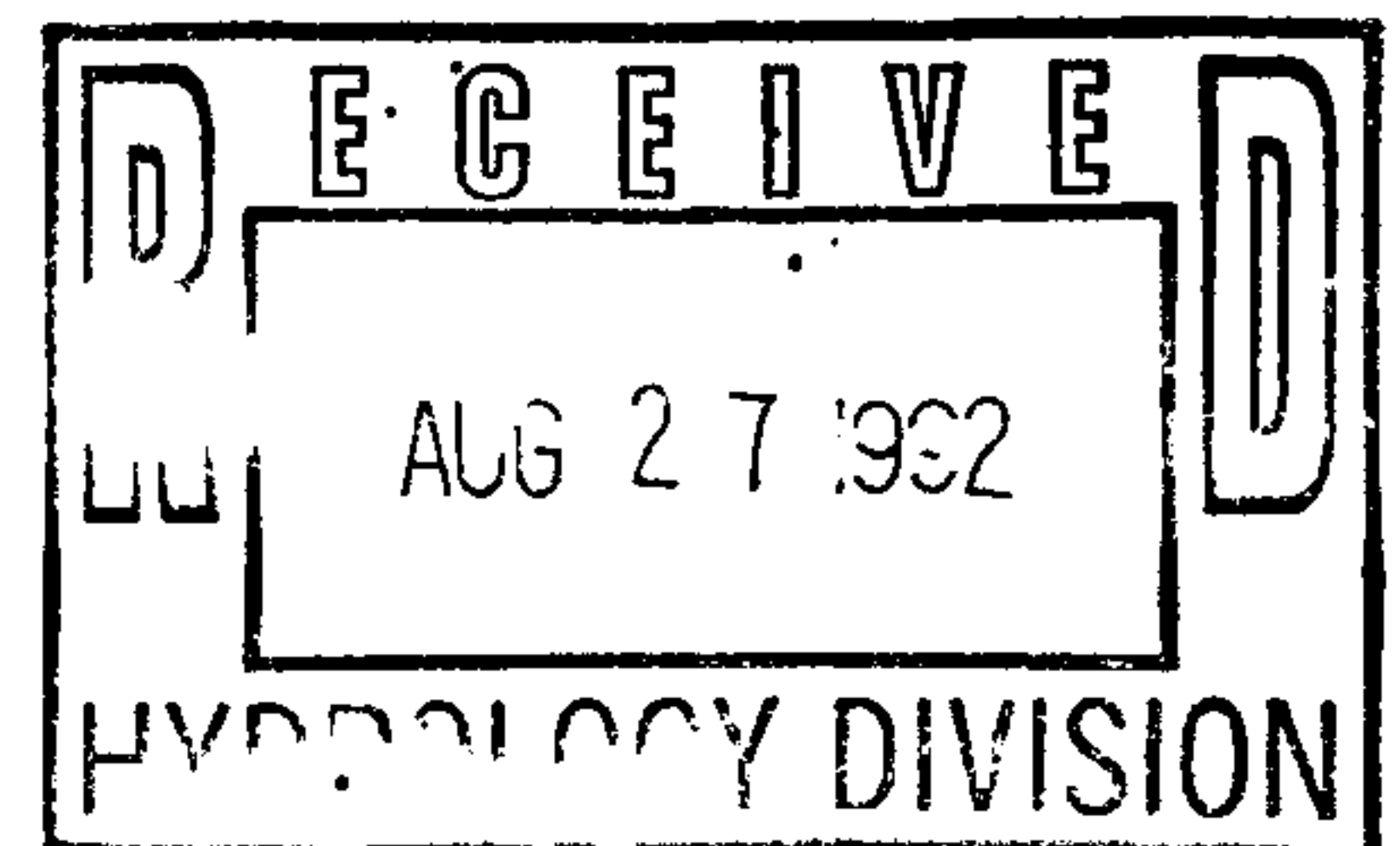
☐ COPY OF LETTER

☐ DOCUMENTS

☐ UNDER SEPARATE COVER VIA _____

☐ SPECIFICATIONS

☐ _____



COPIES	DATE	ITEM
1	8/26	BLUELINE COPY OF GRADING & DRAINAGE PLAN FOR YOUR APPROVAL
1		COPY OF PRE-DESIGN CONFERENCE
1		DRAINAGE INFORMATION SHEET

