

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, NE ALBUQUERQUE, NM 87109-4355
TEL (505) 823-1000 FAX (505) 821-0892

March 3, 1997

Lisa Ann Manwill, P.E.
City of Albuquerque
Hydrology Division/PWD
P.O. Box 1293
Albuquerque, NM 87102

Re: Resubmittal of Grading and Drainage Plan, RHS Office Building - Lot 22B, Lands of
Ferrari, Esquibel and Palmer, Formerly Approved on February 4, 1997

Dear Lisa:

Due to modifications required as a result of DRB review, the subject grading and drainage plan has been modified. Although these modifications do not effect the grading and drainage concept and calculations, Mr. Fred Aguirre requested that a modified plan be forwarded to you for review. Assuming all is in order, please provide us with a new approval letter and rough grading approval signature.

Do not hesitate to contact James Topmiller or me with any comments or questions.

Sincerely,

Paul M. Wymer, AIA
Project Manager
Community Development
and Planning Group

PMW/hjh

cc: James Topmiller, BHI
Roger Smith Sr., Roger Smith Home Builders

M:\95346\A2441\manwill resubmit doc - 03/03/97

LARRY W HUSTON, C.P.
MICHAEL M EMERY, PE
BRIAN G BURNETT, PE

KERRY L DAVIS, PE
LARRY A LARRAÑAGA, PE
HOWARD C STONE, PE

PRINCIPALS

GEORGE RADNOVICH, R.L.A.
SILAS V SUAZO
JAMES R TOPMILLER, PE

WILLIAM L VREEKE, PE
GORDON A WALHOOD, JR., PE
MARY E CARTER



Public Works Department

March 11, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Paul Wymer, AIA
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**RE: ROGER SMITH PROPERTIES (F21-D62). UPDATED GRADING AND DRAINAGE
PLAN FOR FINAL PLAT AND BUILDING PERMIT. ENGINEER'S STAMP
DATED 3/3/97.**

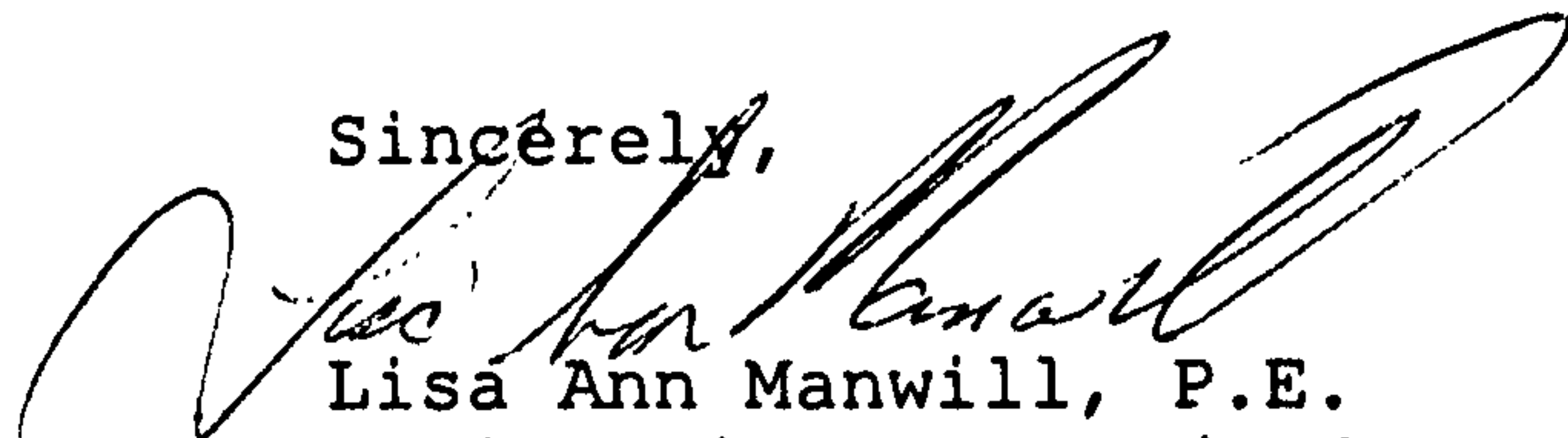
Dear Mr. Wymer:

Based on the updated information provided on your March 4, 1997
submittal, the above referenced project is approved for Final Plat
and Building Permit.

Prior to Certificate of Occupancy, an Engineer's Certification will
be required.

If I can be of further assistance, please feel free to contact me at
924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File.

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: RHS PROPERTIES OFFICE BLDG. ZONE ATLAS/DRNG. FILE #: F-21062
 DRB #: 97-7 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 22D, LANDS OF FERRARI, ESQUIBEL, & PALMER
 CITY ADDRESS: 4242 JUAN TABO

ENGINEERING FIRM: BOHANNAN HUSTON INC. CONTACT: PAUL WYMER
 ADDRESS: 7500 JEFFERSON ST., ALB, NM 87109 PHONE: 823-1000

OWNER: RHS PROPERTIES CONTACT: ROGER SMITH, SR.
 ADDRESS: 4101 MORRIS, ALB, NM, 87111 PHONE: 294-1525

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

SEE ATTACHED LETTER FOR FURTHER INFO.

DATE SUBMITTED: 3/4/97
 BY: _____

March 4, 1997

January 29, 1997

Mr. Bernie J. Montoya, C.E.
Hydrology Division, Public Works Department
City of Albuquerque
Albuquerque, NM 87103

Re: Drainage Plan Submittal for Roger Smith Properties, Lots 22B and 22C, Lands of
Ferrari, Esquibel and Palmer - An Office Building Development

Dear Bernie:

The purpose of this letter is to submit a drainage report, including a Grading and Site
Development Plan, for the above referenced project.

This submittal follows a previous BHI report, Roger Smith (F-21/D62), which establishes a
drainage scheme for fully developed site conditions discharging to a 24-inch pipe across Minato
Square. The previously accepted report also allowed for development of Lot 22A (a batting
cage).

We are requesting approval of the development plan for existing Lots 22B and 22C to be
developed as a single tract of land (Lot 22D). To maintain the previously developed maximum
allowable discharge, a detention pond is added to the site plan. Controlled discharge from the
detention pond couples with runoff collected in designed parking swales to be a maximum of
2.03 cfs.

We are currently requesting site development plan approval and final plat approval at DRB for
the development and with this submittal, building permit approval for the development.

Please review this submittal at your earliest convenience. If I can provide additional information
or answer questions you have, please feel free to contact me.

Sincerely,

John R. Willow, E.I.
Community Development and Planning

JRW/hjh
Enclosure

cc: Paul Wymer, BHI
James Topmiller, BHI
Roger Smith Properties

\\MICKEY\SEC_CDP\95346\B2400\MONTOYA.DOC - 01/29/97

LARRY W HUSTON, C P
MICHAEL M EMERY, PE
BRIAN G BURNETT, PE

KERRY L DAVIS, PE
LARRY A LARRAÑAGA, PE
HOWARD C STONE, PE

PRINCIPALS

GEORGE RADNOVICH, R L A
SILAS V SUAZO
JAMES R TOPMILLER, PE

WILLIAM L VREEKE, PE
GORDON A WALHOOD, JR, PE
MARY E CARTER

BOHANNAN-HUSTON INC.

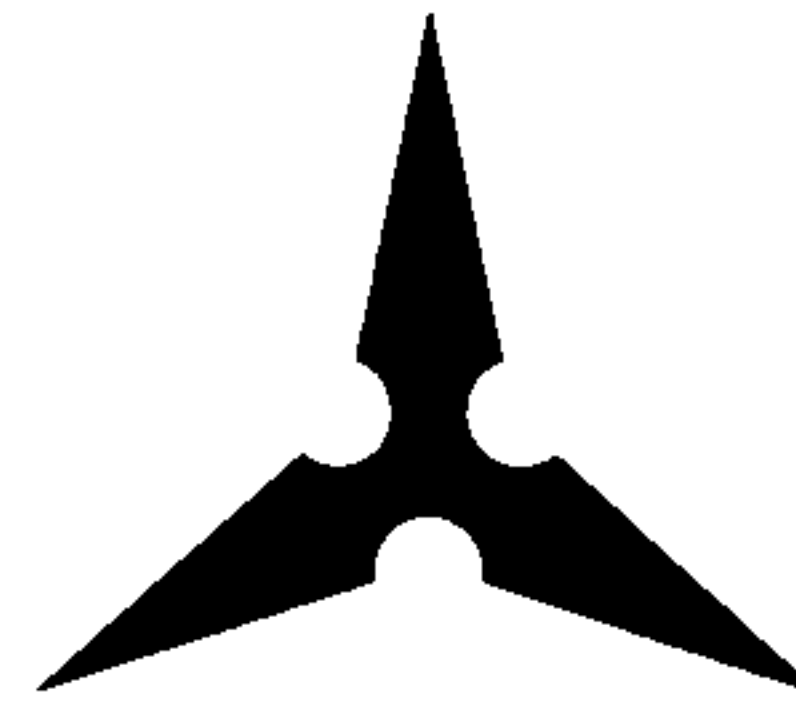


COURTYARD I, 7500 JEFFERSON STREET, NE ALBUQUERQUE, NM 87109-4355
TEL (505) 823-1000 FAX (505) 821-0892

BOHANNAN - HUSTON

INC.





**DRAINAGE REPORT
ROGER SMITH PROPERTIES
OFFICE BUILDING**

JANUARY 1997

**DRAINAGE REPORT
ROGER SMITH PROPERTIES
OFFICE BUILDING**

Prepared for:

**Roger Smith Properties
4101 Morris NE, Suite F
Albuquerque, NM 87111**



BOHANNAN-HUSTON INC.

ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS

COURTYARD I, 7500 JEFFERSON NE, ALBUQUERQUE, NM 87109 TEL (505) 823-1000 FAX (505) 821-0892

ALBUQUERQUE LAS CRUCES SANTA FE

**DRAINAGE REPORT OF THE
ROGER SMITH PROPERTIES, LOTS 22B AND 22C
LANDS OF FERRARI, ESQUIBEL AND PALMER
AN OFFICE BUILDING DEVELOPMENT**

JANUARY 1997

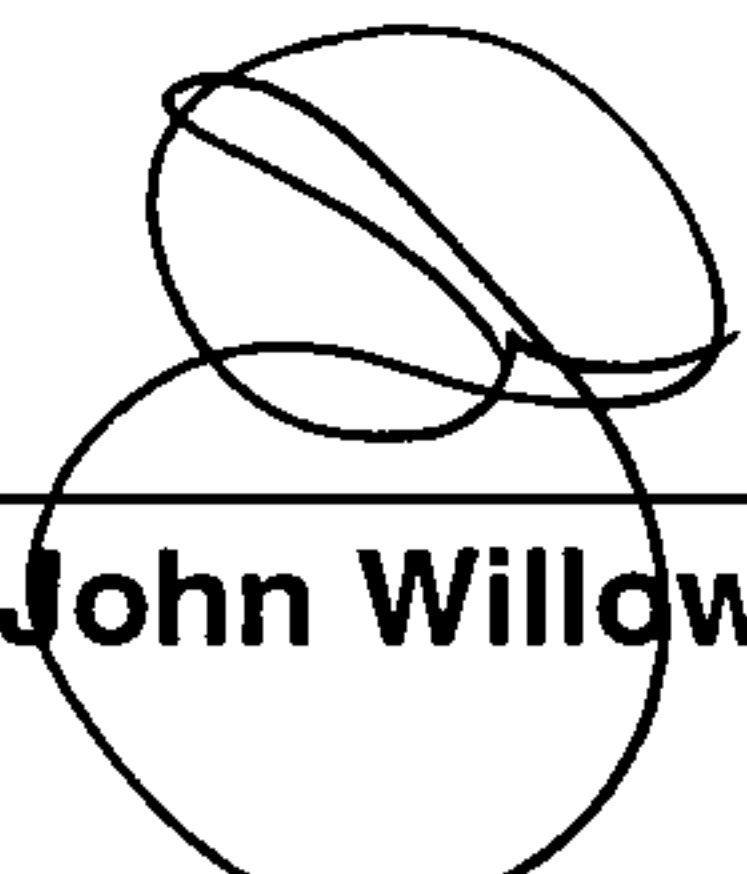
PREPARED BY:

**BOHANNAN-HUSTON INC.
COURTYARD I, 7500 JEFFERSON STREET N.E.
ALBUQUERQUE, NM 87109**

PREPARED FOR:

**ROGER SMITH PROPERTIES
4101 MORRIS NE, SUITE F
ALBUQUERQUE, NM 87111**

PREPARED BY:



John Willow

1/28/97

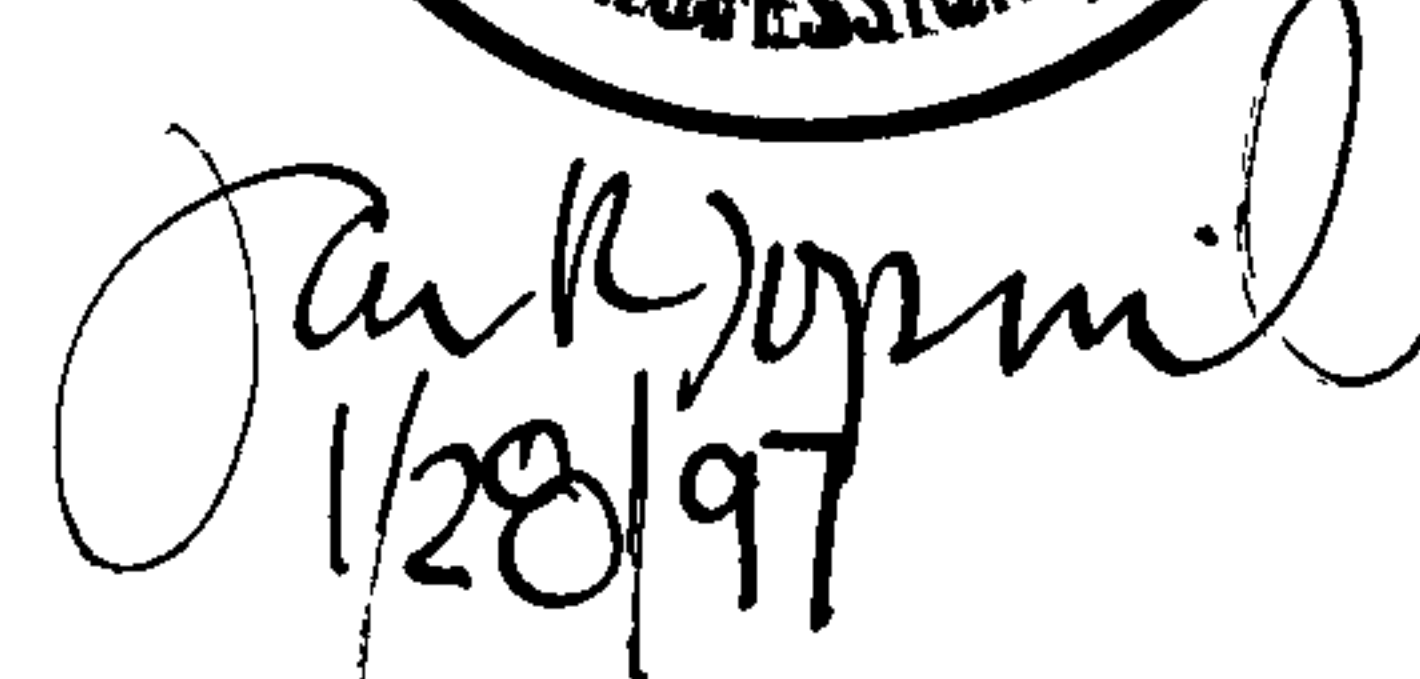
Date

UNDER THE SUPERVISION OF:



James E. Tompkins, P.E.

Date


1/28/97

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ROGER SMITH PROPERTIES ZONE ATLAS/DRNG. FILE # F-21-062
 DRB #: 97-7 EPC #: Z93-99 WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 22B and 22C, LANDS OF FERRARI, ESQUIBEL AND PALMER
 CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN HUSTON, INC.
 ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

CONTACT: JOHN WILLOW

PHONE: 823-1000

OWNER: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

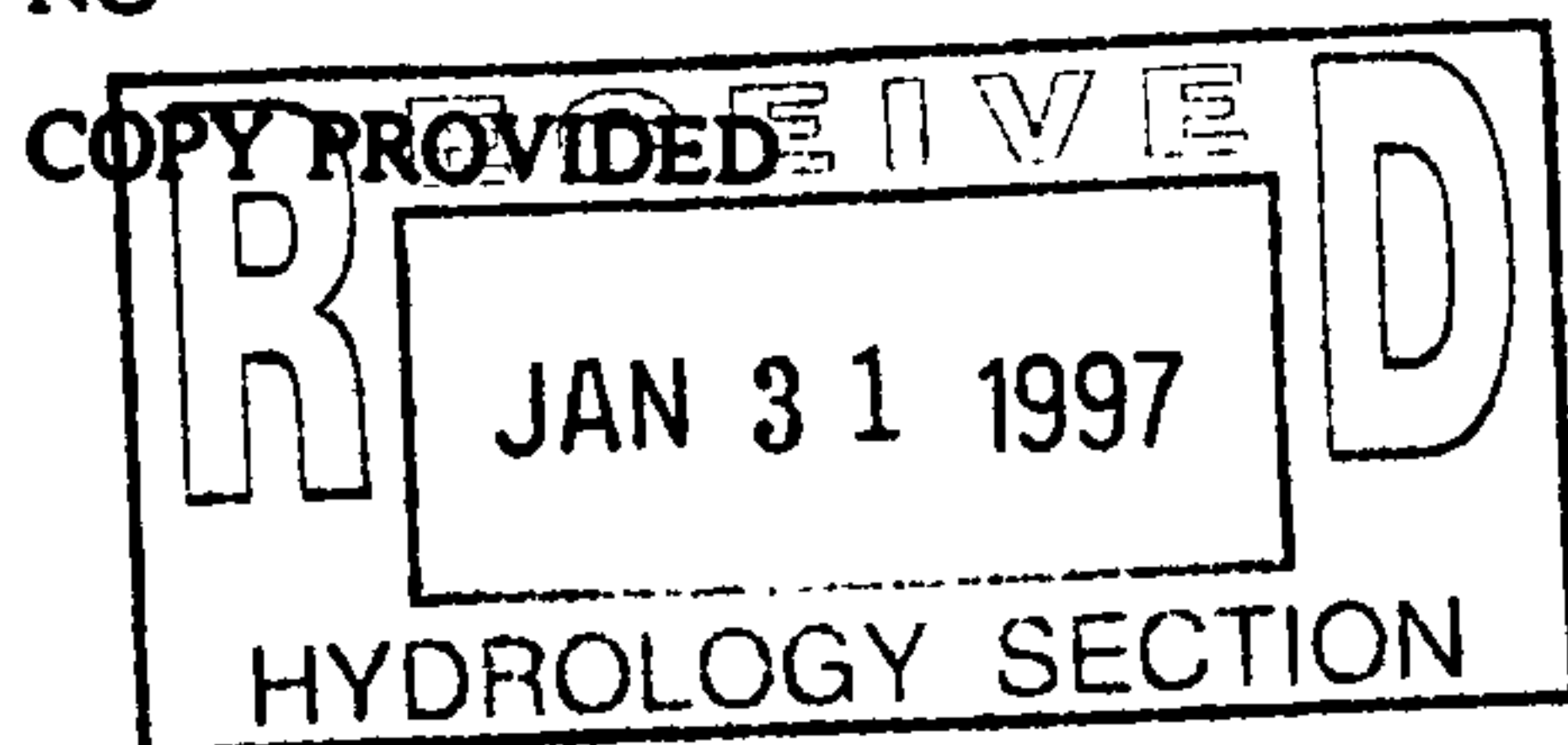
CHECK TYPE OF APPROVAL SOUGHT:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
☐ NO



DATE SUBMITTED: JANUARY 28, 1997
 BY: John R. Willow

TABLE OF CONTENTS

	PAGE
I. PURPOSE	1
II. METHODOLOGIES AND BACKGROUND.....	1
III. EXISTING CONDITIONS AND SITE DESCRIPTION.....	1
IV. PROPOSED DRAINAGE CONDITIONS.....	2
DEVELOPMENT.....	2
GENERAL.....	3
SPECIFIC DESIGN CRITERIA.....	3
V. CONCLUSION	4

APPENDIX

CALCULATIONS

POCKETS

GRADING AND DIMENSIONED SITE PLAN

BASIN MAP

ORIGINAL DRAINAGE MASTER PLAN (LOTS 22A, 22B & 22C)

I. PURPOSE

The purpose of this report is to present drainage conditions for the proposed development, *called Roger Smith Properties, An Office Building Development*. This plan is prepared and submitted to support approval of the Site Development Plan for Lot 22D, described below, final plat and building permit approval.

