



**Planning Department
Transportation Development Services**

May 1, 2015

Mr. Herr
Slagle Herr Architects, Inc.
413 2nd St., SW
Albuquerque, NM 87102

**Re: HLP Endodontics
10429 Lagrima De Oro NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 4-23-15 (F21-D063)

Dear Mr. Slagle,

Based upon the information provided in your submittal received 4-28-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

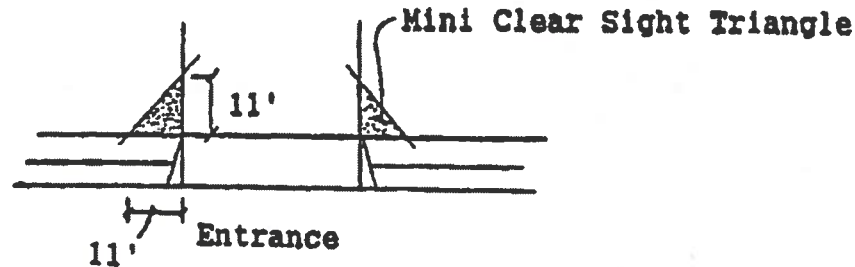
New Mexico 87103

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1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. Identify the right of way width, medians, curb cuts, and street widths on Lagrima De Oro Rd.
3. Please list the width and length for all parking spaces. The parking spaces on the west end of the proposed parking lot do not show a width dimension.
4. Clearly show the location of the motorcycle parking.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger. Please clarify the radii on the north end of proposed building.
8. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.



9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. The Handicap pathway must be a continuous 6 ft. wide. As detailed on your drawing, the handicap pathway narrows to 3 ft. 4 inches. Please design so that a 6 ft. wide pathway is provided for ADA accessibility into the proposed building.
10. Design delivery vehicle route needs to be shown.
11. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). A Mini-Clear Sight Triangle needs to be maintained starting at the sidewalk and measuring 11 ft. on a side, as shown below.



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12. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
13. Please specify the City Standard Drawing Number when applicable. Please add COA Standard # 2425 and 2430 to Key Note No.1. Please change Key Note No. 23 to clarify that it is referring to ADA Ramp Detail No.15. Please add "(12:1 Max)" to Key Note No.2 of the Enlarged Entry Plan detail, referring to the ADA ramp.
14. Work within the public right of way requires a work order with DRC approved plans.
15. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
16. Please include two copies of the traffic circulation layout at the next submittal.

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jeanne Wolfenbarger', is written over the typed name.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

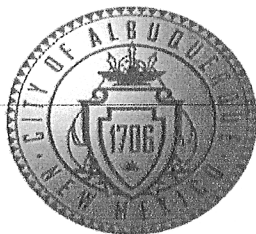
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CO Clerk

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP Endodontics Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1-A Lands of Bryant and Witaker

City Address: 10429 Lagrima de Oro NE, Albuquerque, NM

Engineering Firm: Rio Grande Engineering Contact: David Soule

Address: 1606 Central Ave, SE, Suite 201 Albuquerque, NM 87106

Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: HLP Endodontics Contact: Scott Connely

Address: 10409 Montgomery Parkway NE, Ste 109 Albuquerque, NM 87111

Phone#: 505 291-8630 Fax#: _____ E-mail: Scott.Connely @sandia .org

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle

Address: 413 Second Street SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: Harris Surveying Contact: Robert Guterrez