Remarks: _____

Copy To: _____

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

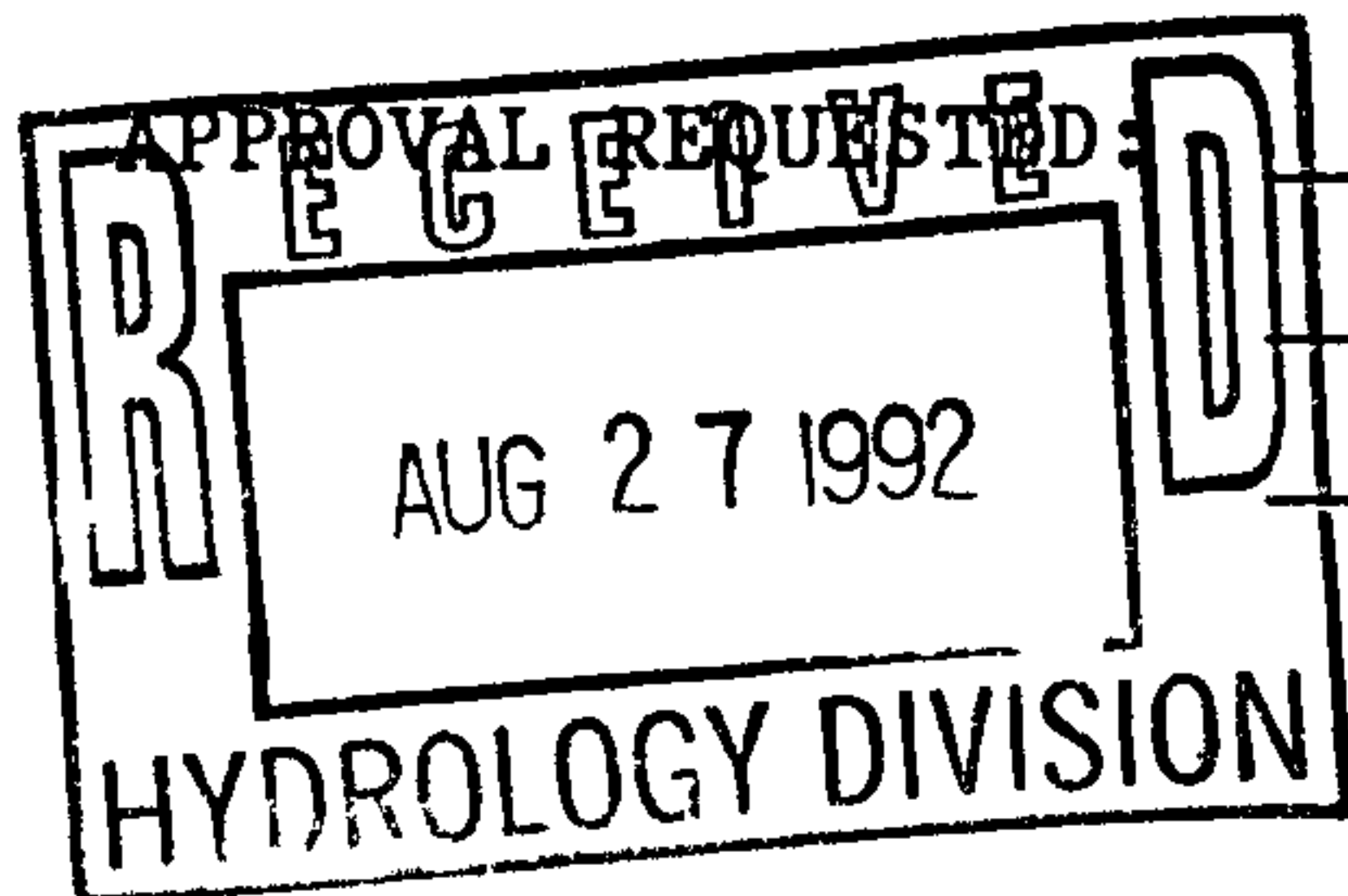
DRAINAGE FILE/ZONE ATLAS PAGE NO.: F-21-D45 DATE: 5/21/92 @ 9:30 A.M.

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: _____

STREET ADDRESS: betw Eubank & Pitt Street, North of Montgomery

LEGAL DESCRIPTION: Far Northeast Heights Senior Center
Tract C-A



PRELIMINARY PLAT _____

FINAL PLAT _____

SITE DEVELOPMENT PLAN ☒

BUILDING PERMIT _____

GRADING/PAVING PERMIT _____

OTHER _____

ATTENDANCE: WHO
Greg Clark 345-3115
Bernie Montoya

REPRESENTING
Resource Technology Inc.
Hydrology Dev Section

FINDINGS:

1. Site is not located within a designated floodzone.
2. Update original plan (F21-D45) to reflect the addition.
3. Existing 54" R.C.P. & 18" R.C.P. within the site.
4. If Addition is going to be placed over existing ponding area, revisions for release onto the Lincoln property must be redesigned. Drainage report F21-D45 will assist you in determining the release rate allowed.
5. New inlet may be placed within new parking area to tie into the existing manhole.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Greg C. Clark
TITLE: _____
DATE: 5/21/92

SIGNED: Bernie Montoya
TITLE: Engineering Assistant
DATE: 5/21/92

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.