II. METHODOLOGIES AND BACKGROUND

Site conditions are analyzed for a 100-year, 6-hour storm event in accordance with the City of Albuquerque Drainage Ordinance and the Development Process Manual (DPM), Volume 2, Design Criteria, Section 22.2, Hydrology, for the City of Albuquerque, January 1993.

This report will reference the original drainage Master Plan for this site, Lot 22, near Montgomery and Juan Tabo Drainage Report, (Bohannon-Huston Inc.), dated July 8, 1994, which was prepared for Roger Smith Homes and approved by the City of Albuquerque (Roger Smith, F-21/D62; see the Appendix). That report was prepared to support future drainage plans submitted for the subdivision of Tract 22 into three separate tracts (Lots 22A, 22B and 22C) of land and immediate development of Lot 22A, the first phase of development (a baseball hitting cage). In addition, it establishes a total allowable discharge for onsite and offsite flows entering the 24" storm drain crossing Minato Square.

III. EXISTING CONDITIONS AND SITE DESCRIPTION

This 0.83 acre site is located in the northwest quadrant of the Juan Tabo and Montgomery intersection. The Vicinity Map provided on this plan sheet identifies the

exact location of this property. The properties' legal description is Lots 22B and 22C of the Lands of Ferrari, Esquibel and Palmer. Both tracts in this site are undeveloped. The site is flanked by developed land on all sides except the vacant property on the north boundary. Both tracts are to be developed as a single site.

The previous Bohannon-Huston report identifies the soils of this property as being Tijeras gravel sandy loam, as described in the Soil Conservation Service Soils Survey for Bernalillo County. The report indicates the property is not located within a Federal Emergency Management Agency (FEMA) designated flood plain zone.

Offsite drainage is diverted and carried along the north boundary of the property in an asphalt-lined channel, contributing a portion of the total allowed discharge to the existing 24-inch storm drain crossing Minato Square. In it's current undeveloped state, site flows sheetflow in a westerly direction. Eventually, site flows reach the south westerly most corner of the property and are gathered into a pond, then discharged across Lot 22A to the 24-inch storm drain. The current cross-lot drainage easement permits flows from Lots 22B and 22C to discharge across Lot 22A to the 24-inch storm drain.

IV. PROPOSED DRAINAGE CONDITIONS

DEVELOPMENT

The site is currently comprised of Lots 22B and 22C. The site will be replatted as one tract; Lot 22D. The Grading and Dimensional Site Plan in the Appendix shows proposed office/warehouse space of 9,632 sq. ft. and a future building with 2,368 sq. ft of space. The development includes the required parking and some landscaped areas. Roof drains will discharge on the west side of the new office/warehouse. Onsite detention will be located just west of the buildings at the southwesterly corner of the site.

GENERAL

The proposed drainage plan for Lot 22D will consist of:

1. Collection of storm drainage produced by the site in designed driveway and parking swales.
2. The controlled discharge of site runoff from Basin "B" utilizing a detention pond and discharging downstream to the 24-inch storm drain mentioned previously.
3. Free discharge from Basin "A" to Lot 22A (the existing batting cage).
4. Total discharge from the site controlled to 2.45 cfs/acre (per the approved Master Plan).

Please refer to the plan and the basin map included in the Appendix for the details of this described drainage scheme.

SPECIFIC DESIGN CRITERIA

As stated in the drainage study mentioned above, assuming fully developed conditions, the existing 24-inch storm drain crossing Minato Square has a design capacity for upstream flows of 16.4 cfs. Offsite basins plus Lot 22A and Lot 22D amount to 6.7 acres. The allowable controlled discharge rate to the 24-inch storm drain was computed to be 2.45 cfs/ac according to the previous BHI drainage Master Plan. Site flows allowed from Lot 22D equal 2.03 cfs, (0.83 ac. x 2.45 cfs/ac), controlled discharge to the inlet downstream. To accomplish the discharge

requirement, Appendix Calculations show an onsite detention requirement of 2350 cf.

The onsite detention requirement and the maximum controlled discharge from Basin "B" are both met at a water surface elevation in the pond; EL. = 5208. Three 6-inch pipes with a 1% slope discharge from the detention pond. The 4-inch openings on these pipes provide entrance control to limit discharge to 1.5 cfs during the peak flow of the 100-year storm event. An additional 0.53 cfs discharges freely from the parking swale and existing road in Basin "A."

Installation of an anti-clogging grate at the opening of the 6-inch pipes inside the detention pond will prevent discharge from being blocked. A spillway is also constructed in case the pond is unable to discharge through the pipes. The spillway allows for the total peak flow discharge, 3.6 cfs, if required.

Pond accesses for surface flow inside Basin "B" are located at curb openings on the north and east sides of the detention pond. These have concrete rundowns and are designed to accept 10-year storms (estimated at approximately 65% of the 100-year storm). The 100-year storm flows will safely overtop the curb and discharge to the pond. The sub-basins which drain to these inlets are labeled "B1 and B2" on the Basin Map. Please refer to the Appendix for plan details and calculations.

V. CONCLUSION

The key elements and tasks of this plan are:

- Controlled discharge of flows produced on site to a maximum of 2.45 cfs/acre, and onsite detention ponding (2350 cf).

- Discharge of 2.03 cfs maximum to Lot 22A, then eventually to the 24-inch storm drain pipe on Minato Square.
- Replatting of Lots 22B and 22C to a single tract, Lot 22D.

With this submittal, we are requesting Site Development Plan sign-off for Lot 22D, final plat approval and Building Permit Approval.

APPENDIX

Onsite Flows (Developed Lots 22B & 22C)

A. Developed Conditions for Subbasin (A)
(Discharges off parking swale into existing street.)

$$\text{Land Treatment "D"} = \underline{0.1 \text{ ac}}$$

from table 9, DPM
"D" = 5.25 cfs/ac.

Total area = 0.1 ac.
basin (A)

$$\text{Developed Total flows} = (0.1)(5.25) = 0.53 \text{ cfs}$$

B. Developed Conditions for Subbasin (B)
(Discharges from the Detention Pond)

$$\text{Land Treatment "B"} = 0.1 \text{ ac.}$$

$$\text{Land Treatment "D"} = \underline{0.63 \text{ ac.}}$$

Total area = 0.73 ac.
basin (B)

$$\text{"B"} = 2.9 \text{ cfs/ac.}$$

$$\text{"D"} = 5.25 \text{ cfs/ac.}$$

$$\text{Developed Total flows} = (0.1)(2.9) + (0.63)(5.25)$$
$$Q_p = 3.6 \text{ cfs}$$



BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith Prop. SHEET 1 OF 7
PROJECT NO. 95346B BY dw. DATE 1/21/97
SUBJECT B.R. CH'D _____ DATE _____

C. Allowable Discharge from Site

As per previous BHE report, the
Allowable Discharge Rate for
developed Conditions is 2.45 cfs/ac.

The total area of the Site = 0.83 ac.

Site discharge = 2.03 cfs

D. Allowable Discharge from Detention Pond

Total Allowable Site Discharge 2.03 cfs

Site Discharge (Free discharge)

From Basin (A) 1.5 cfs

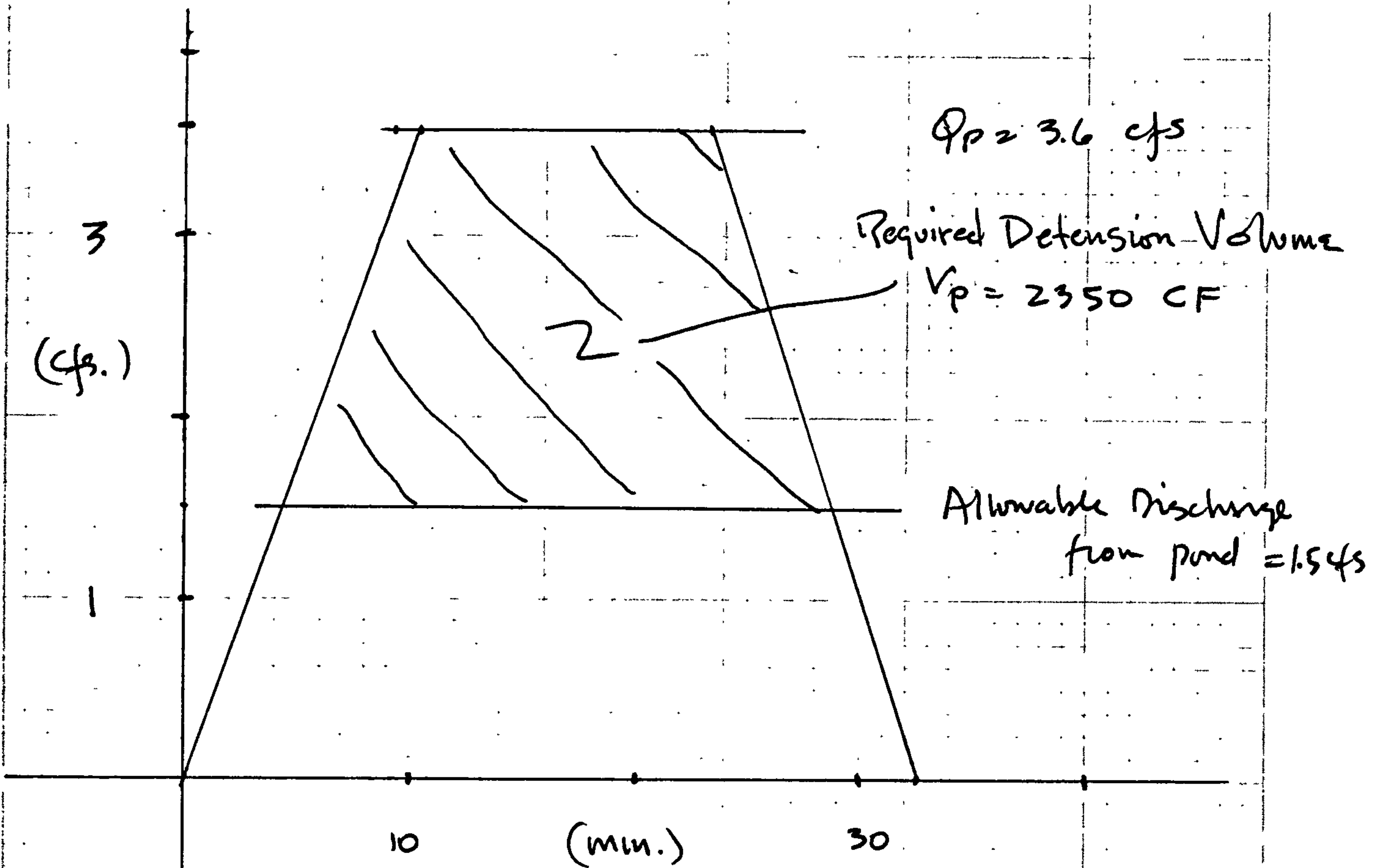
Allowable discharge from Pond. 0.53 cfs



BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith Prop SHEET 2 OF 7
PROJECT NO. 95346 B BY Jwl. DATE 1/21/91
SUBJECT D.R. CH'D _____ DATE _____

E. DEVELOPED Hydrograph for Basin (B)



[PEAK flow] $Q_p = 3.6 \text{ cfs}$ (PEAK flow from 100 YR STORM EVENT)

[Time To PEAK] $t_p = 0.63(0.2) + (1.6 - 0.63 / 0.73) / 12 = 0.19 \text{ hr.} = 11.25 \text{ min.}$

[TOP BRK LENGTH] $= 0.25(0.86) = 0.22 \text{ hr} = 13 \text{ min.}$

[BASE Length] $t_b = (2.107)(1.77) * 0.73 / 3.6 - 0.22 = 0.54 \text{ hr.} = 32.5 \text{ min.}$



BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith Prop. SHEET 3 OF 7
 PROJECT NO 9534613 BY fw. DATE 1/21/97
 SUBJECT T.O. CH'D _____ DATE _____

F. Total Site Discharge

Discharge Developed in Subbasin (A)

0.53 cfs

Discharge From Pond using 1-6" and
1-4" PVC.

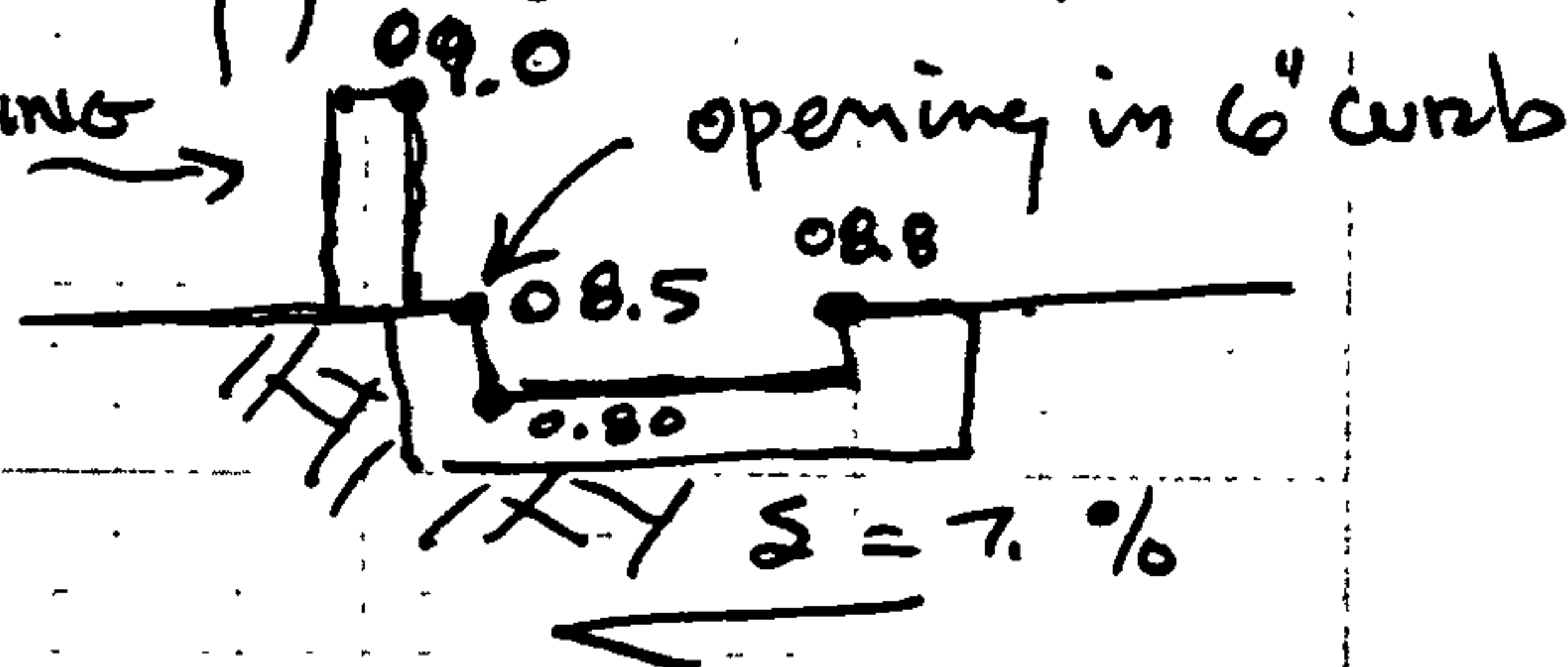
1.5 cfs

Total discharge 2.03 cfs

SPILLWAY FOR DETENTION POND

At the curb opening, use WEIR ...

RETAINING
Wall



$$\text{width} = \frac{Q}{CH^{3/2}}$$

$$= \frac{(3.6)}{(2.64)(.5')^{3/2}} = 3.86'$$

* USE a width of 4' for curb opening.



BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith Prop. SHEET 4 OF 7
PROJECT NO. 95.346 B BY J.W. DATE 1/21/97
SUBJECT D.R. CH'D _____ DATE _____

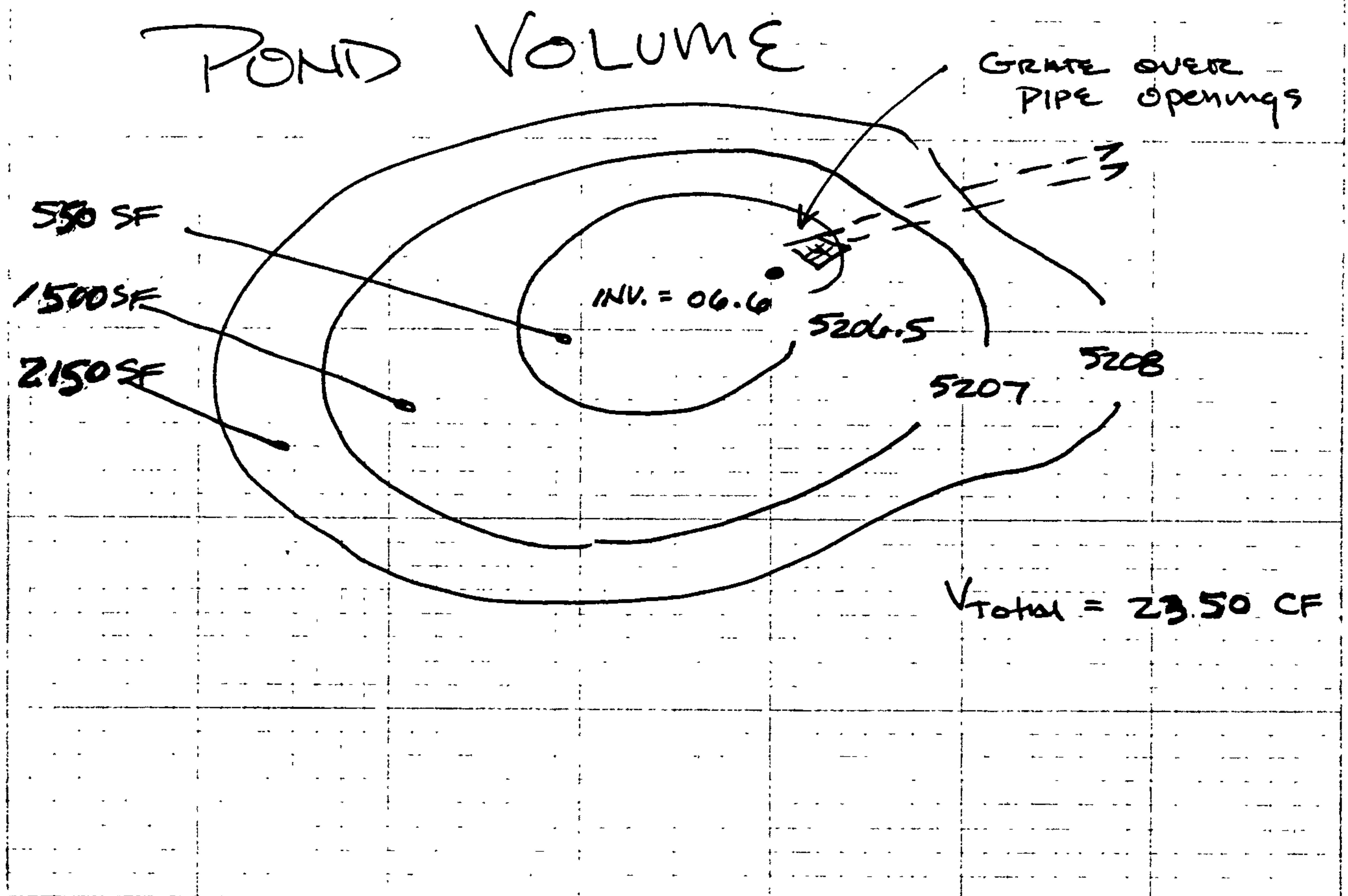
ALLOWABLE DISCHARGE OF SITE FLOWS.

A. Total Site Flows (DEVELOPED CONDITION)

2.45 CFS AS PER PREVIOUS DRAINAGE PLAN
SUBMITTAL (July 8, 1994)

B. Maximum Discharge $(0.83)(2.45) = 2.03 \text{ cfs}$

$Q_D = 2.03 \text{ cfs}$



BOHANNAN-HUSTON INC.