Address: 2412-d Monroe St NE, Albuquerque NM 87110

Phone#: 505 889 8056 Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

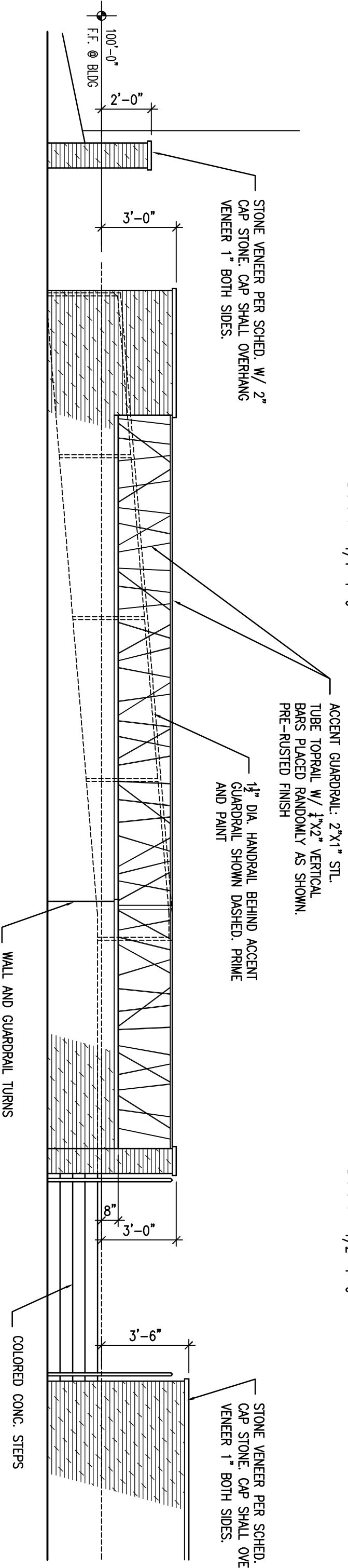
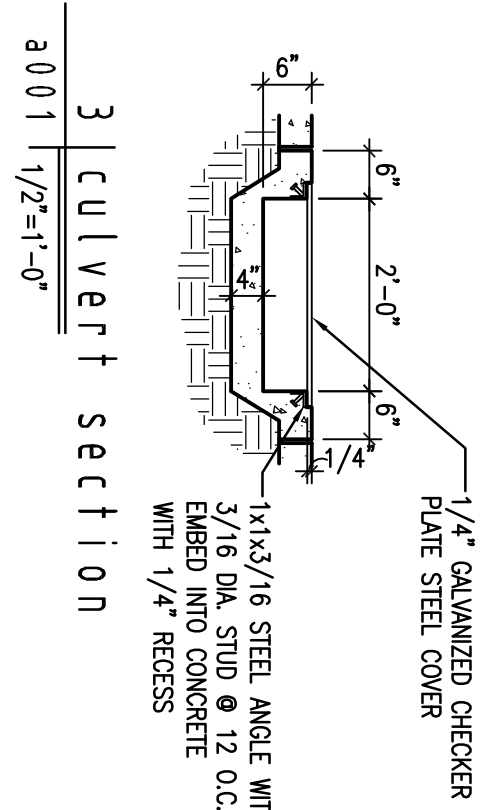
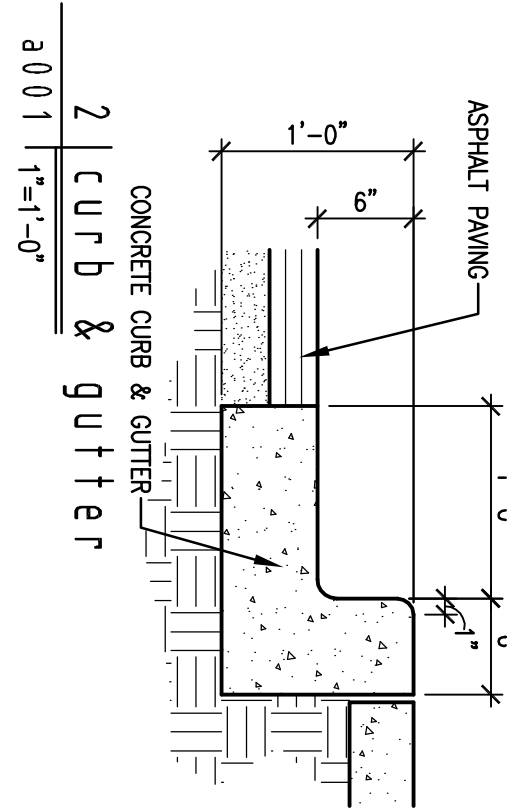
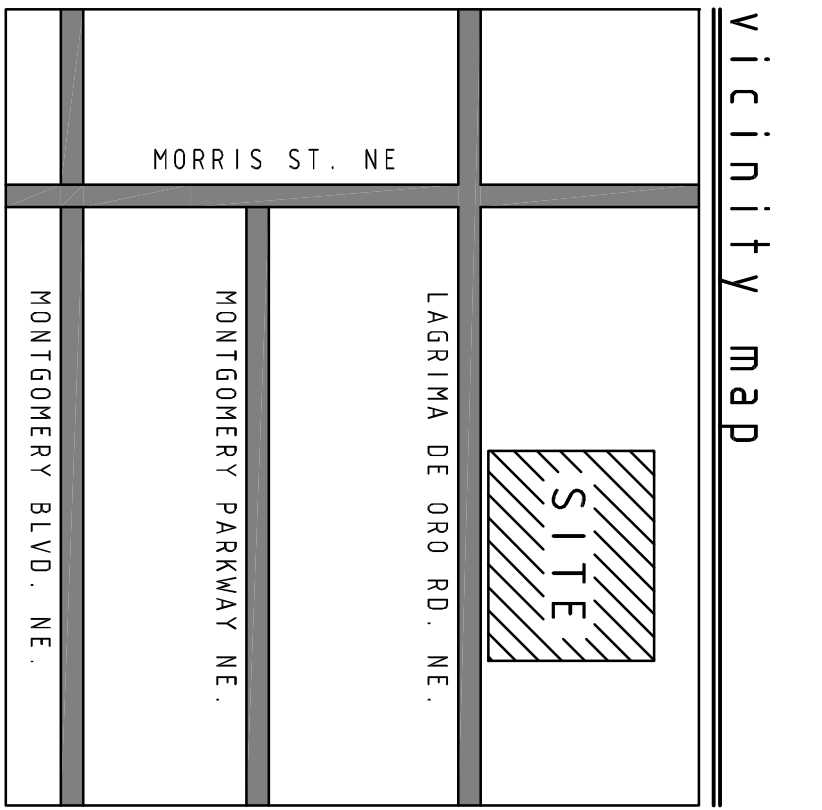
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 4-29-15 By: Joe Slagle