PROJECT NAME Rogey Smith Prop. SHEET 5 OF 7
PROJECT NO. 95346 B BY J.W. DATE 1/21/97
SUBJECT D.R. CH'D _____ DATE _____

SIZE PIPES for Pond Discharge

A.) USE MANNING'S EQ. : $Q = \frac{1.49}{n} A R_h^{2/3} S^{1/2}$

Slope = 1% , $R_h = D/4$ (ASSUMES FULL PIPE)

* USE a 6" PIPE , Area = 0.196 ft²

$$Q_6 = \frac{1.49}{0.013} (0.196) \left(\frac{5}{4}\right)^{2/3} (0.01)^{1/2} = 0.56 \text{ cfs}$$

If maximum allowable discharge is $Q = 1.5 \text{ cfs}$ from the Pond use:

3 - 6" pipes
with total $Q_{cap} = 1.68 \text{ cfs}$

B.) USE ENTRANCE CONTROL - Orifice EQ.

$$Q = C_d A \sqrt{2gh}$$

* USE 4" OPENING → Assume headwater to be 1'-3"

$$Q_4 = (.64)(.087)(8) \sqrt{1.25} = 0.5 \text{ cfs}$$

$Q_{cap \text{ entrance}} \text{ for } 3 \text{ - openings} = 1.5 \text{ cfs}$ (MAX. Allowable Discharge)

* USE 3 - 6" PIPES @ $S = 1\%$

with 4" OPENINGS to CONTROL

Discharge to 1.5 cfs

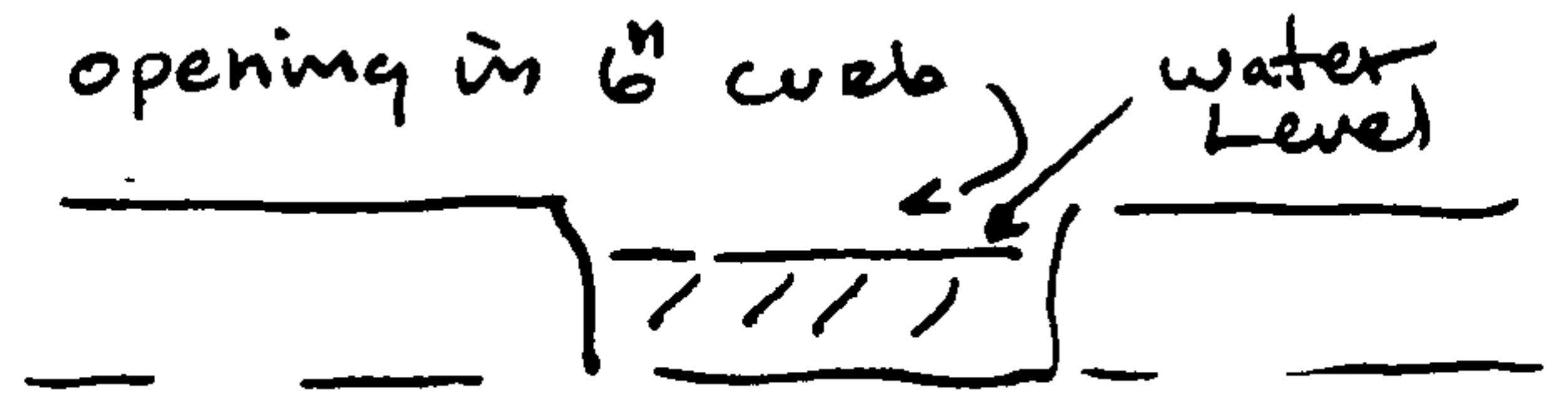


BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith SHEET 6 OF 7
PROJECT NO. 95346 B BY J.U. DATE _____
SUBJECT D.R. CH'D _____ DATE 4/22/97

INLET CURB OPENINGS FOR THE NORTH AND EAST SIDES OF THE DETENTION POND.

A. @ The curb opening use
WEIR... $H = .3'$



B. USE 10 YEAR STORM DESIGN

For each inlet use $Q_{100} = 1.48$ cfs
and $Q_{10} = 63\%$ of Q_{100}

$$Q_{10} = 0.93 \text{ cfs}$$

C. WIDTH of Curb Opening @
 $H = .3'$

$$\text{Width} = \frac{Q}{CH^{3/2}}$$

$$\frac{.93}{(2.64)(.3)^{3/2}} = \underline{\underline{2.1'}}$$

USE 2' curb openings.



BOHANNAN-HUSTON INC.

PROJECT NAME Roger Smith Prop. SHEET 1 OF 1
PROJECT NO. 95346 B BY J.W. DATE 1/21/97
SUBJECT D.R. CH'D _____ DATE _____

POCKETS



CITY OF
Albuquerque
Public Works Department

February 4, 1997

Robert E. Gurulé, Director

Martin J. Chávez, Mayor

John Willow
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: ROGER SMITH PROPERTIES (F21-D62). GRADING AND DRAINAGE PLAN
FOR FINAL PLAT AND BUILDING PERMIT. ENGINEER'S STAMP DATED
1/29/97.

Dear Mr. Willow:

Based on the information provided on your January 31, 1997
submittal, the above referenced project is approved for Final Plat
and Building Permit.

Prior to Certificate of Occupancy, an Engineer's Certification will
be required.

If I can be of further assistance, please feel free to contact me at
924-3984.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
(File)

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



GRADING AND DRAINAGE EASEMENT AGREEMENT

THIS AGREEMENT is made this 30 day of August, 1994, by and between ROSEANNE PALMER LA FON, a married woman dealing with her sole and separate property (hereinafter "La Fon"), and ~~ROGER SMITH~~ (hereinafter "Smith"). *RHS Properties Inc* ^{RHS}

WHEREAS, Smith is fee simple owner of Lot 22, Lands of Ferrari, Esquibel and Palmer (hereinafter "Lot 22") across which La Fon desires a permanent drainage easement; and

WHEREAS, La Fon is fee simple owner of Lot 21, Lands of Ferrari, Esquibel and Palmer (hereinafter "Lot 21") across which Smith desires an easement for grading; and

WHEREAS, Smith and La Fon are willing to grant to one another said easements.

NOW, THEREFORE, in consideration of the mutual agreements hereinbelow, Smith and La Fon agree as follows:

1. La Fon grants to Smith a temporary easement for the sole purpose of grading and maintaining a drainage channel along the Southern Boundary of Lot 21 as more particularly shown on the grading and drainage plan which is attached hereto as Exhibit "A" and is incorporated by reference herein (hereinafter the "Grading Easement").

2. Smith grants to La Fon a permanent drainage easement along the Western Boundary of Lot 22 as more particularly shown on the attached Exhibit "A" (hereinafter the "Drainage Easement") for the purpose of accepting the surface drainage that is flowing across and from Lot 21 onto Lot 22.

3. The Grading Easement is temporary and shall terminate upon completion of the grading on Lot 21 or on August 30, 1995, whichever occurs earlier; provided, however, that Smith and his successors and assigns shall remain responsible for all future costs associated with maintaining the drainage channel in proper working order.

5. Smith shall bear all costs associated with the grading on Lot 21 and shall hold harmless and defend La Fon from any and all injuries , claims, liability and property damage resulting from the grading on Lot 21 and the maintenance of the drainage channel.

6. Any soil excavated during Smith's grading on Lot 21 shall be uniformly distributed on Lot 21 in a manner that does not create a nuisance or shall be stockpiled on Lot 21 at a location designated by La Fon.

7. Smith, its agents and employees shall not utilize existing fill material located on Lot 21 in the development of Lot 22.

8. Grading on Lot 21 shall be performed by Smith, its agents or employees in a manner providing for gradual sloping and shall not diminish the value of Lot 21.

9. If at any time Lot 21 must be re-graded to comply with governmental drainage requirements for any reason including, but not limited to, the development of Lot 21, Smith shall bear the cost of such grading and re-design up to Three Thousand and No/100ths Dollars (\$3,000.00).

10. The Drainage Easement shall be perpetual, shall run with the land and shall be binding upon and inure to the benefit of the successors and assigns of the parties hereto.

11. Smith shall bear all costs associated with the construction and maintenance of the Drainage Easement and shall maintain the easement in a manner that does not impede drainage from Lot 21.

12. Smith shall cause the Drainage Easement to be included in a plat of Lot 22 at Smith's sole cost and expense.

IN WITNESS WHEREOF, the parties hereto have set their hands on the date first written above.

Roseanne Palmer La Fon
ROSEANNE PALMER LA FON

Roger Smith
ROGER SMITH, President
~~Roger Smith~~ RHS Properties Inc

STATE OF NEW MEXICO)
COUNTY OF Sandoval) ss.

This instrument was acknowledged before me on

8-30-94, 1994, by Roseanne Palmer La Fon.

Gerald L. Collins
NOTARY PUBLIC

My Commission Expires:

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1994 SEP 14 PM 3:31


94-265058-
JUDY D. WOOD
J. Jaraman

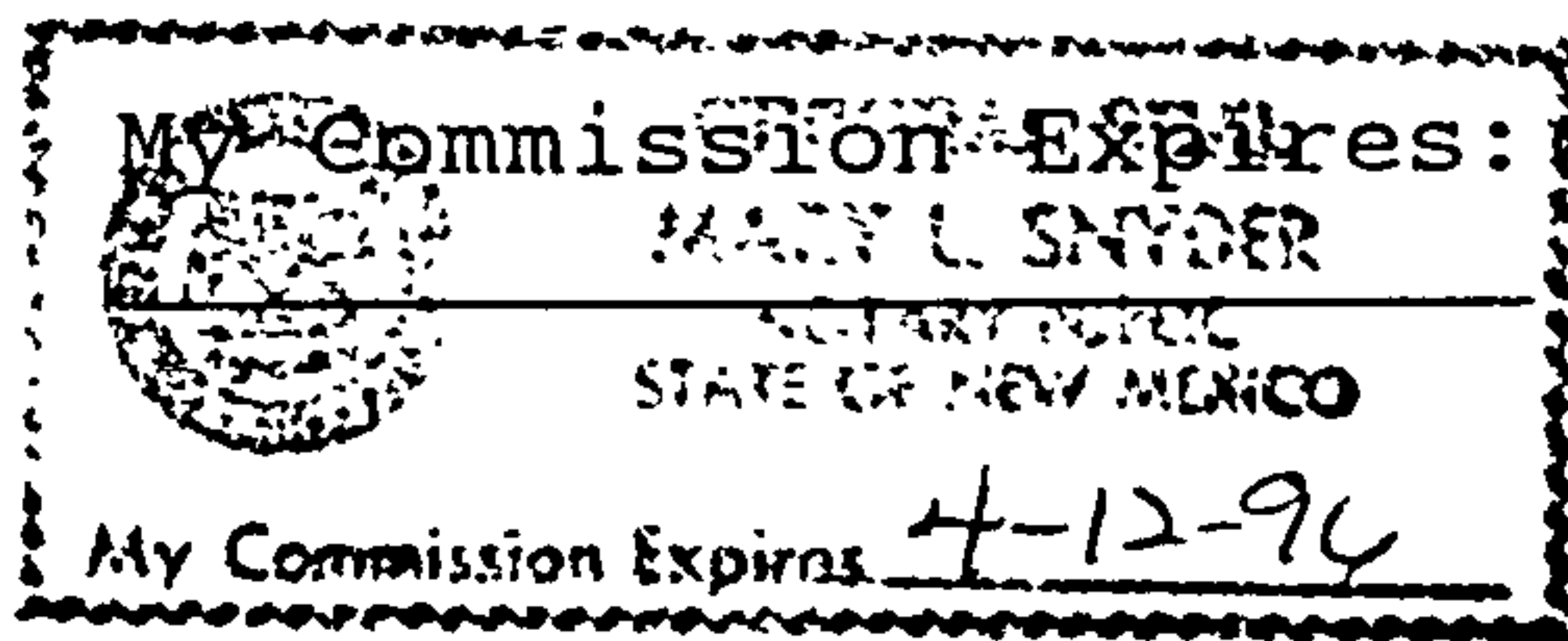


OFFICIAL SEAL
GERALD L. COLLINS
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed With Secretary of State
My Commission Expires 10-29-95

STATE OF NEW MEXICO)
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on August 30, 1994, by Roger Smith.


NOTARY PUBLIC



BOHANNAN - HUSTON

INC.

James C. or
Belle Howell
James
James

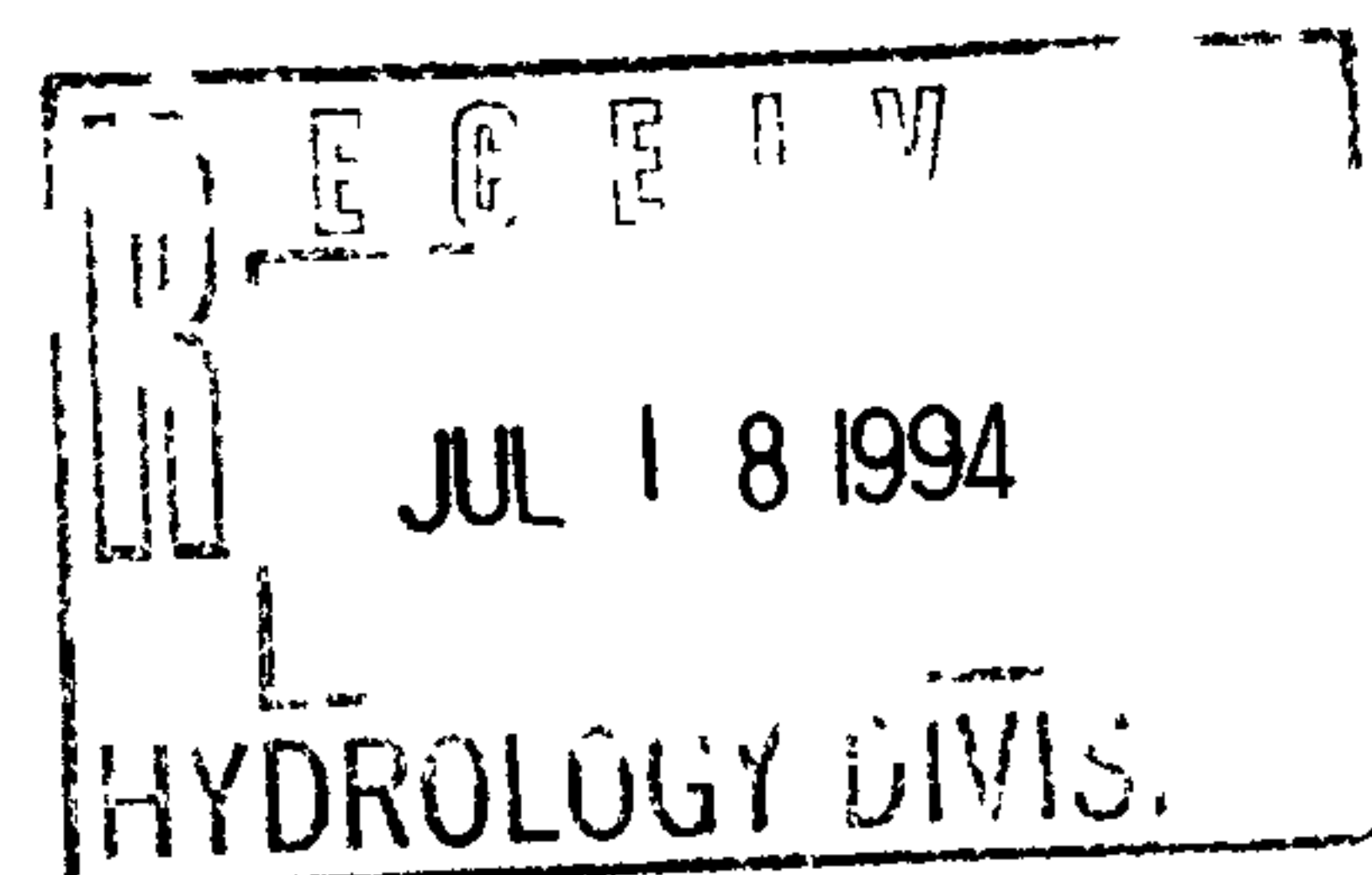




LOT 22, NEAR MONTGOMERY AND JUAN TABO DRAINAGE REPORT

Prepared for:

**ROGER SMITH HOMES
4101 MORRIS NE, SUITE F
ALBUQUERQUE, NM 87111**



Prepared by:

Job No. 93180.44



BOHANNAN-HUSTON INC.
ENGINEERS ARCHITECTS PHOTOGRAMMETRISTS SURVEYORS

COURTYARD I, 7500 JEFFERSON NE ALBUQUERQUE, NM 87109 TEL (505) 823-1000 FAX (505) 821-0892

LOT 22, NEAR MONTGOMERY AND JUAN TABO
DRAINAGE REPORT

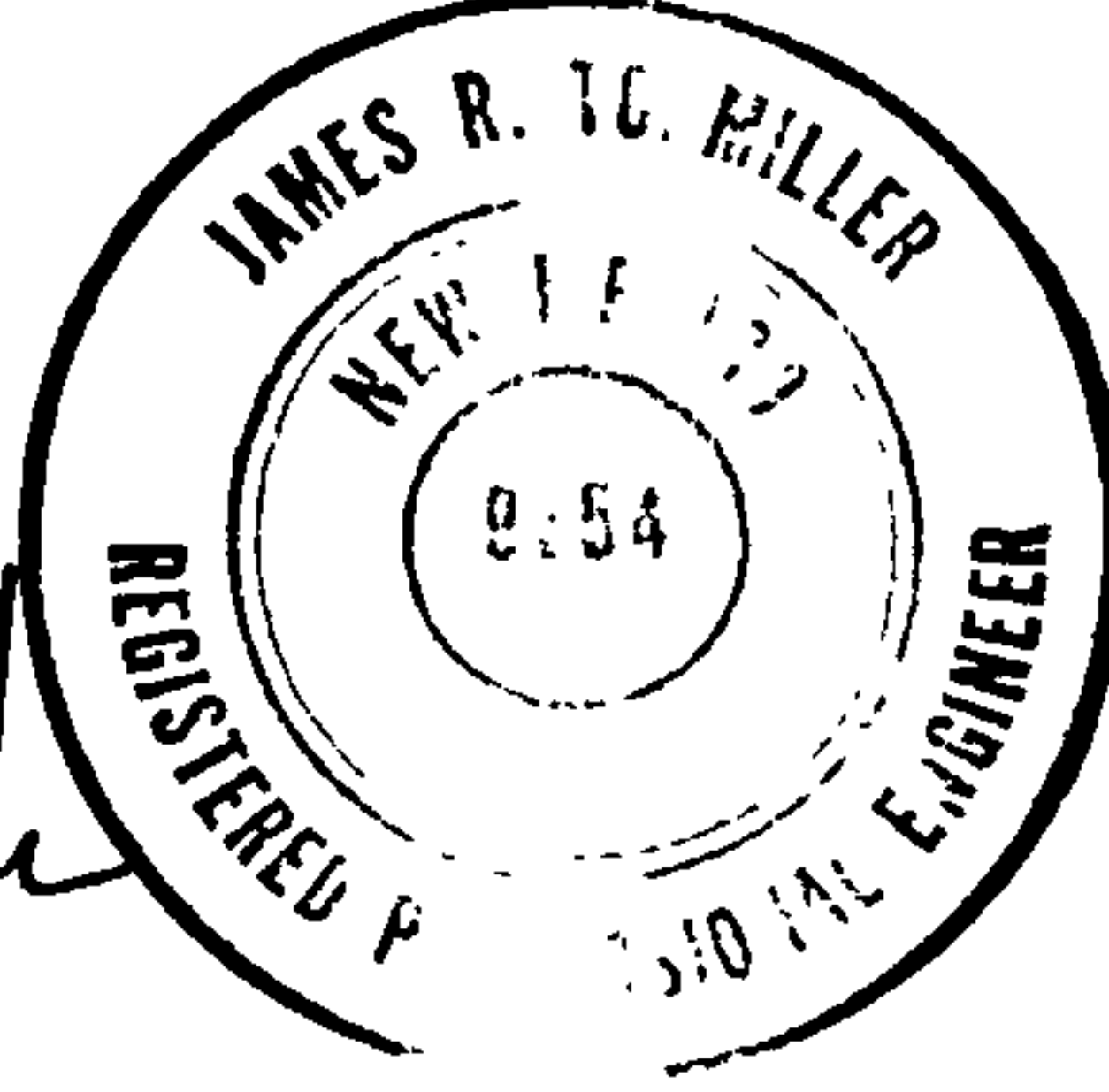
Prepared for:

ROGER SMITH HOMES
4101 MORRIS NE, SUITE F
ALBUQUERQUE, NM 87111

Prepared by:

Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, Nm 87109

James R. Topmiller
7.13.94

A circular professional engineer seal for James R. Topmiller, a Registered Professional Engineer in the State of New Mexico. The seal contains the text "JAMES R. TOPMILLER", "NEW MEXICO", "8154", and "REGISTERED PROFESSIONAL ENGINEER".

James Topmiller, P.E.

TABLE OF CONTENTS

Page

I. EXISTING CONDITIONS AND SITE DESCRIPTION 1

II. PROPOSED DRAINAGE CONDITIONS 1

 DEVELOPMENT 1

 GENERAL 2

 SPECIFIC DESIGN CRITERIA 2

III. PHASING 3

IV. CONCLUSION 4

APPENDIX

- CALCULATIONS
- POCKETS
- ULTIMATE GRADING PLAN
- PHASE I OFFSITE GRADING PLAN

$$\begin{array}{r}
 4 \\
 164 \\
 \underline{135} \\
 29
 \end{array}$$

I. EXISTING CONDITIONS AND SITE DESCRIPTION

This 1.2 acre tract is located in the northwest quadrant of the Juan Tabo and Montgomery intersection. The vicinity map provided on this plan sheet identifies the exact location of this property. The existing legal description is described as Lot 22, lands of Ferrari, Esquibel and Palmer. The tract is currently an undeveloped, vacant piece of land. It is flanked on the east and south by developed parcels, on the west by a public baseball field, and on the north by vacant land.