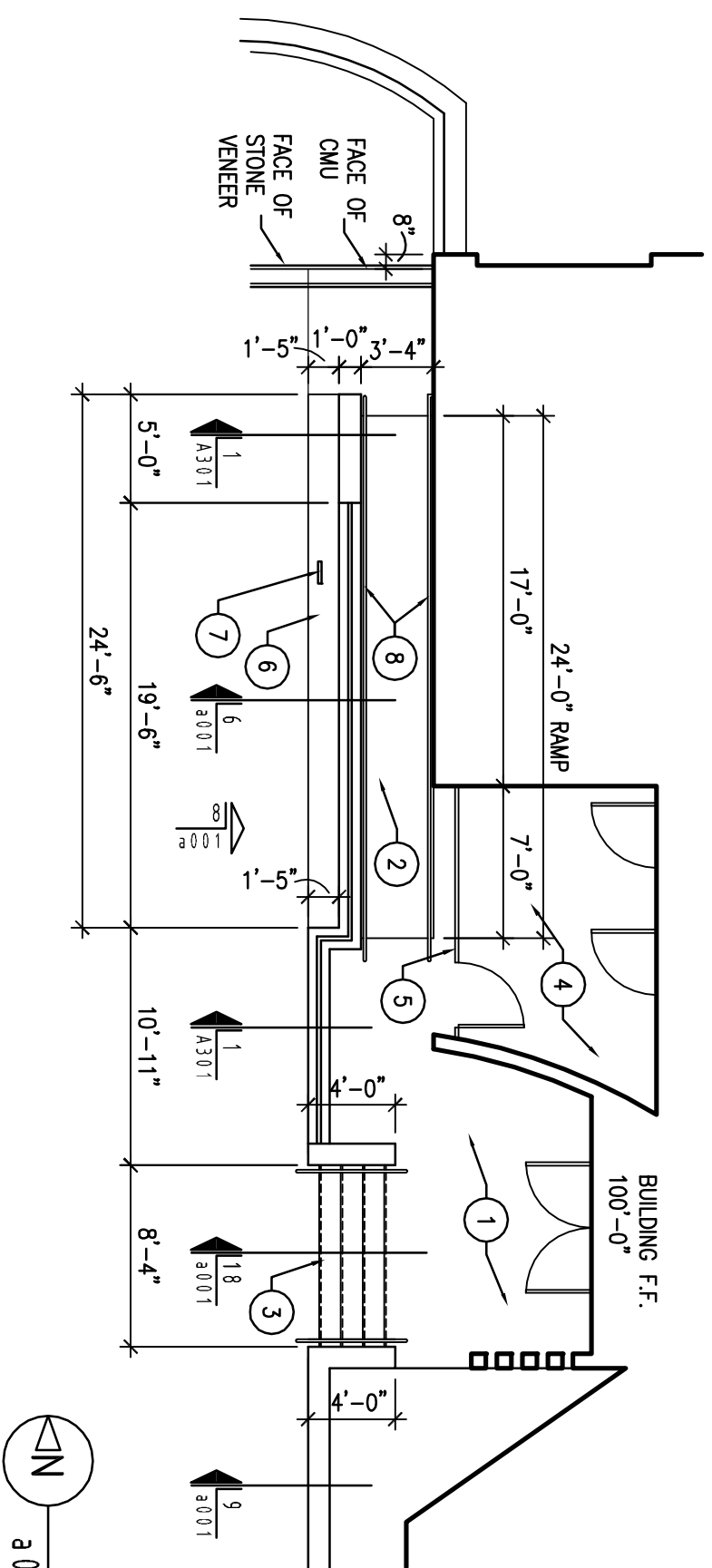
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



8 | **yardwall/guardrail elevation**

3001 1'-4'-1'-0"



11 | **enlarged entry plan**

3001 1'-8'-1'-0"

KEYED NOTES

- 1 4" THK. COLORED CONCRETE PAVING
- 2 ADA ACCESSIBLE CONCRETE RAMP
- 3 COLORED CONCRETE STEPS
- 4 4" CONCRETE PAVING
- 5 STEEL FENCE AND GATE. SEE 11.1
- 6 LANDSCAPE AREA. SEE LANDSCAPE PLAN
- 7 HCP PARKING SIGN. SEE 11.7
- 8 HANDRAIL. SEE 11.7

KEYED NOTES

- 1 REMOVE EXISTING DRIVEWAY AND INSTALL NEW DRIVEWAY AND SIDEWALK PER C.O.A. STD.
- 2 NEW 6" WIDE CONCRETE WALK PER C.O.A. STD.
- 3 NEW 4" THK. CONCRETE WALK
- 4 NEW HCP RAMP W/ TRUNCATED DOWNS @ SLOPED SURFACES. SEE C.O.A. STD. DRG 2441.
- 5 EXIST. CONC. WALK TO BE REMOVED SHOWN DASHED
- 6 NEW CONC. CURB AND GUTTER. SEE 11.1
- 7 ASPHALT PAVING. SEE SOULS REPORT FOR PAVING SECTION
- 8 CONCRETE PAVING. 4" SLAB W/ 45 @ 24" O.C. OVER 4" COMPACTED STRUCTURAL FILL OVER COMPACTED SUBGRADE
- 9 PATIO WITH SHADE STRUCTURE. SEE FLOOR PLAN
- 10 STEPS AND HCP. RAMP. SEE 11.1
- 11 NEW YARD WALL/RETAINING WALL. SEE 11.1
- 12 DUMPSTER ENCLOSURE. SEE 11.5
- 13 NEW RETAINING WALL. SEE 11.1
- 14 4" WIDE WHITE PARKING STRIPES
- 15 HCP PARKING SIGN. SEE 11.7
- 16 INTERNATIONAL ACCESSIBLE PARKING SYMBOL PAINTED ON ASPHALT-BLUE
- 17 6"x2" WHITE PAINT ACCESSIBLE Aisle MARKING
- 18 BIKE RACK. SEE 11.0
- 19 4"x2" WHITE PAINT MOTORCYCLE PARKING MARKING
- 20 MOTORCYCLE PARKING SIGN. SEE 11.1
- 21 NEW YARD WALL/RETAINING WALL. SEE 11.1
- 22 LANDSCAPE AREA. SEE LANDSCAPE PLAN
- 23 ADA RAMP. SEE 11.5
- 24 CONC. WALK. THIS AREA FLUSH W/ ASPHALT
- 25 SIDEWALK CULVERT. SEE 11.2
- 26 LIGHT POLE. SEE 11.2

singlehennarchitects

slaglehennarchitects

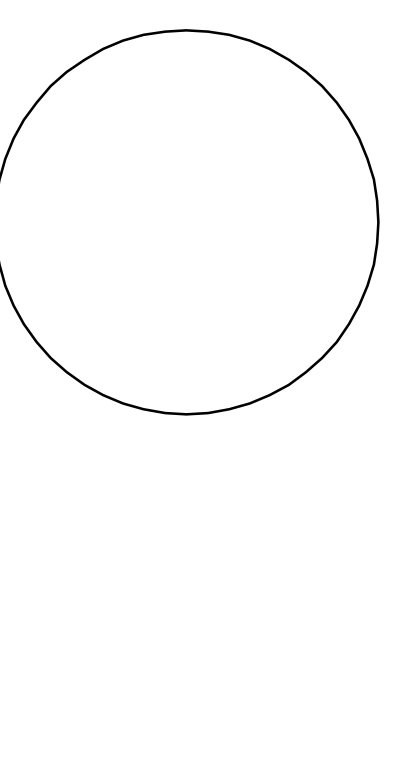
10429 lagrima de oro ne
albuquerque, new mexico