The enclosed soils map identifies the soils of this property as being Tijeras gravel sandy loam, as described in the Soil Conservation Service Soils Survey for Bernalillo County. Also provided on this sheet is a flood plain map which indicates that the property is not located within a Federal Emergency Management Association designated flood plain zone.

Existing offsite drainage to the property consists of approximately 5.5 acres at 12 cfs in its current undeveloped condition and is limited primarily to the northwestern corner of the property. Onsite flows drain generally in a westerly direction in a sheet-flow fashion. Site flows begin to approach a point discharge flow characteristic only at the southwest corner of the property. Once flows leave the property, they are gathered in part by an existing 24-inch pipe immediately off the southwest corner of the property (Minato Square). Flows which bypass this pipe flow westerly onto the existing ballfield access road.

II. PROPOSED DRAINAGE CONDITIONS

DEVELOPMENT

.47
3
12

The existing Lot 22 is proposed to be subdivided into three approximately 0.4 acre tracts of land. On two of the tracts, development is ultimately proposed to be office/warehouse buildings with the required driveways and parking. On the final westernmost tract, development is proposed to be a batting cage with incidental

1.2

$$\begin{array}{r} 1 \\ 245 \\ \hline 1.20 \\ 610 \\ 490 \\ \hline 245 \\ \hline 25465 \end{array}$$

$$\begin{array}{r} 55 \\ 21 \\ \hline 126 \end{array}$$

parking requirements. Development of the tracts will occur in a phased manner.

GENERAL

The proposed ultimate drainage management plan for these newly subdivided tracts will consist of (1) collection of storm drainage produced by the site in designed driveway and parking swales and (2) the controlled discharge of the developed site runoff by utilizing detention ponding methods in parking and landscaping areas. Due to the intense hard surface of the development, underground storm water detention may also be required. Roof drainage will be directed to the front of the buildings. Storm runoff on all tracts will be handled by collection/detention in parking or driveway swales and will discharge in a southerly direction to the main driveway of the proposed subdivision along the south boundary of the property. This cross-lot drainage is provided for by a private reciprocal easement for drainage purposes as part of the development's plat requirements. All drainage will eventually reach the site's southwestern-most corner (the proposed batting cage) where it will be discharged to the existing 24-inch outlet pipe. Please refer to the plan for details and elevations of this described drainage scheme.

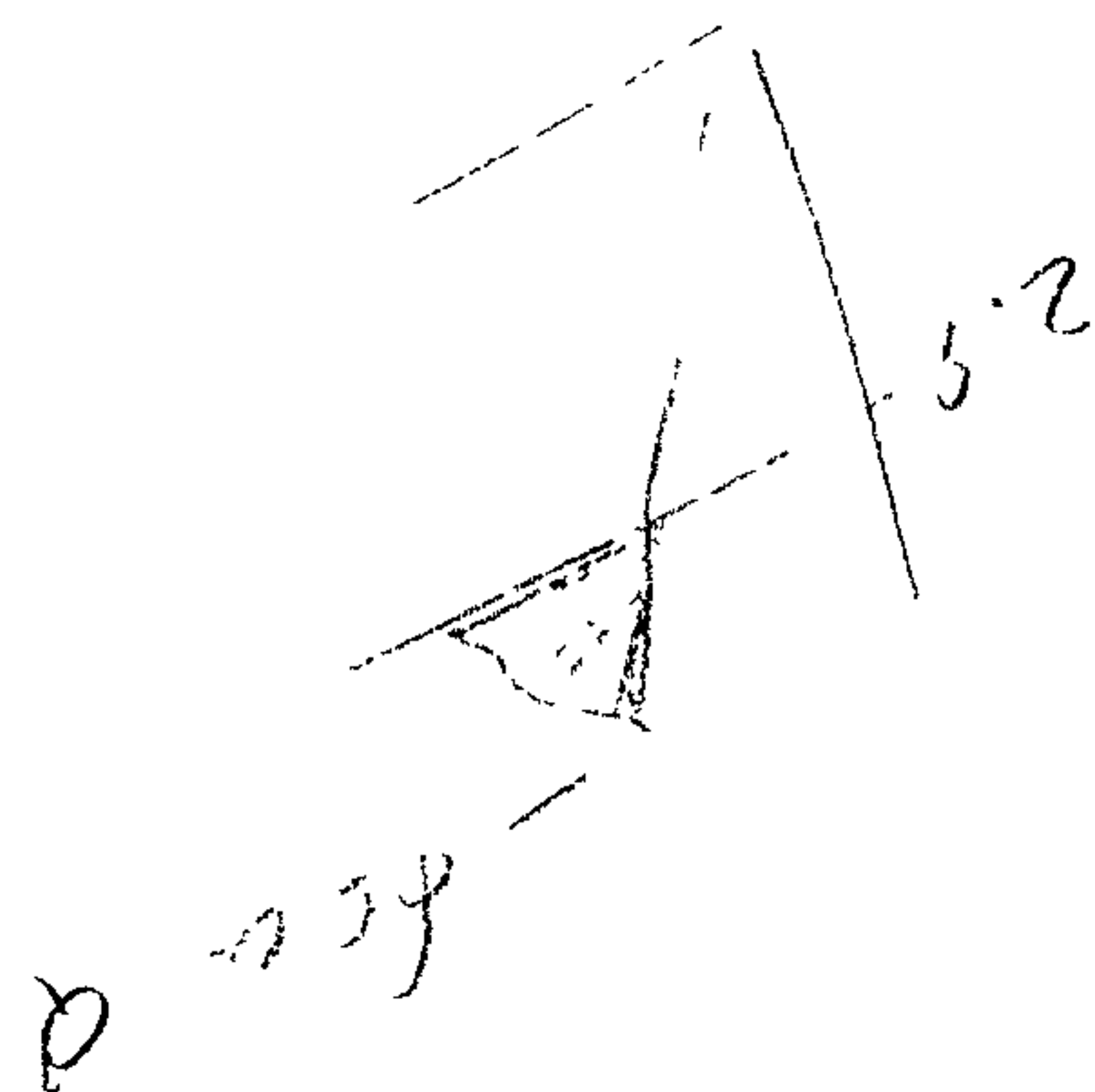
Offsite flows from the north will be collected by a new asphalt channel across Lot 22 and discharged to the site's southwest corner. At this property corner, discharge of site flows will be made to the existing 24-inch drainage pipe referred to in the Existing Conditions section above.

SPECIFIC DESIGN CRITERIA

The existing 24-inch outlet across Minato Square is designed to collect offsite, upstream flows of 16.4 cfs. Calculations in the Appendix show that this capacity is reached with a headwater depth of 2.3'.

Assuming fully developed offsite basins (5.5 acres), plus Lot 22 (1.2 acres), an allowable, controlled contribution rate to the 24-inch pipe is ~~2.45 cfs/acre (16.4~~

Not Permitted



cfs/6.7 acres).

For offsite flows entering Lots 22A, 22B, and 22C, the allowable flow is then 13.5 ^{cfs} acres (5.5 ac. x 2.45 cfs/ac.). To accomplish this discharge requirement, total onsite detention of 3810 cubic feet is required. This corresponds, by lot, to:

	<u>Flow</u>	<u>Required Detention</u>
Lot 22A	1.0 cfs,	1450 cf
Lot 22B	2.0 cfs,	1450 cf (cumulative)
Lot 22C	2.94 cfs,	<u>1000 cf</u> (cumulative)
		3900 cf > 3810 OK

9.9

Lot 22A must construct the asphalt-lined channel on the west property line to carry the offsite 13.5 cfs flow to the outlet point. Appendix calculations show that an 8" high rectangular channel, with an 8.2' width at the entrance (analyzed by weir), and 5' wide in the channel's mid-reach is sufficient. An easement over this channel will be provided by plat.

North of the site, an earth swale is to be graded to carry flows along the site's north boundary. A 10' bottom width at a 0.5% slope produces acceptable velocities, 1.8 feet/second, for this unlined channel. authorization from the property owner for this grading is being sought at this Time.

III. PHASING

As mentioned previously, development of the three tracts (22A, 22B, and 22C) will be phased. Lot 22A, the west lot, will be constructed immediately. The remaining lots are future projects of unknown timeframes. To recognize phasing, two sheets are provided herein. Sheet 1 of 2 shows the ultimate development of all three tracts, with which we request Site Development Plan signoff of all three lots. Sheet 2 of 2 shows the proposed development for which we request building permit approval.

IV. CONCLUSION

The key elements and tasks of this plan are:

- Controlled discharge of site and offsite flows to 2.45 cfs/acre, maximum, and onsite detention ponding.
- Discharge of 16.4 cfs maximum to the 24-inch outlet pipe on Minato Square.
- Collection of 13.5 cfs, maximum, in future offsite developed flows (from the north).
- Onsite, cross-lot reciprocal drainage easements (for Lots 22A, 22B, & 22C, show by plat).
- Establish a private drainage easement across Lot 22A for offsite drainage flows to enter the site (show by plat).
- Acquisition of a private drainage easement over the 24-inch outlet pipe across Minato Square.
- Written authorization from the adjacent property owner to grade offsite along the north property line of Lots 22A, 22B, and 22C.
- Written authorization from the City to grade on City Parks land (at the 24-inch pipe outlet).

With this submittal, we are requesting Site Development Plan signoff for all three lots, Lots 22A, 22B, and 22C, and building permit approval for Lot 22A (the first phase).

APPENDIX

CALCULATIONS

Offsite Flows

Existing Conditions

A. Offsite Basin Area total = 7.7 acres (west of Juan Tabo, south of Lagrima de Oro)
less Double Rainbow site - 1.1 acre (will retain its flows with a bleed)
less Office Bldg site - 1.1 acre — retains flows
5.5 acres

(offsite)
- 5.5 acres, can drain to 24" Minato culvert, not including lot 22A, 22B, and 22C

B. Assume developed conditions:

5.5 acres total

@ 85% land treatment "B", $0.85(5.5) = 4.7$ acres

@ 15% " " "B", $0.15(5.5) = 0.8$ acres

Total developed flow =

$$4.7(5.3 \text{ cfs/ac.}) = 25 \text{ cfs}$$

$$0.8(2.9 \text{ cfs/ac.}) = 2.3 \text{ cfs}$$

27.3 cfs total

← Table 9, DPM
Zone 4

C. determine undeveloped, existing conditions flows:

$$5.5 \text{ ac. } (2.2 \text{ cfs/ac.}) = 12.1 \text{ cfs total}$$

D. determine undeveloped flow to NE³/₄ NW corner of Lot 22A, ...
3.2 acres $(2.2 \text{ cfs/ac.}) = 7 \text{ cfs (NE cor.)}$
2.3 ac $(2.2) = 5 \text{ cfs (NW cor.)}$

E. determine flow to NE³/₄ NW cor. Lot 22A, .. (developed) ^{allowable}

$$2.3 \text{ ac. } (2.45 \text{ cfs/ac.}) = 5.6 \text{ cfs}$$

$$3.2 (2.45) = 7.8 \text{ cfs (NE corner)}$$

BOHANNAN-HUSTON INC.

PROJECT NAME

SHEET

OF

PROJECT NO.

BY

DATE

SUBJECT

CH'D

DATE

F. total developed flows = $5.5 \text{ ac. } (2.45) = 13.5 \text{ cfs}$

Onsite Flows (Developed Lot 22A, 22B, 22C)

A. Developed Conditions (all 3 lots)

Land treatment "B" = 0.25 acres

Land treatment "D" = 0.95 acres

from table 9, DPM 1.2 acres total

"B" = 2.9 cfs/acre

"D" = 5.25 cfs/acre

Developed Total Flow = $0.25(2.9) + 0.95(5.25) = 5.7$ cfs

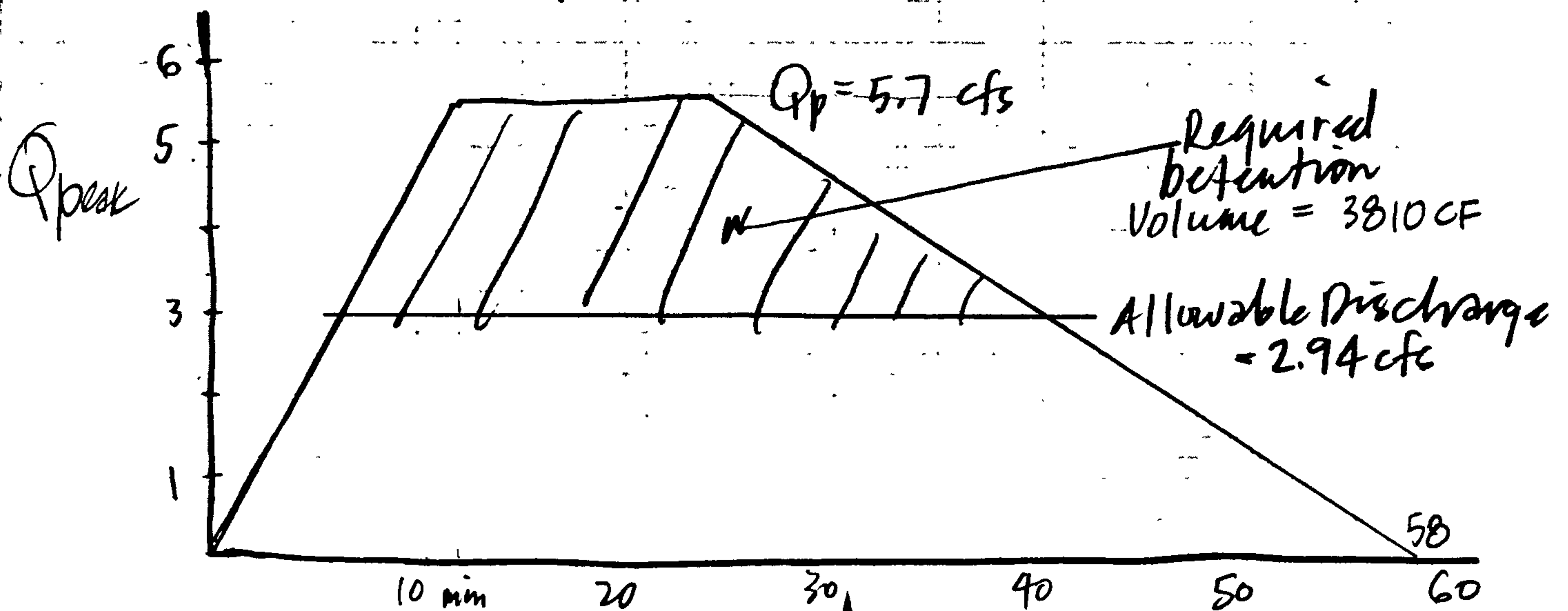
B. Developed Conditions Hydrograph

$Q_p = 5.7$ cfs

$t_p = 0.7(1.2) + (1.6 - 0.95/1.2) = 0.207$ hour = 12 min.

top bar length = $0.25 \left(\frac{0.95}{1.2} \right) = 0.2$ hrs = 12 min.

$t_b = 2.107(2.64) \frac{1.2}{5.7} - 0.2 = 0.97$ hr.



BOHANNAN-HUSTON INC.

PROJECT NAME _____ SHEET 2 OF _____

PROJECT NO _____ BY _____ DATE _____

SUBJECT _____ CH'D _____ DATE _____

Downstream Capacity

- A. 24" RCP drainage pipe across east side
of Minato site.....
@ 1.2% slope

$$Q_{cap @ 1.2\%} = 25 \text{ cfs (by Manning's equation)}$$

$$Q_{cap \text{ of entrance}} = 16.4 \text{ cfs @ 2'-4" headwater}$$

Allowable Discharge

- A. Total Flow to 24" RCP.... (developed conditions)

$$27.3 \text{ cfs (offsite)} + 5.7 \text{ cfs (onsite)} = 33 \text{ cfs}$$

- B. Total Acreage (Remaining Undeveloped, i.e., less Exist.
Office Bldg & Double Rainbow)

$$= 5.5 \text{ acres (offsite)} + 1.2 \text{ ac. (onsite)}$$

$$= 6.7 \text{ acres}$$

- C. Allowable Discharge per Acre (from 1.2 acre site)
Lot 22A, B & C

$$\frac{16.4 \text{ cfs}}{6.7 \text{ acres}} = 2.45 \text{ cfs/acre}$$

- D. Allowable Site Discharge = $1.2 (2.45) = 2.94 \text{ cfs}$



BOHANNAN-HUSTON INC.

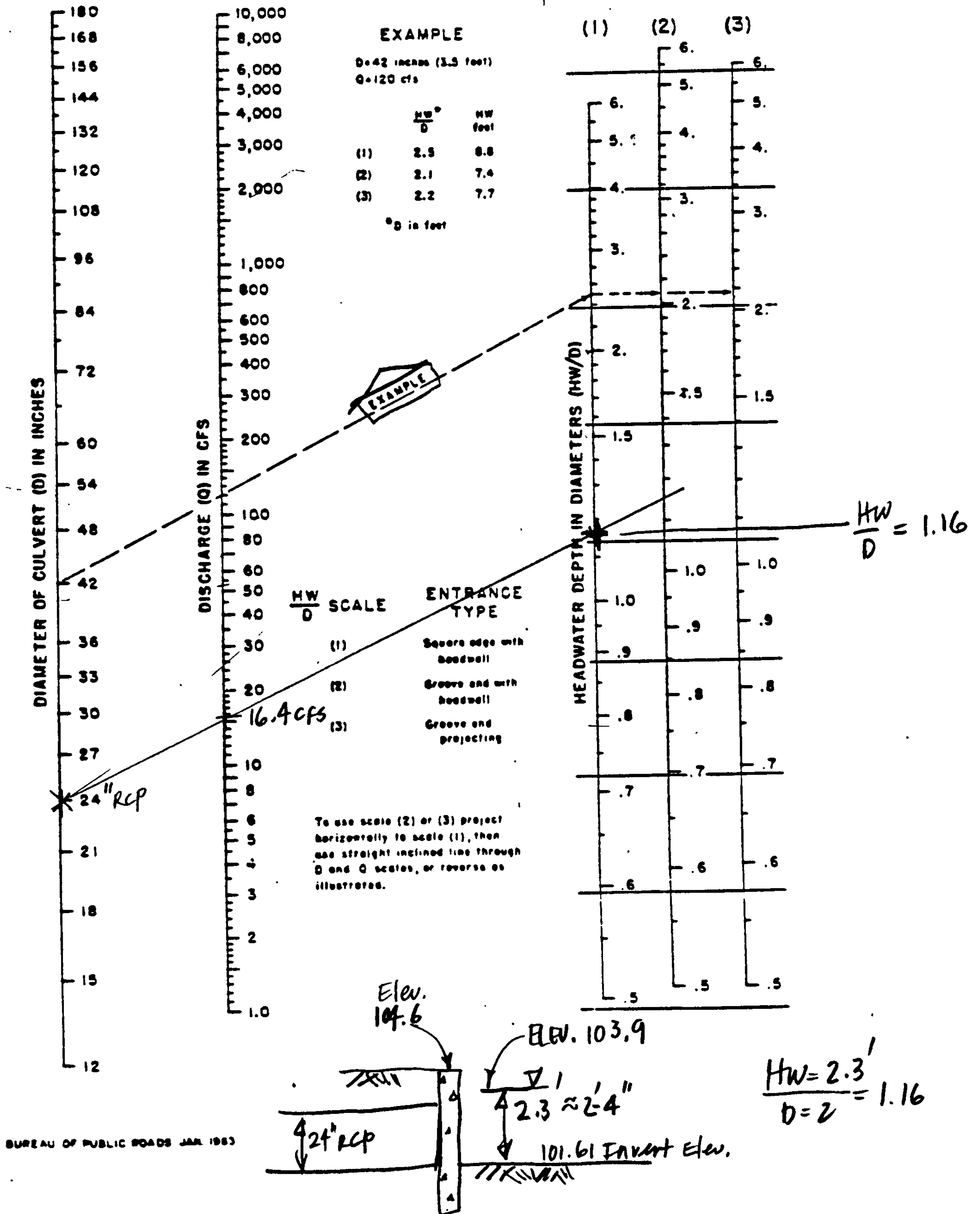
PROJECT NAME _____ SHEET 3 OF _____

PROJECT NO. _____ BY _____ DATE _____

SUBJECT _____ CH'D _____ DATE _____

Figure 11-1

HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS
WITH INLET CONTROL



E. Total Flow to 24" RCP @ Minato,

$$= 12.1 \text{ cfs (undeveloped offsite)} + 2.94 \text{ cfs (developed Lot 22A, B, C)} =$$

$$= 15.1 \text{ cfs} < 16.4 \text{ cfs OK}$$

F. Discharge/Retention Ponding by Lot

$$\text{Lot 22C} - \frac{2.94}{3} = 1.0 \text{ cfs discharge, } \frac{3810 \text{ cf}}{3} = 1450 \text{ cf.}$$

$$\text{Lot 22B} - 2\left(\frac{2.94}{3}\right) = 2.0 \text{ cfs discharge, } 1450 \text{ cf.}$$

$$\text{Lot 22A} - 2.94 \text{ cfs, } 1000 \text{ cf.}$$

$$\text{@ 6" deep, weir width} = \frac{Q}{CH^{3/2}} = \frac{2.94}{3(.67)^{3/2}} = 1.79'$$