ENDODONTICS

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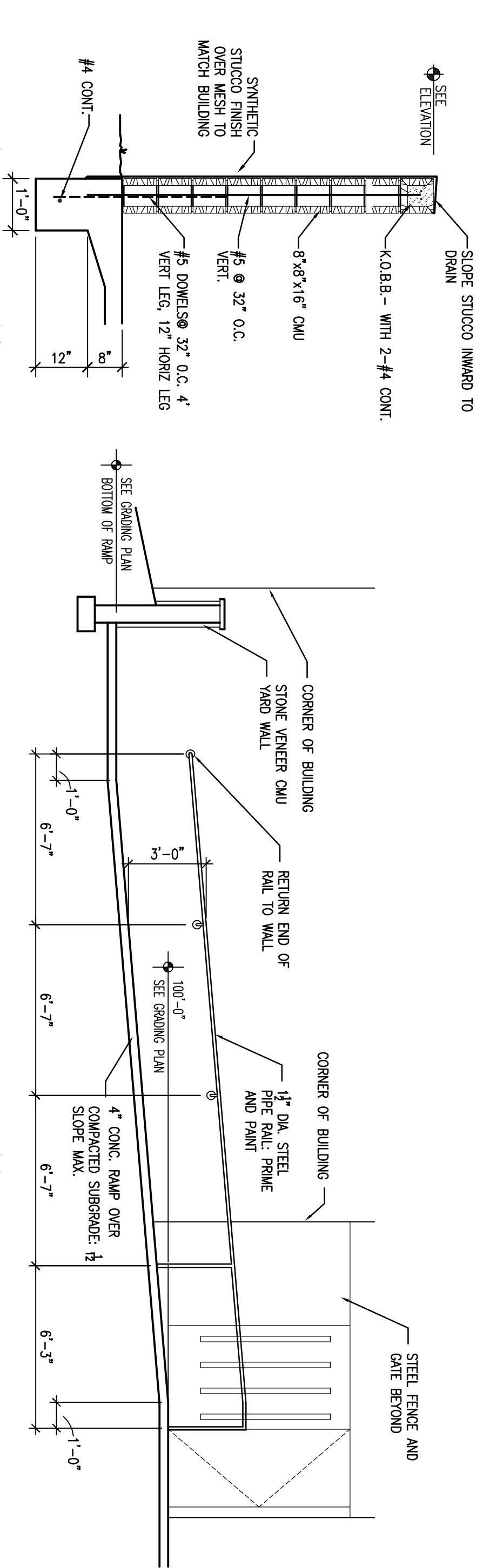
HADLEY

a new dental office
development for :



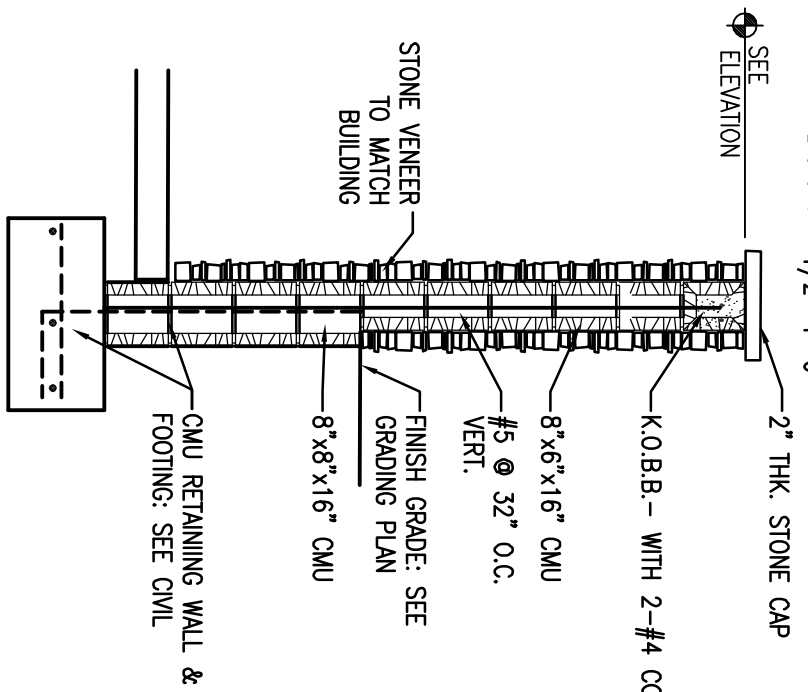
revisions

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4-23-15
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A001