G. Asphalt ^{channel} ~~Street~~ on west pt of Lot 22C

1. @ Channel opening, use weir...

$$\text{w/ 8" curb, width} = \frac{Q}{CH^{3/2}}$$

$$= \frac{13.5}{3(.67)^{3/2}} = 8.2'$$



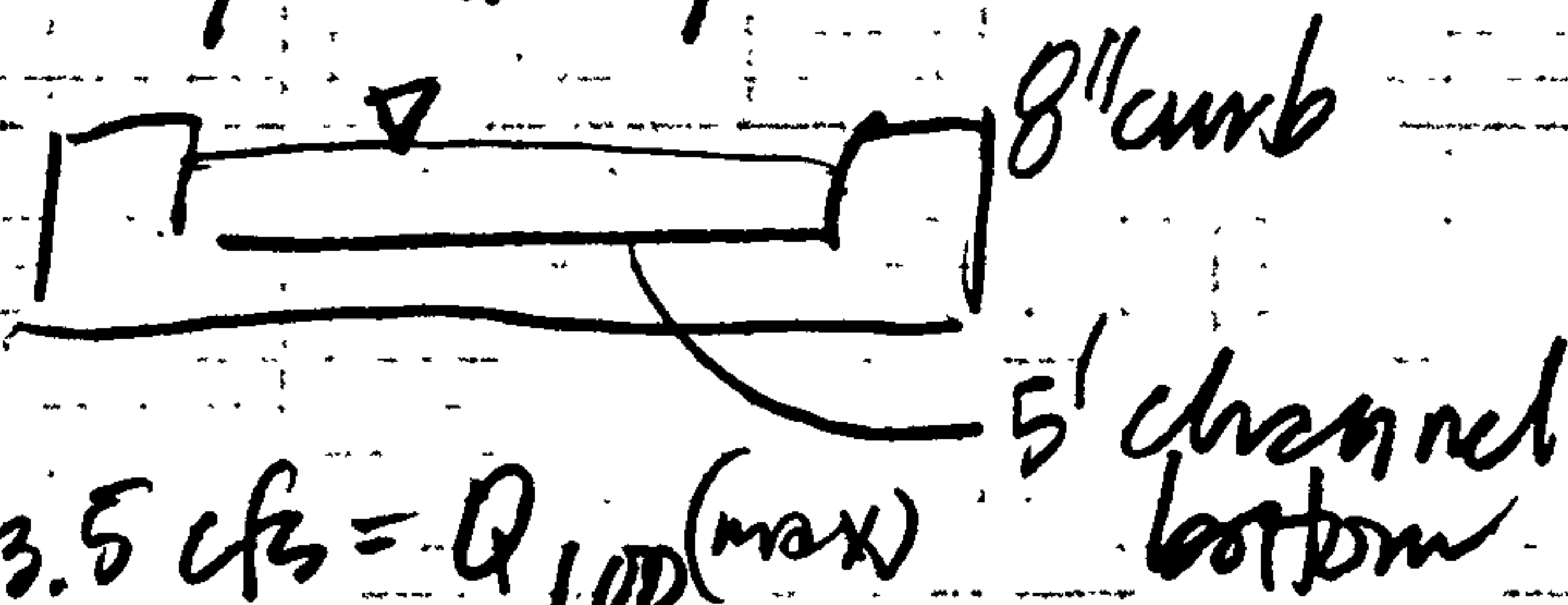
BOHANNAN-HUSTON INC.

PROJECT NAME _____ SHEET 4 OF _____

PROJECT NO. _____ BY _____ DATE _____

SUBJECT _____ CH'D _____ DATE _____

2. @ Channel Mid point,
use Manning's

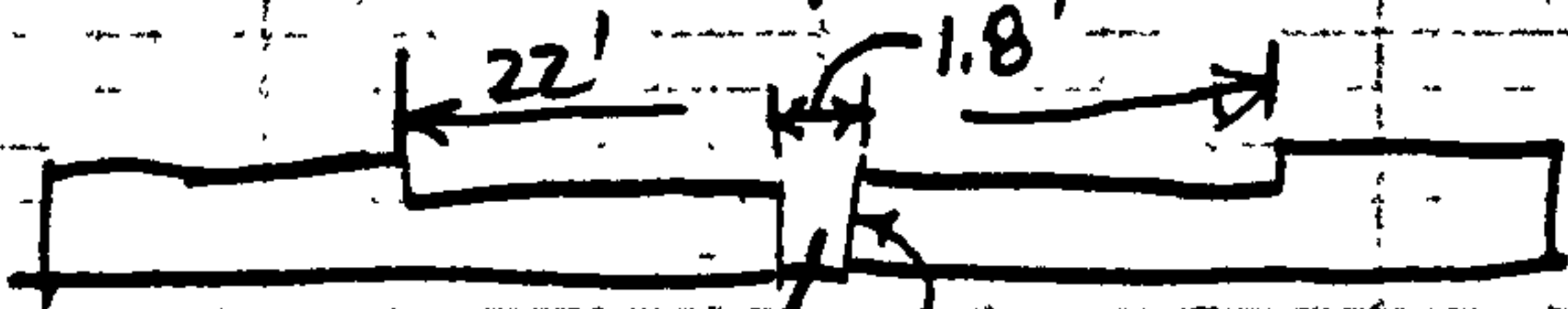


$$13.5 \text{ cfs} = Q_{100(\text{max})}$$

$S = 1\%$ slope

@ flow depth = $0.67'$ ($8"$), $Q_{\text{cap}} = 19.2 \text{ cfs} > 13.5 \text{ cfs}$ OK

3. Weir for both offsite (13.5) & onsite (2.94) flows,...



$Q = 2.94 \text{ cfs}$ (thru $1.8'$ notch)

$$h = \sqrt[2/3]{\frac{Q}{CL}} = \left(\frac{13.5 \text{ cfs}}{3(22)} \right)^{3/2} = 0.35'$$

H. POND VOLUME - LOT 22A only

1. Lot 22A parking area POND A

$$\text{ave. area} = 60' \times 40' = 2400 \text{ sq ft}$$

$$\text{ave depth} = \frac{8''}{2} = 4'' = 0.33'$$

$$\text{Volume} = 0.33' (2400') \approx 800 \text{ cu. ft.}$$

2. POND B

$$\text{ave. depth} = 0.4'$$

$$\text{ave area} = 20' \times 25' = 500 \text{ sq ft}$$

$$\text{Volume} = 0.4' (500') = 200 \text{ cu. ft.}$$



BOHANNAN-HUSTON INC.

PROJECT NAME

SHEET

OF

PROJECT NO.

BY

DATE

SUBJECT

CH'D

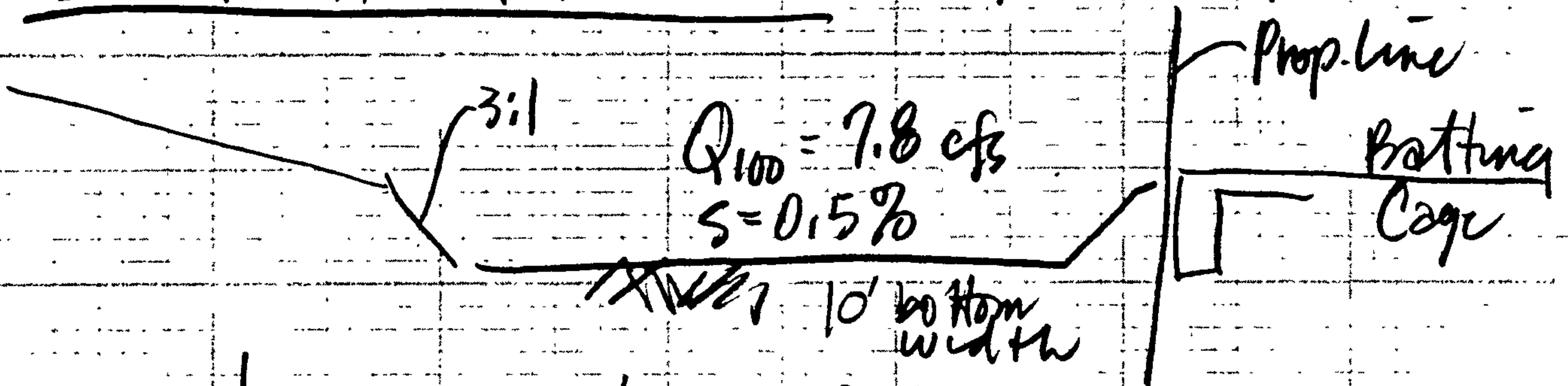
DATE

5

Jame T

3. Total Volume =
800 cf (parking lot) + 200 cf = 1000 cf of water

I. EARTH CHANNEL along north pt of lot 22A



by Manning's, $n = 0.03$,

depth = 0.4', @ $Q = 7.8 \text{ cfs}$

velocity = 1.8 fps, assume non-erosive
velocity < 2.0 fps OK



BOHANNAN-HUSTON INC.

PROJECT NAME _____ SHEET 6 OF _____
PROJECT NO. _____ BY Jan T. DATE _____
SUBJECT _____ CH'D _____ DATE _____

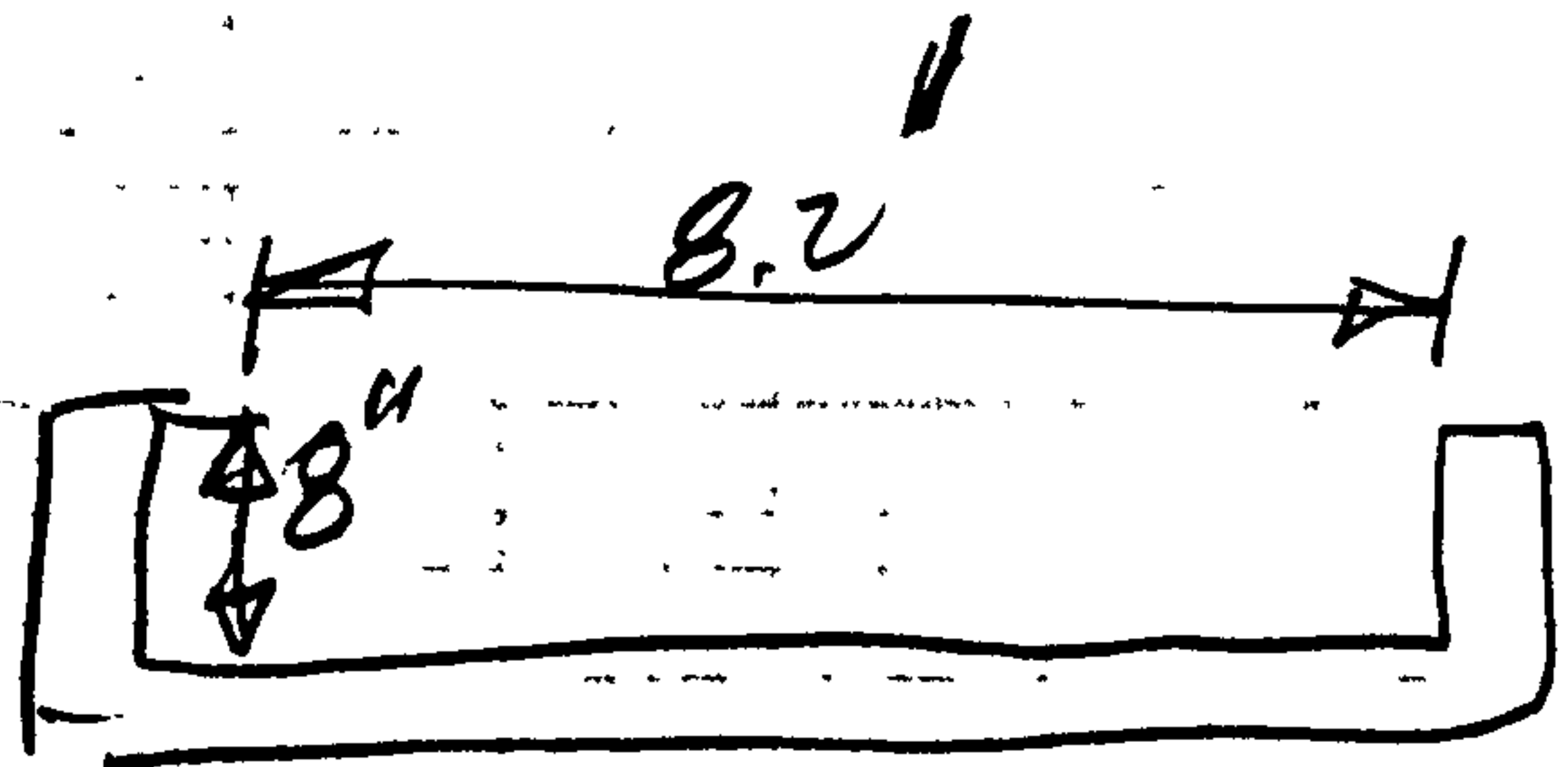
SWALE @ WEST SIDE / LOT 22A

1. $Q_{100} = 1350 \text{ cfs}$ (allowable developed) > 12.1 exist. OK

2. size weir opening @ top of swale (north end)

$$L = \frac{Q}{CH^{3/2}} = \frac{13.5}{3(.67)^{3/2}} = 8.2'$$

* using 8" height of weir

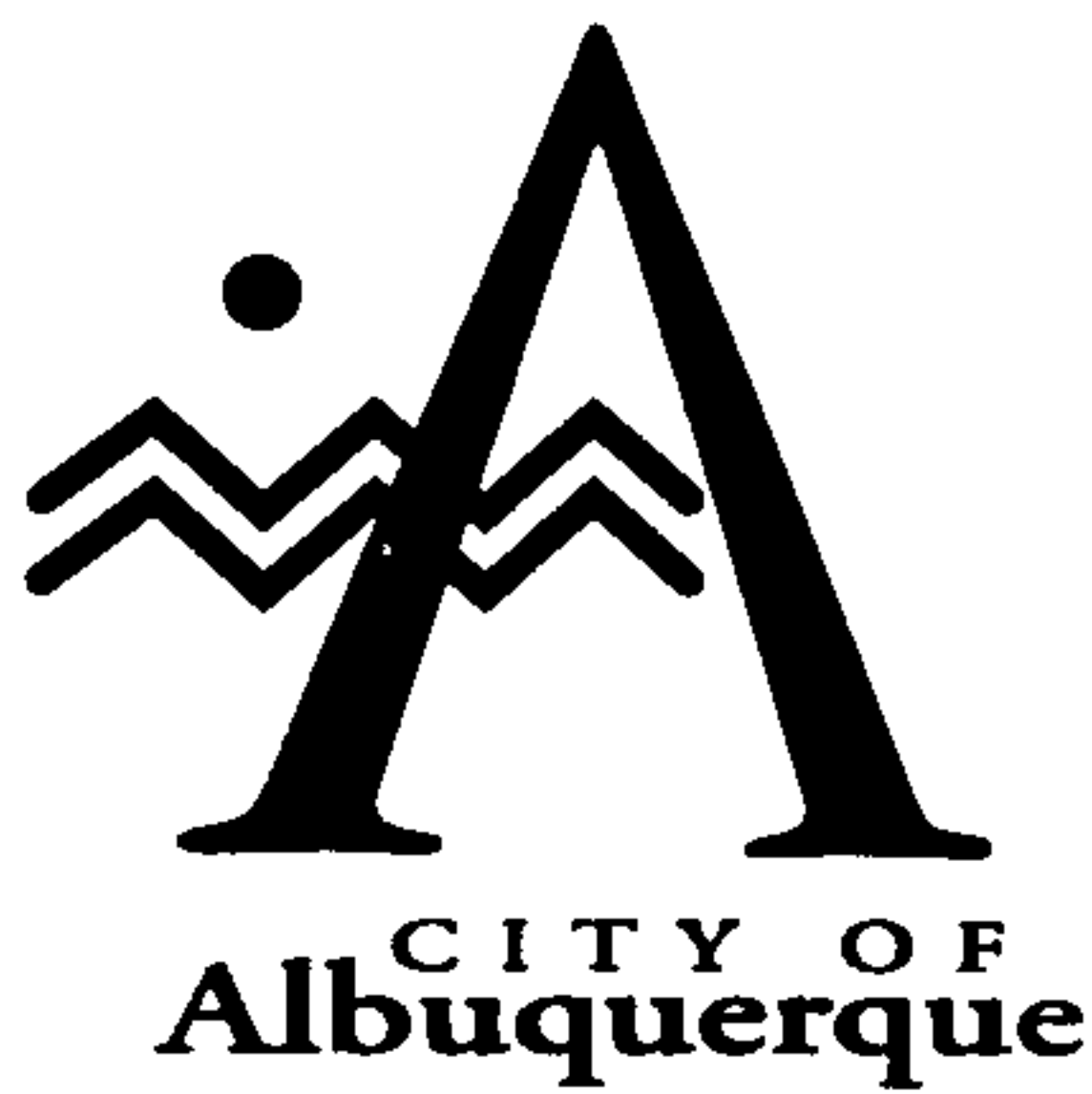


BOHANNAN-HUSTON INC.

PROJECT NAME LOT 22A, 22B, 22C SHEET 7 OF
PROJECT NO. BY JAMES T DATE
SUBJECT CH'D DATE

ULTIMATE GRADING PLAN

PHASE I OFFSITE GRADING PLAN



July 19, 1996

Martin J. Chávez, Mayor
James Topmiller
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: REVISED DRAINAGE PLAN FOR WESTERN WIRELESS
COMMUNICATION FACILITY @ SLUGGER'S BATTING CAGE
(F21-D62)ENGINEER'S STAMP DATED 7/10/96.

Dear Mr. Topmiller:

Based on the information provided on your July 11, 1996
resubmittal, the above referenced site is approved for Building
Permit.

Please attach a copy of this approved plan to the construction
sets prior to sign-off by Hydrology.

Also, Engineer Certification will be required prior to
Certificate of Occupancy release.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File



DRAINAGE INFORMATION SHEET

WESTERN WIRELESS
COMMUNICATIONS FACILITY

PROJECT TITLE: @ SLUGGER'S BATTING CAGE ZONE ATLAS/DRNG. FILE # F21 / D62
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 22A, ROGER SMITH LANDS
CITY ADDRESS: 4565 JUAN TABO NE

ENGINEERING FIRM: BOHANNAN HUSTON, INC.
ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

CONTACT: JAMES TO PMILLER
PHONE: 823-1000

OWNER: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

ARCHITECT: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

SURVEYOR: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

CONTRACTOR: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN (REVISED)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/10/96
BY: JAMES TO PMILLER

JUL 11 1996

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, NE ALBUQUERQUE, NM 87109-4355
TEL (505) 823-1000 FAX (505) 821-0892

July 10, 1996

Mr. Bernie Montoya
Hydrology Division
City of Albuquerque
Public Works Department
P.O. Box 1293
Albuquerque, NM 87103

Re: Revised Drainage Plan for Lot 22, Roger Smith Properties (F21-D62)

Dear Bernie:

The purpose of this letter is to submit to you a revised drainage plan for the referenced property. The revision involved is to show the placement of a communications antenna and a supporting concrete pad for equipment boxes in the northeast corner of the Phase I (batting cage) site.

We have revised both the Phase I grading/drainage plan and the ultimate plan that were originally submitted under this site development. The placement of this small communications facility effects the existing drainage concepts and patterns of this site in no significant manner. The facility is placed at the top of the east property line swale at the high point. Accordingly, no additional drainage calculations are provided. The minor addition of impervious area created by the concrete pad is insignificant.

With this submittal, we are seeking building permit approval for the communications facility identified. If we can answer questions or provide additional material, please feel free to contact me or Paul Wymer at any time.