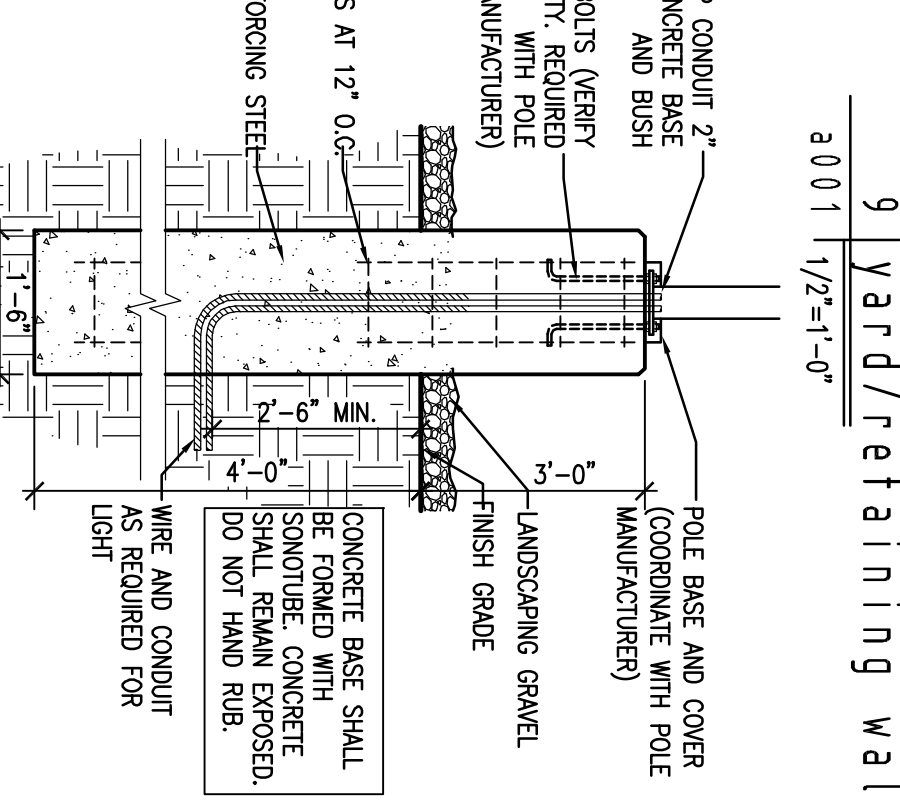
5 | **dumpster wall**

3001 1'-2'-1'-0"