Sincerely,

James R. Topmiller
Vice President and Group Manager
Community Development and Planning Group

JRT/kc

Enclosure - Revised Drainage Plan

cc: Pat Scartelli, Koll Telecommunications
Paul Wymer, BHI

JUL 11 1996

Grant of Private Drainage Easement between MINATO INC. (USA), a New Mexico corporation, ("Minato") owner of Lot B, Minato Square, whose address is 10721 Montgomery NE, Albuquerque, N.M. 87111, SANDIA ENTERPRISES, INC., a New Mexico corporation ("Sandia") owner of Lot A, Minato Square, whose address is 11013 Double Eagle, NE, Albuquerque, New Mexico, 87111 [Minato and Sandia are collectively referred to herein as "Grantors"], RHS PROPERTIES, INC., a New Mexico corporation, current owner, and future owners of Lot 22, Replat of Lands of Ferrari, Esquibel and Palmer ("Grantee"), whose address is 4101 Morris NE, Albuquerque, N.M. 87111.

1. Grantors grant to Grantee a non-exclusive permanent 10' wide private drainage easement ("Easement") in, over upon and across the portions of Lots A and B, Minato Square, as shown on the Plat of Minato Square recorded in the Bernalillo County, New Mexico real estate records on April 22, 1987, in Vol. C33, Folio 105, as depicted on Exhibits "A" and "B" attached hereto. The Easement is provided for the acceptance of developed drainage from Grantee. The existing 24" RCP pipe will be extended into Lot 22 and minor grading will be conducted within the easement to direct run-off into the pipe. The graded area will be grassed over to the reasonable satisfaction of Grantors. The construction, maintenance, repair, modification or replacement of this graded and extended pipe area shall be the responsibility of the owner or owners of Lot 22. The maintenance, repair, modification, replacement and operation of the existing 24" RCP pipe within this easement area shall be the responsibility of Minato for Lot B, Minato Square, and the responsibility of Sandia for Lot A, Minato Square.

2. Grantee agrees to release this drainage easement at such time as drainage from Lot 22 no longer needs to pass over the Minato Property.

3. Grantee agrees to defend, indemnify and hold harmless the Grantors, its agents and/or employees from and against any and all claims, actions, suits or proceedings of any kind brought against the Grantors as a result of Grantee's use of the Grantors' property. To the extent, if at all, Section 56-7-1, NMSA 1978 is applicable to this Easement, this agreement to indemnify will not extend to liability, claims, damages, losses or expense, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the Grantors, or the agents or employees of the Grantors; or (2) the giving of or the failure to give direction or instructions by the Grantors, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1994 OCT -5 PM 12:43

BK PG
JUDY D. WOODWARD
COUNTY CLERK

5. All expenses associated with culvert extension and subsequent additional landscaping removal and/or replacement as described in Exhibit A shall accrue to Grantee.

The grant and other provisions of this Easement constitute covenants running with the land for the benefit of future owners, its successors and assigns until terminated by Grantee.

GRANTORS:

SANDIA ENTERPRISE, INC., a New Mexico corporation
(Current Owner of Lot A)

By: _____

YASUTAKA TERADA

Secretary/Treasurer

Date: _____

10-5-94

MINATO, INC. (USA),
a New Mexico corporation
(Current Owner of Lot B)

By: _____

YASUTAKA TERADA

President

Date: _____

10-5-94

GRANTEE:

RHS Properties Inc. (Current Owner
of Lot 22)

By: _____

Its: _____

Date: _____

10-5-94

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on October 5th, 1994, by Yasutaka Terada, Secretary/Treasurer of Sandia Enterprises, Inc., a New Mexico corporation, on behalf of said corporation.

My Commission Expires:

3-11-97



Laurie F. Bryan
Notary Public

OFFICIAL SEAL

LAURIE F. BRYAN

NOTARY PUBLIC - STATE OF NEW MEXICO

Notary Bond Filed with Secretary of State

My Commission Expires March 11, 1997

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 5, 1994, by Yasutaka Terada, President of Minato, Inc. (USA), a New Mexico corporation, on behalf of said corporation.

Laurie F. Bryan
Notary Public

My Commission Expires:

3-11-97



OFFICIAL SEAL
LAURIE F. BRYAN
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 3-11-97

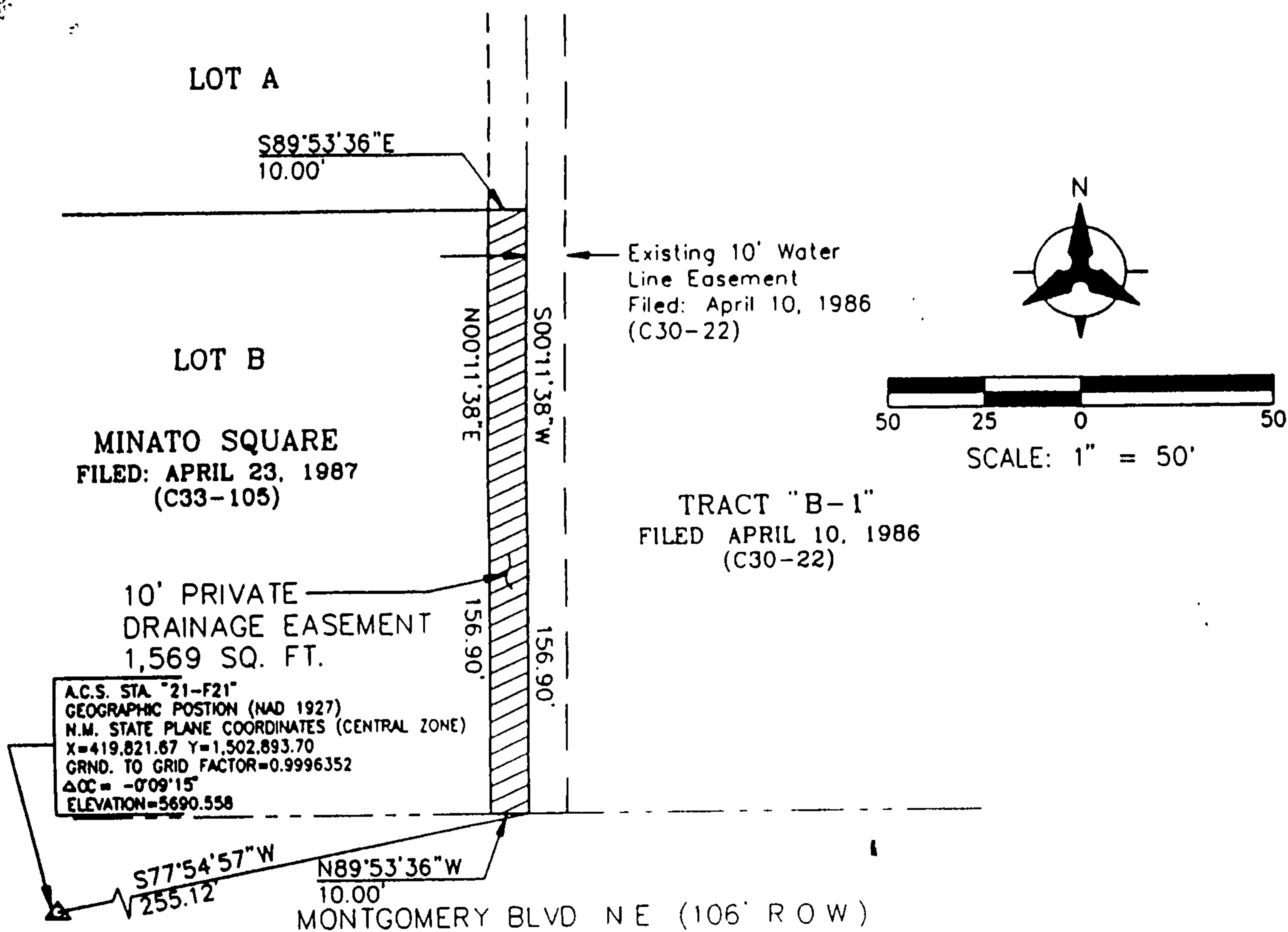
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 10-5-94, 1994, by Robert H. Smith, President of RHS Properties, Inc, a Private corporation on behalf of said corporation.

Robert H. Smith
Notary Public

My Commission Expires: -

July 25, 1998



DESCRIPTION

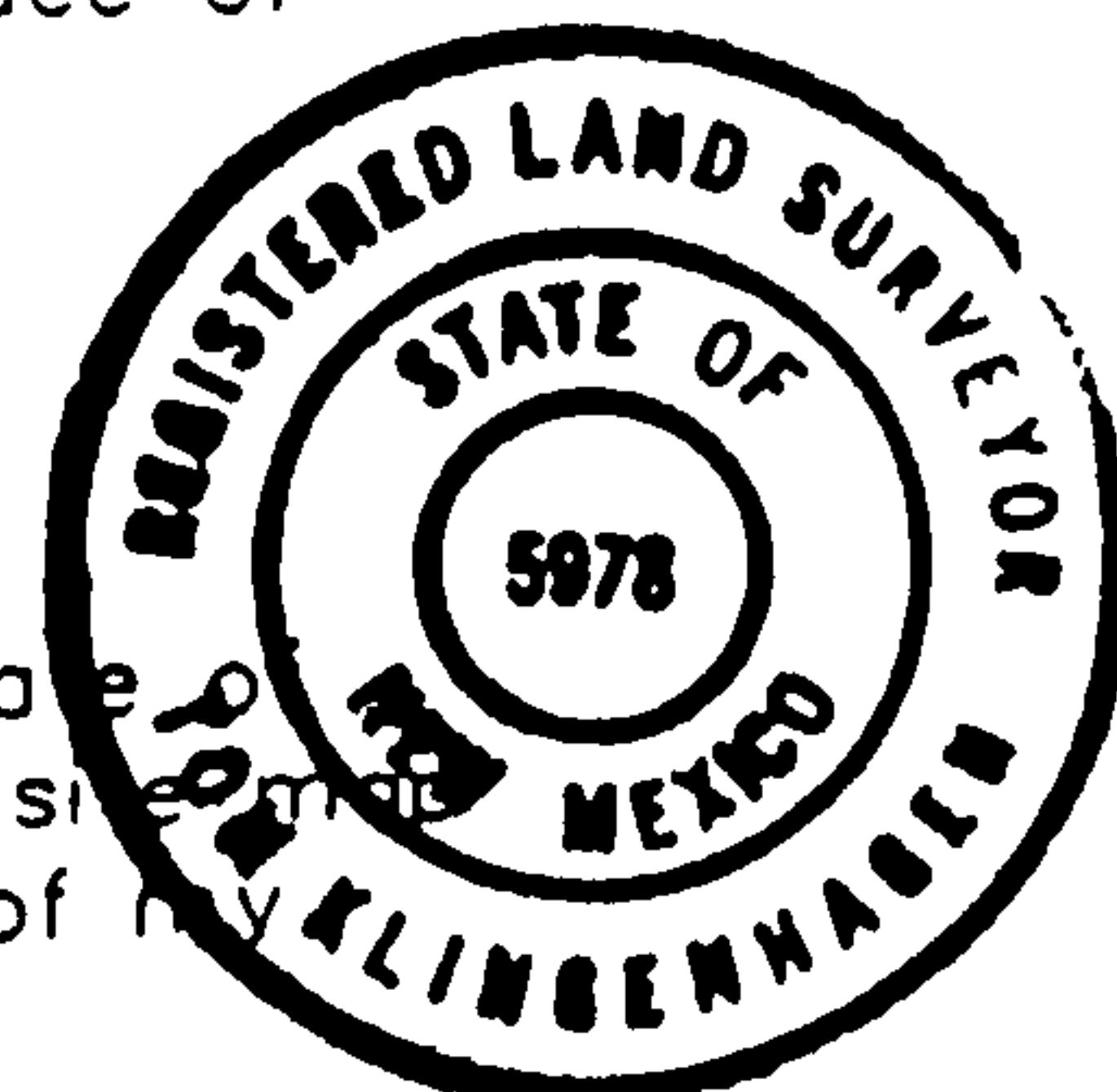
A certain tract of land situate within the southeast one-quarter of Section 33, T11N, R4E, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico. Said tract being a portion of Lot B, MINATO SQUARE, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 23, 1987, in Volume C33, folio 105, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a point on the northerly right-of-way line of Montgomery Blvd. N.E., said point being the southeast corner of the tract herein described, the southeast corner of said Lot B, and also the southwest corner of Tract B-1, REPLAT OF TRACT B OF THE N.W. CORNER OF MONTGOMERY & JUAN TABO BLVDS., N.E., as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 10, 1986, in Volume C30, folio 22, whence the City of Albuquerque survey monument "21-F21", a brass tablet in concrete, having New Mexico State Plane Grid Coordinates for the Central Zone: X=419,821.67, Y=1,502,893.70, bears S77°54'57"W a distance of 255.12 feet; thence along the said northerly right-of-way line and the southerly property line of said Lot B, N89°53'36"W a distance of 10.00 feet to a point; thence N00°11'38"E a distance of 156.90 feet to a point; thence S89°53'36"E a distance of 10.00 feet to a point on the easterly property line of said Lot B; thence along the said easterly property line, S00°11'38"W a distance of 156.90 feet to the point and place of beginning.

This tract contains 1,569 sq ft., more or less.

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered surveyor in the State of New Mexico, hereby certify that the above description and site plan was prepared by me and is true and correct to the best of my knowledge and belief.



BOHANNAN-HUSTON INC.
Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM 87109
(505) 823-1000

Thomas G. Klingenhagen
New Mexico Surveyor No. 5978

Date 8-26-94

2
LIMITS OF GRADING -
DO NOT GRADE
BEYOND 4' FROM
EXISTING BASE-
BALL FENCE
LINE TO CREATE
PEDESTRIAN
ACCESS VAY.
TOP OF DERM
06.0

2
EXISTING CHAIN-
LINK FENCE &
LITTLE LEAGUE
FIELD

3
INSTALL 6' WIDE METAL
SIDEWALK GRATE
OVER ASPHALT
RUN-DOWN CHANNEL
CONSTRUCT PER
C.O.A. STD. DVG.
NO. 2236

TOP OF DERM
ELEV. 03.9

TOP OF DERM
03.9

TIE INTO
EXISTING
GROUND

3
LIMITS OF GRADING
DO NOT GRADE
BEYOND EXIST'G
BASEBALL FENCE
LINE

4:1 MAX. SL.

00.5

05.2 INV.
23.2' WEIR
CHANNEL OPEN'G.

0.63
BATting CAGE
FLOOR ELEV.

BATting CAGE
STRUCTURE

5705

LOT 22A
(SEE SHEET 1 OF 2 FOR GRADING DETAILS)

05.8
CHANNEL

06.5

05.9

9-05%

005.1

05.8

05.8

OFFICE/
RESTROOMS

POND
B

100 YR. WB. ELEV. = 04.9
DEPTH MAX. 12"

04.7

03.9
T.P.

04.0 PL
05.0 TC

BOT. OF SWALE/CHANNEL
5' WIDE

04.1 PL
05.1 TC

03.9

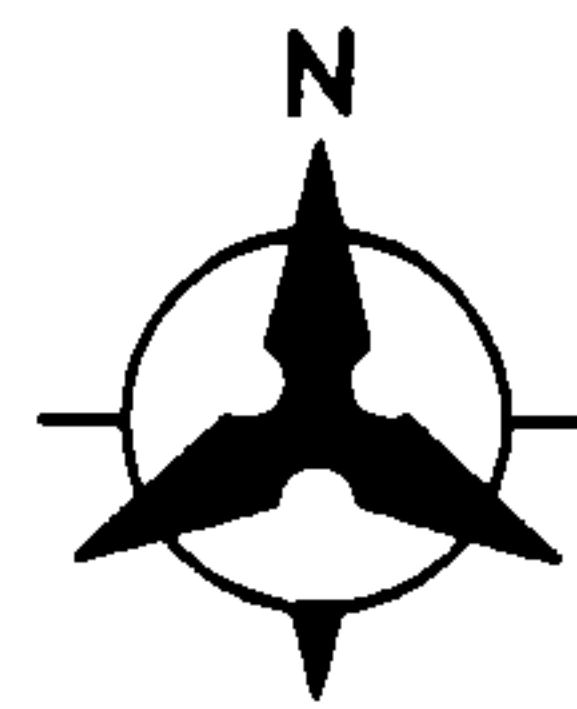
EXIST'G 24" CMP
INV. 01.60
HEAD WATER
ELEV. = 03.9 REQ'D. TO PASS 16.4 CFS

03.4

5705

FND. 5/8" REBAR STAMPED
"TYREE LS NO. 3516"

LOT 21



SCALE: 1" = 50'

City of Albuquerque
Park and Recreation
Land

LOT 22
Replat of Land of
Ferrari-Esquibel-Palmer
filed: April 11, 1985
(C26-192)

NUMBER	BEARING	DISTANCE
T1	N89°58'09"W	15.00'
T2	N00°14'43"E	25.86'
T3	N45°14'43"E	21.21'
T4	S00°14'43"W	40.81'

500 Sq. Ft.

"POINT OF BEGINNING"
FND. 1/2" REBAR STAMPED
"LS NO. 6446"

Lot A
Minato Square
filed: April 23, 1987
(C33-105)

A.C.S. STA. "JT-1A"
GEOGRAPHIC POSITION (NAD 1917)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=420,725.76 Y=1,502,832.03
GRND. TO GRID FACTOR=0.9996336
OC = -0°09'09"
ELEVATION=5721.248

TRACT B-1
filed: April 10, 1986
(C30-22)

DESCRIPTION

A certain tract of land situate within the southeast one-quarter of Section 33, T11N, R4E, N.M.P.M. City of Albuquerque, Bernalillo County, New Mexico. Said tract also being within the unplatted City of Albuquerque Parks and Recreation property adjacent to LOT 22, REPLAT OF LANDS OF FERRARI-ESQUIBEL-PALMER, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 11, 1985, in Volume C26, folio 192, and now being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a 1/2" rebar with a survey cap stamped "LS 6446" at the southeast corner of the tract herein described, also being the southwest corner of said LOT 22, whence the City of Albuquerque survey monument "JT-1A", a brass tablet in concrete, having New Mexico State Plane Grid Coordinates for the Central Zone: X=420,725.76, Y=1,502,832.03, bears S59°03'21"E a distance of 762.02 feet, thence running along the southerly boundary line of the tract herein described, N89°58'09"W a distance of 15.00 feet to the southwest corner of the tract herein described; thence, N00°14'43"E a distance of 25.86 feet to the northwest corner of the tract herein described; thence, N45°14'43"E a distance of 21.21 feet to a point on the westerly boundary line of said LOT 22; thence along the said westerly boundary line of LOT 22, S00°14'43"W a distance of 40.81 feet to the point and place of beginning.

This tract contains 500 square feet (0.0115 of an acre), more or less.

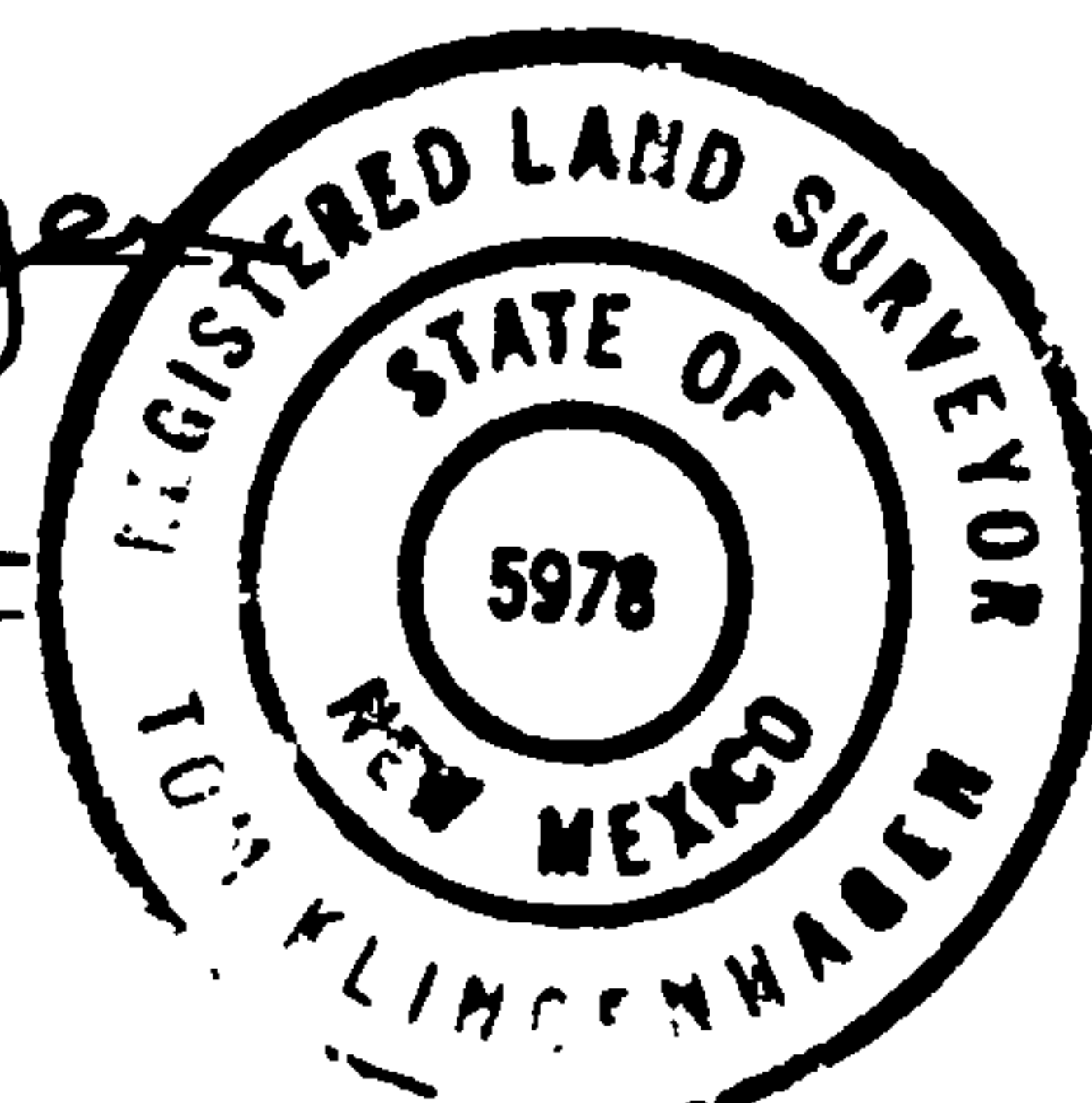
SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Surveyor in the State of New Mexico, hereby certify that the above description was prepared by me and is true and correct to the best of my knowledge and belief.

BOHANNAN-HUSTON INC.
Courtyard I
7500 Jefferson St. NE
Albuquerque, NM 87109
(505)823-1000

Thomas G. Klingenhagen
New Mexico Surveyor No. 5978

Date: 10-19-94





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 18, 1994

James Topmiller
Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: REVISED DRAINAGE PLAN FOR LOT 22 ROGER SMITH PHASE I (F21-D62)
REVISION DATED 10/10/94.

Dear Mr. Topmiller:

Based on the information provided on your October 6, 1994 resubmittal, the above referenced site is approved for Building Permit and Rough Grading. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

Please be advised that a site specific plan will be required for each additional phase.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl/WPHYD/8041

c: Andrew Garcia
Roger Smith
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ROGER SMITH, LOT 22 ZONE ATLAS/DRNG. FILE # F21/D62
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 22A, 22B, 22C, LANDS OF FERRARI-ESQUIBEL-PALMER
 CITY ADDRESS: _____

ENGINEERING FIRM: <u>BOHANNAN HUSTON, INC.</u>	CONTACT: <u>JAMES TOPMILLER</u>
ADDRESS: <u>7500 JEFFERSON NE, ALB. NM 87109</u>	PHONE: <u>823-1000</u>
OWNER: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
ARCHITECT: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
CONTRACTOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL (PERMANENT CO.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/27/95
 BY: JAMES TOPMILLER

FEB 27 1995

February 3, 1995

Mr. Bernie Montoya
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Drainage Certification for Lot 22, Roger Smith, Phase I (F21/D62)

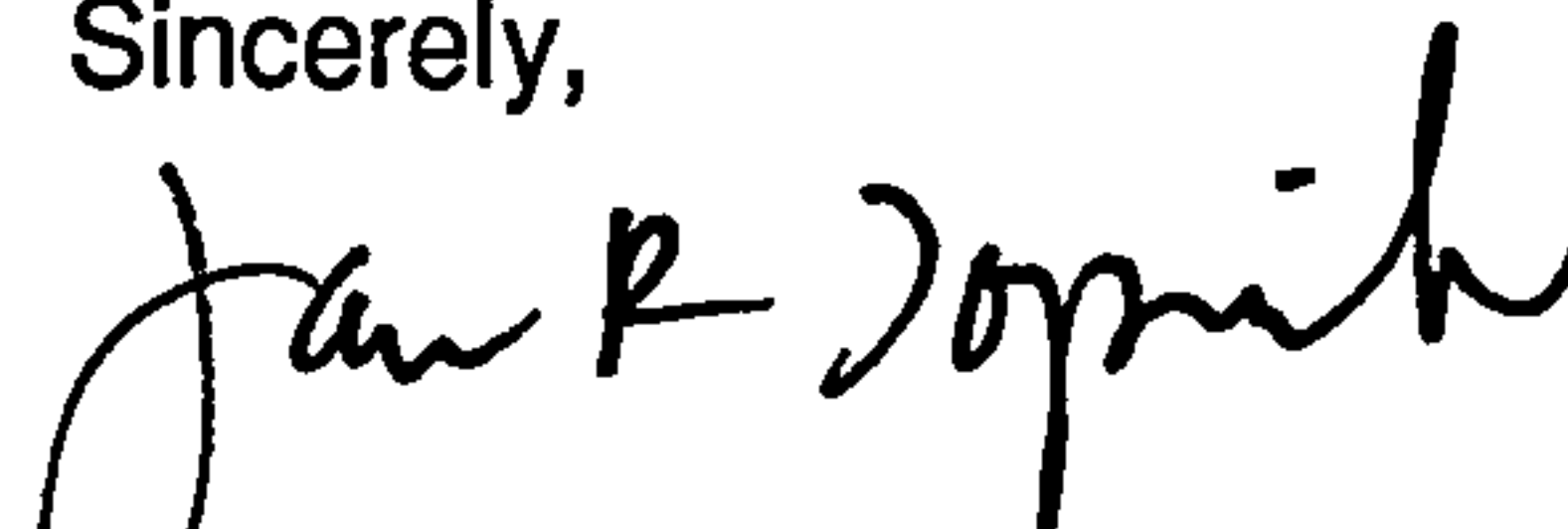
Dear Bernie:

The purpose of this letter is to request temporary Certificates of Occupancy for the referenced batting cage project, called Phase I. Based on my field review of Thursday, February 2, and survey information provided on the enclosed plan, I have found the Phase I site to be in significant conformance with the city approved drainage plan. However, there were also several instances of specific non-conformance in several of the required structures. Accordingly, I provided instructions to the contractor regarding the specific needs and they are currently working on them and I will re-visit the site in the near future.

However, the batting cage was proposed for a Saturday opening and is in urgent need of at least temporary CO's. Accordingly, with this submittal and information, and the commitment to return with a final certification when appropriate, we are requesting your approval of temporary CO's for the Phase I batting cage project.

If I can provide any information or answer any questions, please feel free to contact me at anytime.

Sincerely,

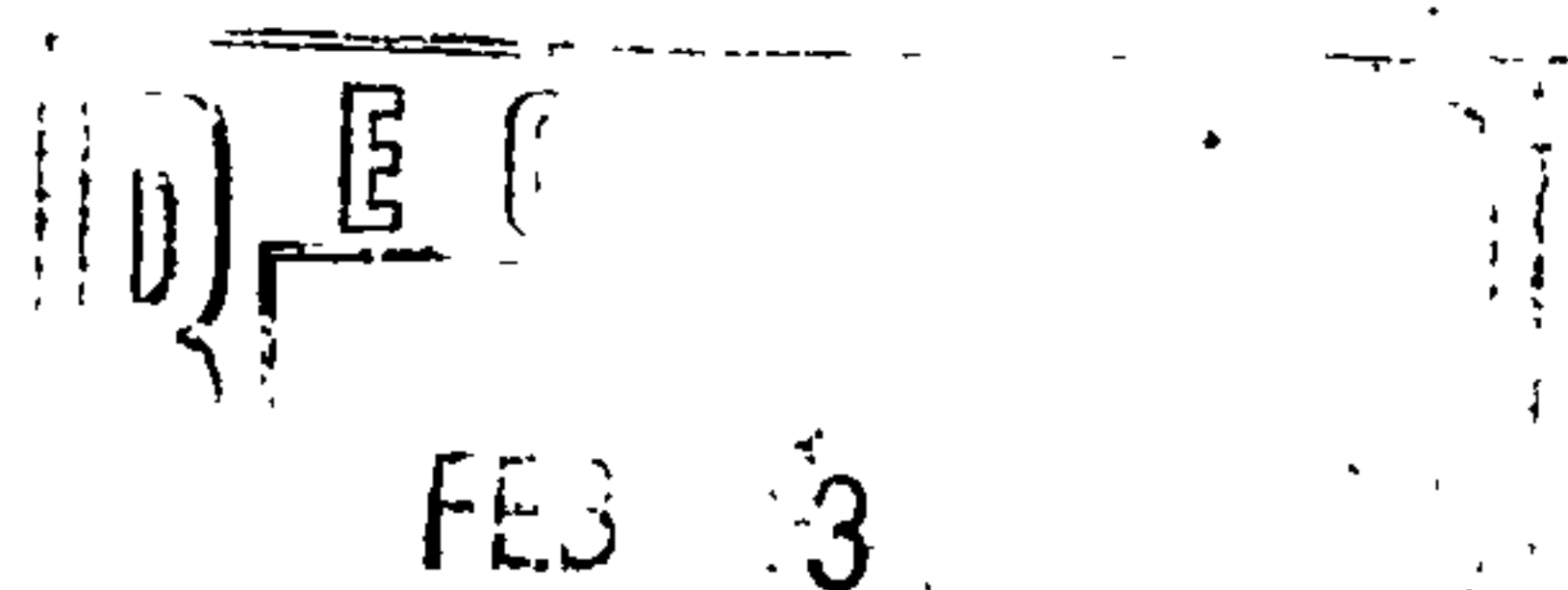


James R. Topmiller, P.E.
Vice President

Community Development and Planning Group

JRT/sh
Enclosure

cc: Dick Mann



I:\CDP\9318044\MONTOYA1.LTR-2/3/95

PRINCIPALS

LARRY W HUSTON, C.P.
MICHAEL M. EMERY, P.E.
BRIAN G. BURNETT, P.E.
KERRY L. DAVIS, P.E.

LARRY A. LARRAÑAGA, P.E.
HOWARD C. STONE, P.E.
WILLIAM L. VREEKE, P.E.
GORDON A. WALHOOD, JR., P.E.

MARY E. CARTER
GEORGE RADNOVICH, R.L.A.
SILAS V. SUAZO
JAMES R. TOPMILLER, P.E.

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
TEL (505) 823-1000 FAX (505) 821-0892

February 24, 1995

Mr. Bernie J. Montoya, C.E. Engineering Associate
Public Works Dept.
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

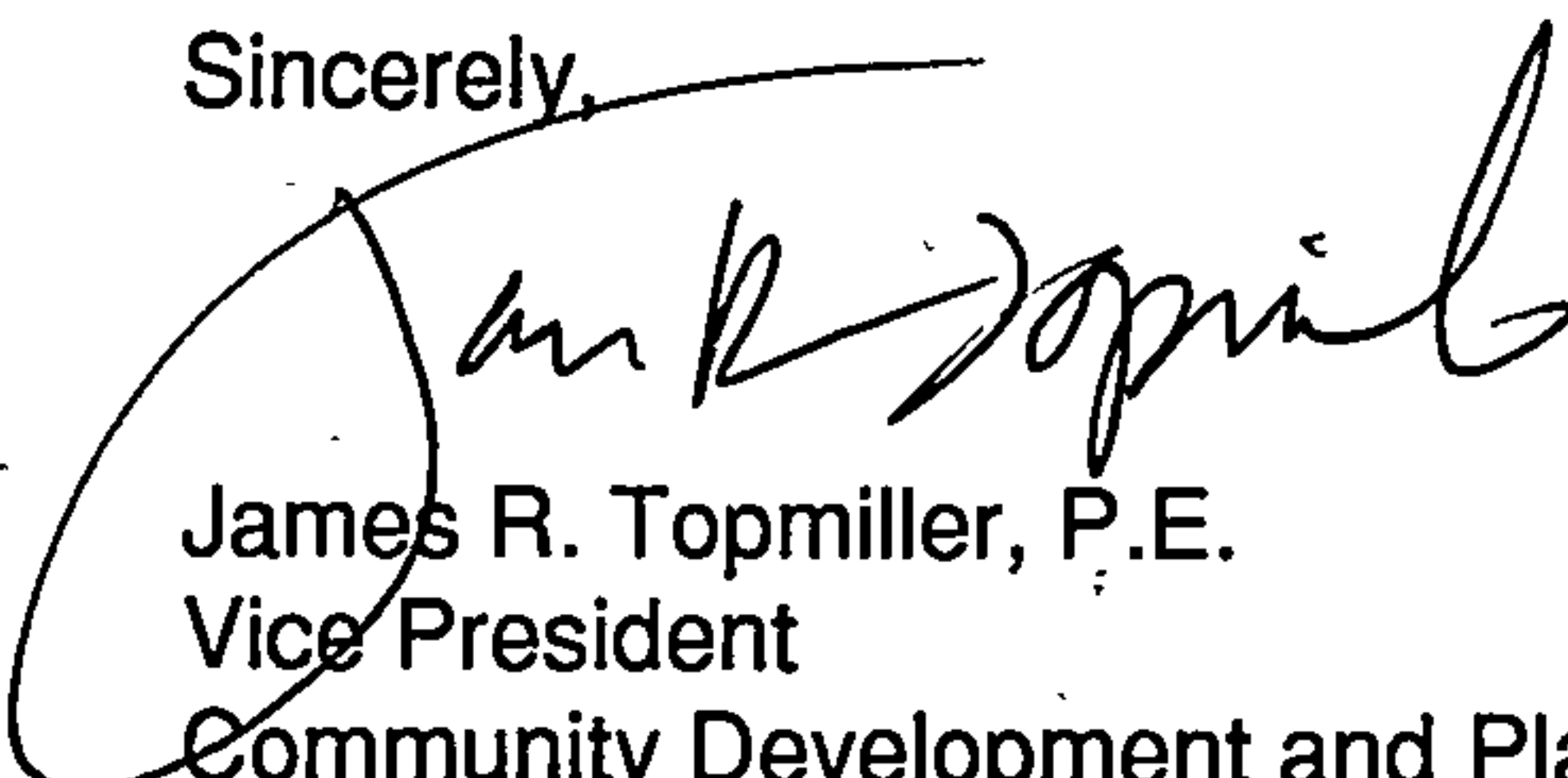
Re: Drainage Certification for Lots 22A, 22B, and 22C, Lands of Ferrari Esquibel & Palmer
(F21/D62)

Dear Bernie:

The purpose of this letter is to submit to you this letter indicating compliance of the above reference project with the approved drainage project in your files. We had originally requested only temporary Certificates of Occupancy to allow the project owner to make several modifications to the work he had initially performed. That work is completed and my latest inspection shows substantial compliance with the approved plan. Enclosed is a revised certification/plan for your files.

Accordingly, we request your approval of permanent Certificates of Occupancy for this project. Please review this at your earliest convenience and I am available for questions if there are any.

Sincerely,


James R. Topmiller, P.E.
Vice President
Community Development and Planning Group

JRT/sh
Enclosure

cc: Dick Mann

I:\CDP\9318044\MONTOYA2.LTR-2/24/95

PRINCIPALS

LARRY W. HUSTON, C.P.
MICHAEL M. EMERY, P.E.
BRIAN G. BURNETT, P.E.
KERRY L. DAVIS, P.E.

LARRY A. LARRAÑAGA, P.E.
HOWARD C. STONE, P.E.
WILLIAM L. VREEKE, P.E.
GORDON A. WALHOOD, JR., P.E.

MARY E. CARTER
GEORGE RADNOVICH, R.L.A.
SILAS V. SUAZO
JAMES R. TOPMILLER, P.E.

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
TEL (505) 823-1000 FAX (505) 821-0892

FEB 27 1995



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 2, 1995

James Topmiller
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR CERTIFICATE OF OCCUPANCY FOR
BATTING CAGES ON LOT 22A PHASE I (F21-D62) CERTIFICATION
STATEMENT DATE 2/24/95.

Dear Mr. Topmiller:

Based on the information provided on your February 27, 1995
resubmittal, Engineer Certification for the above referenced site
is acceptable.

If I can be of further assistance, please feel free to call me at
768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 13, 1995

James Topmiller
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR TEMPORARY CERTIFICATE OF
OCCUPANCY FOR BATTING CAGES ON LOT 22A PHASE I
(F21-D62) CERTIFICATION STATEMENT DATED 2/3/95
SHEETS 3 & 3B.

Dear Mr. Topmiller:

Based on the information provided on your February 3, 1995
submittal, temporary Certificate of Occupancy may be granted at
this time until the final corrections are completed.

Final Engineer Certification will be required prior to release of
the permanent Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
Roger Smith
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PHASE 1, LOT 22, ROGER SMITH ZONE ATLAS/DRNG. FILE # F21/D62
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOTS 22A, LANDS OF FERRARI-ESQUIBEL-PALMER
CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN HUSTON, INC.
ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

CONTACT: JAMES TOPMILLER
PHONE: 823-1000

OWNER: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

ARCHITECT: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

SURVEYOR: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

CONTRACTOR: _____
ADDRESS: _____

CONTACT: _____
PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/3/95
BY: JAMES TOPMILLER

RECEIVED
FEB 3

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LOT 22 (ROGER SMITH DEVELOPMENT) ZONE ATLAS/DRNG. FILE # F21-D62
 DRB #: 73-36 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT 22, LANDS OF FERRARI-ESQUIBEL-PALMER
 CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN HUSTON, INC.
 ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109
 OWNER: ROGER SMITH
 ADDRESS: 401 MORRIS DR 87114
 ARCHITECT: SAME AS ENGINEER
 ADDRESS: _____
 SURVEYOR: _____
 ADDRESS: _____
 CONTRACTOR: _____
 ADDRESS: _____

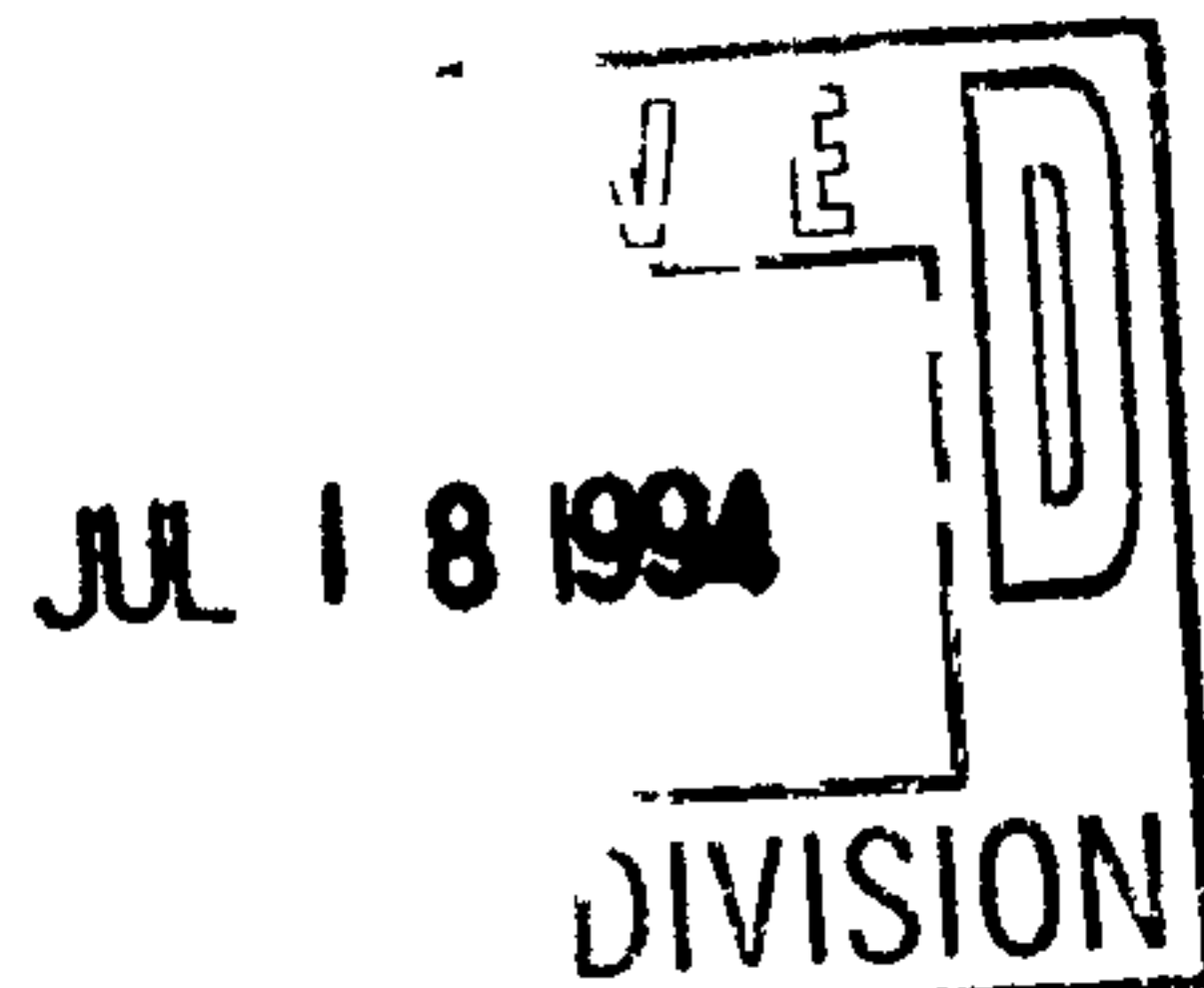
CONTACT: James Topmiller
 PHONE: 823-1000
 CONTACT: Roger Smith
 PHONE: 294-1555
 CONTACT: _____
 PHONE: _____
 CONTACT: _____
 PHONE: _____
 CONTACT: _____
 PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER ROUGH GRADING (SPECIFY)

DATE SUBMITTED: 7.14.94
 BY: JAMES TOPMILLER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 11, 1993

James Topmiller
Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: CONCEPTUAL DRAINAGE PLAN FOR LOT 22 ROGER SMITH (F21-D62)
ENGINEER'S STAMP DATED 9/13/93.