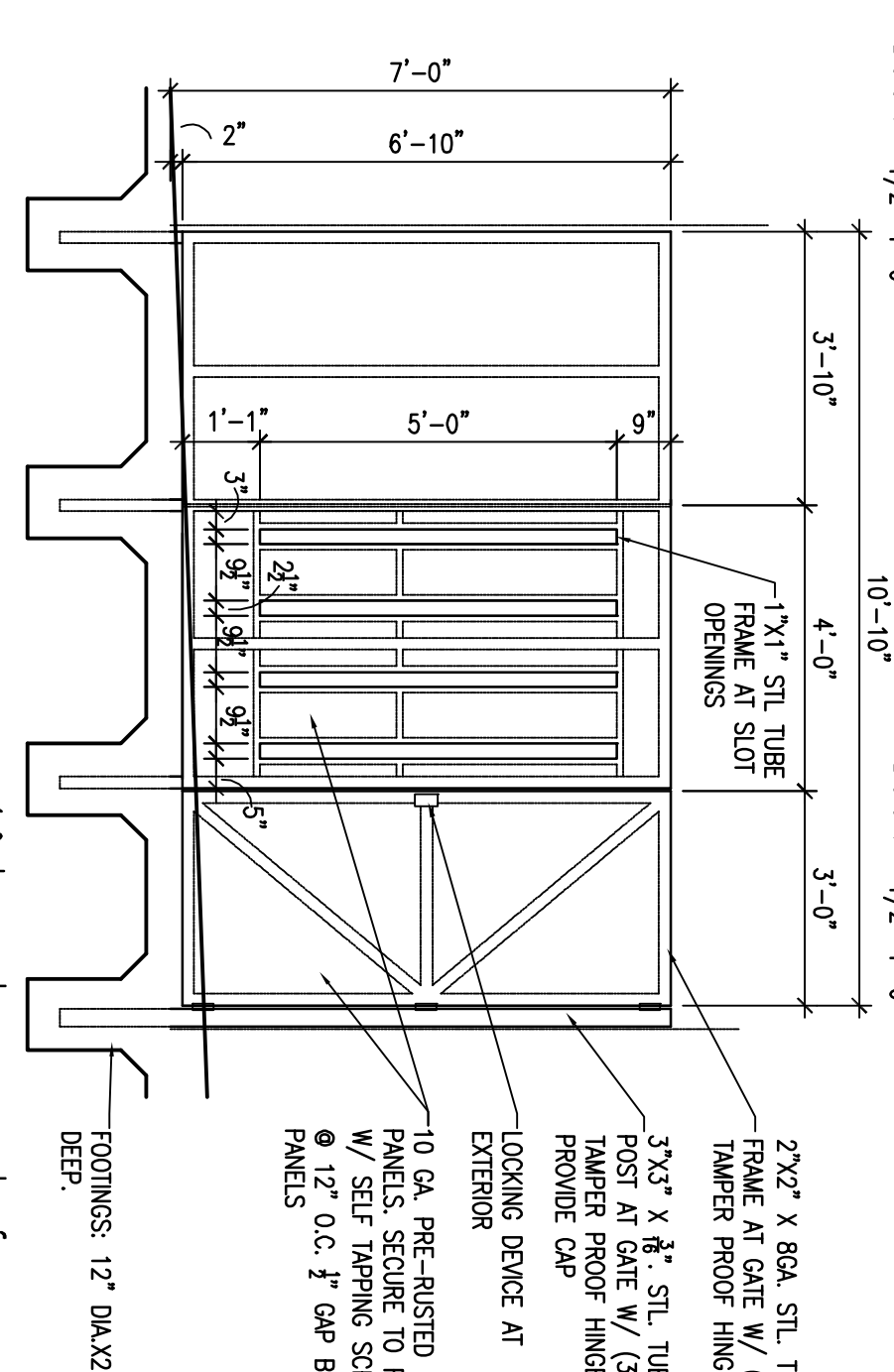
6 | **yard/retaining wall**

3001 1'-2'-1'-0"