Dear Mr. Topmiller:

Based on the information provided on your September 14, 1993 submittal, listed are some concerns that will need to be addressed prior to final approval for site plan:

1. Easement for the existing 24 R.C.P. outfall from Minato Square towards Montgomery must be obtained. There is no easement of record to be found.
2. Master plan for Montgomery Business Park identifies 16.4 cfs of off-site flows entering Minato at the northwest corner. Are the identified off-site flows shown of 16.4 cfs developed or undeveloped?
3. You must also identify proposed easements that will allow the off-site flows to enter your clients property.
4. Your developed flow rate is 5.7 cfs, your identified off-site flows are 5.5 cfs. What happened to the remaining 5.2 cfs?

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE

BJM/d1/WPHYD/8041

xc: 

PUBLIC WORKS DEPARTMENT

July 12, 1994

Mr. Bernie J. Montoya, C.E.
Hydrology Division, Public Works Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Drainage Plan Submittal for Lot 22 (Roger Smith F-21-D62)

Dear Bernie:

The purpose of this letter is to submit a Drainage Report, including grading plan, for the above referenced development. We are currently requesting Site Development Plan approval at DRB for the subdivision of Lot 22 into three separate tracts of land. We are also requesting with this submittal building permit for the westernmost lot, Lot 22A, the first phase of development. There remain several easements or other authorization required to finally execute the plan provided herein. These easements/authorizations are specifically described in the conclusion of this report. If possible, we request that the Site Development Plan be approved at this point with the requirement to obtain the easements prior to building permit.

The following addresses your comments provided on October 11, 1993, regarding the Conceptual Drainage Plan submitted at that time:

1. We are seeking a private drainage easement from Minato Square at this time. When executed and available, we will submit this easement to you immediately.
2. We have interpreted the 16.4 cfs requirement for offsite flows entering Minato to be a maximum developed flow. In other words, under the development of the upstream basin, no more than 16.4 cfs may enter the 24" pipe across Minato. This requires controlled discharge and minor detention on upstream developments.
3. With the proposed plat for this property that subdivides Lot 22 into three lots, easements for offsite flows will be provided.
4. I apologize for any confusion in the last Conceptual Drainage Plan submittal. In the plan provided herein, an allowable flow rate from offsite basins is 13.5 cfs while onsite, the allowable discharge rate will be 2.94 cfs. This combines to a total discharge rate to the existing 24" outlet pipe of 16.4 cfs.

I:\CDP\9318044\MONTOYA LTR-7/12/94

PRINCIPALS

LARRY W HUSTON, C P
MICHAEL M EMERY, P E
BRIAN G BURNETT, P E
KERRY L DAVIS, P E

LARRY A LARRAÑAGA, P E
HOWARD C STONE, P E
WILLIAM L VREEKE, P E
GORDON A WALHOOD, JR., P E

MARY E CARTER
GEORGE RADNOVICH, R L A
SILAS V SUAZO
JAMES R TOPMILLER, P E

JUL 18 1994

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
TEL (505) 823-1000 FAX (505) 821-0892

Mr. Bernie Montoya
July 12, 1994
Page 2

Please review this submittal at your earliest convenience. We hope to resubmit to DRB for Site Plan approval in the very near future. If we can provide any additional information or answer any questions, please feel free to contact me.

Sincerely,



James R. Topmiller, P.E.
Vice President
Community Development and Planning

JRT/jk
Enclosure

cc: Paul Wymer

RECEIVED

JUL 18 1994

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Boger Smith ZONE ATLAS/DRNG. FILE # F-21/DU2
 DRB #: _____ EPC #: Z-93-99 WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT 22, LANDS OF FERRARI, ESQUIBEL & PALMER
 CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN HUSTON, INC.
 ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

CONTACT: JAMES R. TOPMILLER
 PHONE: 823-1000

OWNER: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

ARCHITECT: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

SURVEYOR: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

CONTRACTOR: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN
X CONCEPTUAL GRADING & DRAINAGE PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
X S. DEV. PLAN FOR SUB'D. APPROVAL
X S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

____ YES
X NO
 ____ COPY PROVIDED

DATE SUBMITTED:

9/13/93

BY:

JAMES TOPMILLER

SEP 14 1993



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 3, 1994

James Topmiller
Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR LOT 22 ROGER SMITH (F21-D62) ENGINEER'S
STAMP DATED 7/13/94.

Dear Mr. Topmiller:

Based on the information provided on your July 18, 1994 submittal and the concerns we have received from the adjacent property owner, we are unable to accept your submittal for the approvals sought.

Because of the complexity of the site, it is imperative that the required off-site easements be obtained prior to resubmittal.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYd/8041

c: Andrew Garcia
Roger Smith
File

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
 TEL (505) 823-1000 FAX (505) 821-0892

October 6, 1994

Bernie Montoya, C.E.
 Hydrology Section
 City of Albuquerque
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Re: Lot 22, Lands of Ferrari, Esquibel and Palmer (Roger Smith)
 Revised Drainage/Grading Plan (F-21/D62)

Dear Bernie:

In accordance with our conversation of October 5, 1994, enclosed is the revised drainage/grading plan for the referenced project. It incorporates the plan revisions required to comply with the comments you made.

We are requesting rough grading approval as soon as possible, and building permit from your office. The easements from Minato's, the property owner to the north (Palmer) and the City Parks Department have all been resolved and documents were left with you yesterday confirming this.

If you have any questions or require further information, please call me.

Sincerely,

James R. Topmiller, P.E.
 Vice President
 Community Development and Planning

mls
 Enclosures

cc: Mr. Roger Smith
 Mr. Paul Wymer

BHI_ADMIN:[SECPOOL.CDP.9318043]montoya.dng

10/6/94
 OCT 6 1994

PRINCIPALS

LARRY W. HUSTON, C.P.

MICHAEL M. EMERY, P.E.

BRIAN G. BURNETT, P.E.

KERRY L. DAVIS, P.E.

LARRY A. LARRAÑAGA, P.E.

HOWARD C. STONE, P.E.

WILLIAM L. VREEKE, P.E.

GORDON A. WALHOOD, JR., P.E.

MARY E. CARTER

GEORGE RADNOVICH, R.L.A.

SILAS V. SUAZO

JAMES R. TOPMILLER, P.E.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 22, Longs, Sean, & Palmer ZONE ATLAS/DRNG. FILE # F-21/1562DRB #: 93-366 EPC # 0 WORK ORDER #: _____LEGAL DESCRIPTION: Lot 22, Longs, SeanCITY ADDRESS: Montgomery (between Glen Dale & Morris) NBENGINEERING FIRM: BOHANNAN HUSTON, INC.ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109OWNER: RHS PropertiesADDRESS: 4101 Morris NB

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: James TopmillerPHONE: 823-1000CONTACT: Roger Smith

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☐ OTHER

PRE-DESIGN MEETING:

☐ YES☐ NO☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ BUILDING PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☒ OTHER FOUND (SPECIFY)GRADINGDATE SUBMITTED: 10/6/94

OCT 6 1994

BY: JAMES TOPMILLER

**BOHANNAN-HUSTON INC.**

ENGINEERS

ARCHITECTS

PHOTOGRAMMETRISTS

SURVEYORS

COURTYARD I, 7500 JEFFERSON NE, ALBUQUERQUE, NM 87109 TEL: (505) 823-1000 FAX: (505) 821-0892

FACSIMILE TRANSMITTAL COVER SHEET

Date: 8/29/94FAX No.: 708-3629To: MR. BERNIE MONTOLACompany: COA HYDROLOGYFrom: PAUL WYMERJob No.: 93180.43Job Name: ROGER SMITH: LOT 22Number of pages (Including this cover page): 6RE: OFF-SITE GRADING FOR DEVELOPMENT OF LOT 22, NEAR MONTICOMERY
AND JUAN TABO (NORTHWEST CORNER).

Comments: _____

BERNIE,

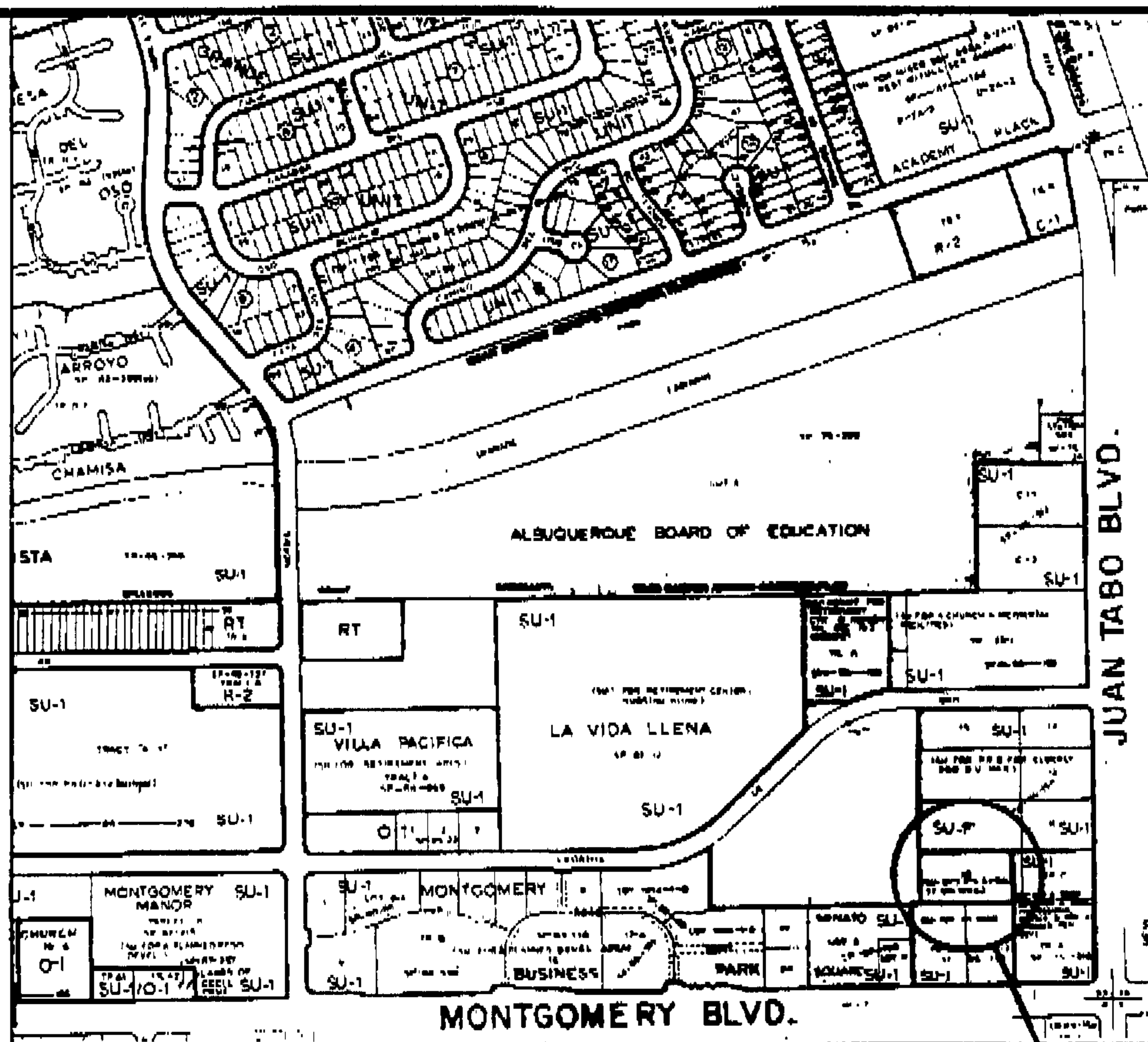
IN ACCORDANCE WITH YOUR REQUEST OF JAMES TOPMILLER LAST
FRIDAY, ATTACHED ARE COPIES OF THE OFF-SITE GRADING AREA
WHICH IS THE SUBJECT OF DISCUSSION BETWEEN THE OWNER OF
LOT 22 (ROGER SMITH) AND THE OWNER OF THE PARCEL ON WHICH
THE GRADING WILL OCCUR (LOT 21; OWNER: ROSEANNE PALMER/LAFON).
ALSO ATTACHED IS A COPY OF THE AGREEMENT, WRITTEN BETWEEN
THE TWO PARTIES BY MS. PALMER'S ATTORNEY (MR. JERRY COLLINS).
I HAVE CIRCLED A PARAGRAPH IN THIS AGREEMENT THAT IS THE
ONLY PORTION OF IT THAT MY CLIENT DOES NOT AGREE WITH.
IT IS THIS PARAGRAPH THAT WE WOULD LIKE TO DISCUSS FURTHER IN OUR
UPCOMING MEETING.

-PAUL

Original to Follow: ☐ Yes ☒ NoIf you do not receive all pages, please contact RECEPTIONIST

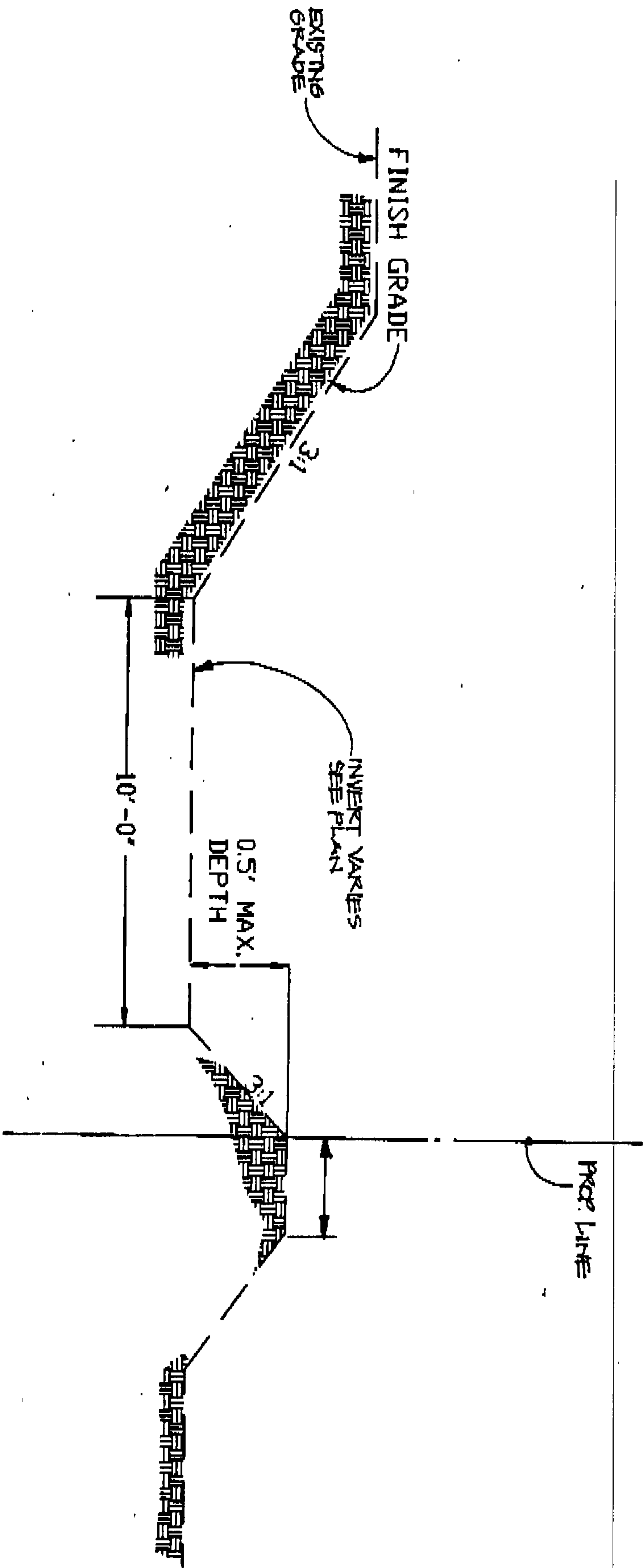
SD,
DATA.)

SIDEWALK

ZONE ATLAS
MAP F-21LOCATION MAP
NO SCALEPROJECT
SITE

110' ±

110' ±



SECTION D-D

NOT TO SCALE

SECTION

**GRADING, DRAINAGE AND
MAINTENANCE EASEMENT AGREEMENT**

THIS AGREEMENT is made this 16th day of August, 1994 by and between ROSEANNE PALMER LA FON, a married woman dealing with her sole and separate property (hereinafter the "Grantor"), and ROGER SMITH (hereinafter the "Grantee").

WHEREAS, Grantor is the fee simple owner of Lot 21, Lands of Ferrari, Esquibel and Palmer (hereinafter "Lot 21"); and

WHEREAS, Grantee is the fee simple owner of Lot 22, Lands of Ferrari, Esquibel and Palmer (hereinafter "Lot 22"); and

WHEREAS, Grantee desires a grading easement along the southern boundary of Lot 21 for grading and drainage onto Lot 22 (hereinafter the "Easement"); and

WHEREAS, Grantor is willing to grant the Easement.

NOW, THEREFORE, in consideration of the mutual agreements hereinbelow, Grantor and Grantee agree as follows:

1. Grantor hereby grants to Grantee an exclusive easement upon, over and across the southern boundary of Lot 21 for grading by RHS Properties, Inc.

2. All expenses associated with the grading and maintenance of the Easement will be paid for by Grantee, its agents, successors and assigns.

3. All excess soil resulting from the grading operation which originated on Lot 21 is to be stockpiled on Lot 21 in a location acceptable to and designated by Grantor.

4. All existing fill materials currently being stored on Lot 21 will not be utilized by Grantee for the benefit of the development of Lot 22.

5. Grading on Lot 21 will be accomplished in a gradual manner to avoid steep slopes or drop-off areas and in no manner shall diminish the value of Lot 21.

6. A drainage easement will be platted along the western boundary of Lot 22 which will accept surface drainage from Lot 21.

7. Maintenance of the ^{AREA} Easement on Lot 21 which will be regraded will be at the expense of the Grantee for the entire time the Easement is utilized for drainage.

8. If at any time the grading and/or drainage plan must be changed to satisfy any governmental requirements, for any reason including, but not limited to, construction on Lot 21, Grantee shall pay for any and all costs and expenses associated therewith.

IN WITNESS WHEREOF, the parties hereto set their hands on the date first written above.



ROSEANNE PALMER LA FON

ROGER SMITH

September 13, 1993

Mr. Fred Aguirre
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Conceptual Drainage Plan Submittal for Lot 22, Lands of Ferrari, Esquibel and Balmer (F-21)

Dear Fred:

The purpose of this letter is to submit to you a Conceptual Drainage Plan for the above referenced proposed development. This submittal is in support of an Environmental Planning Commission Site Development Plan action coming before the EPC in September (Z-93-99). Accordingly, we are requesting approval of this Conceptual Drainage Plan for Site Development Plan and Site Plan for Subdivision purposes.

The proposed development is an office and batting cage development. A single lot (Lot 22) is proposed for subdivision into three new tracts. Two of the tracts will each hold a small office facility and the third tract will hold a batting cage facility.

The drainage management scheme for this development is proposed to be comprised of controlled discharge using detention pond facilities and cross-lot drainage easements. The plan and required discharge calculations are enclosed.

Please feel free to contact me at any time if I can provide any additional information or answer any questions.

Sincerely,



James Topmiller, P.E.
Project Manager
Community Development and Planning

JRT/jk
Enclosure

cc: Paul Wymer, Bohannon-Huston Inc.
Roger Smith, Roger Smith Homes

\\odp\9318041\aguirre ltr-9/13/93

SEP 14 1993
CITY OF ALBUQUERQUE

PRINCIPALS

LARRY W HUSTON, C P
MICHAEL M EMERY, PE
BRIAN G BURNETT, PE

KERRY L DAVIS, PE
ROBERT G KLETZLI
LARRY A LARRAÑAGA, PE

HOWARD C STONE, PE
WILLIAM L VREEKE, PE
GORDON A WALHOOD JR, PE

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
TEL (505) 823-1000 FAX (505) 821-0892