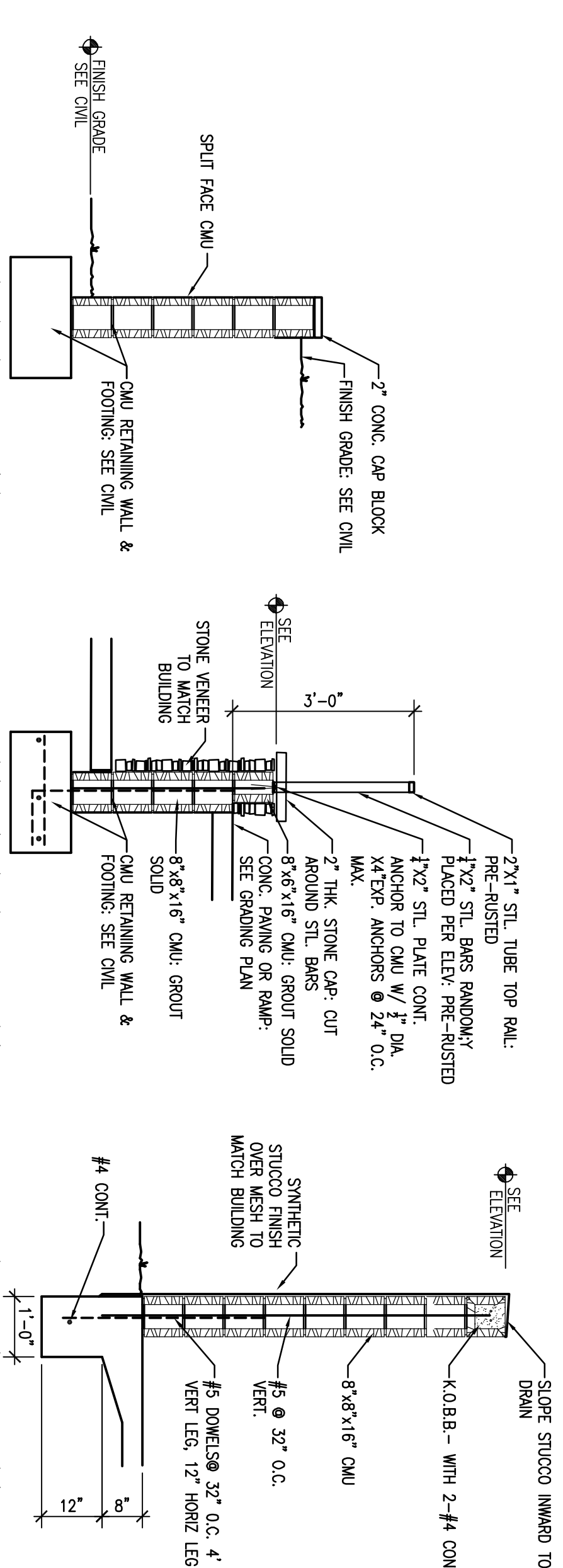
10 | **mech. yard fence**

3001 3/8\"/>



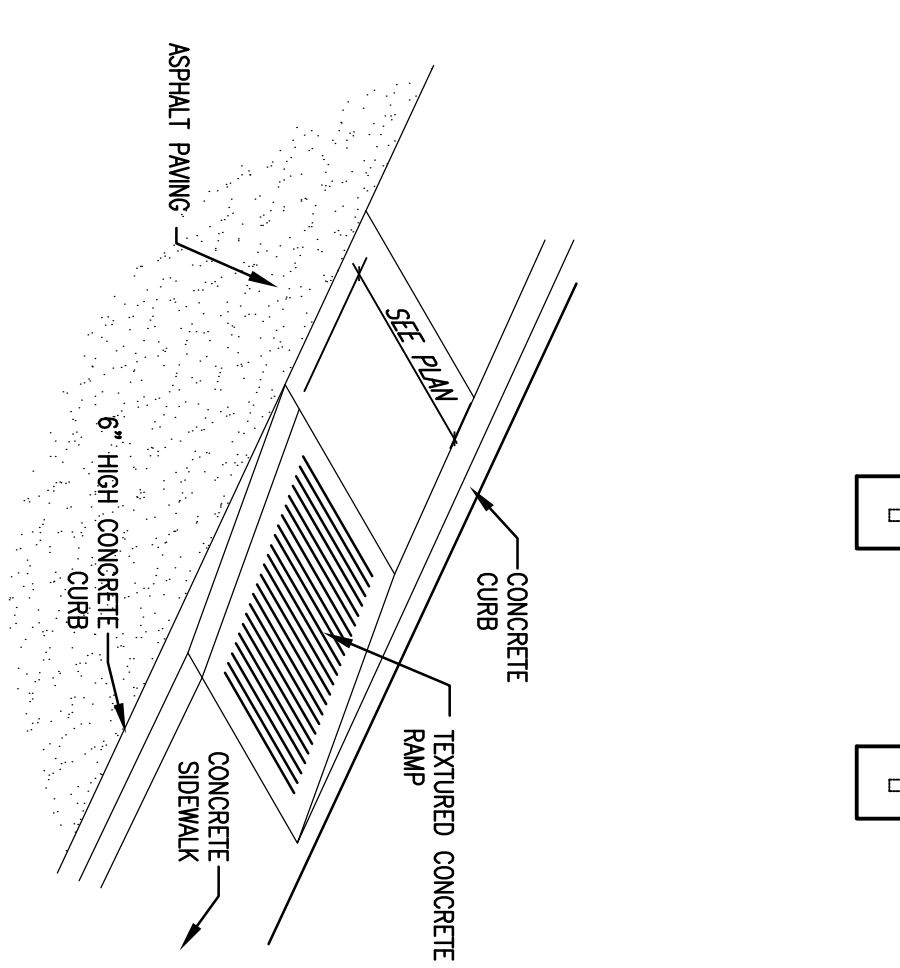
7 | **retaining wall**

3001 1'-2'-1'-0"



6 | **yard/retaining wall**

3001 1'-2'-1'-0"



15 | **hcp ramp**

3001 nls

14 | **bollard**

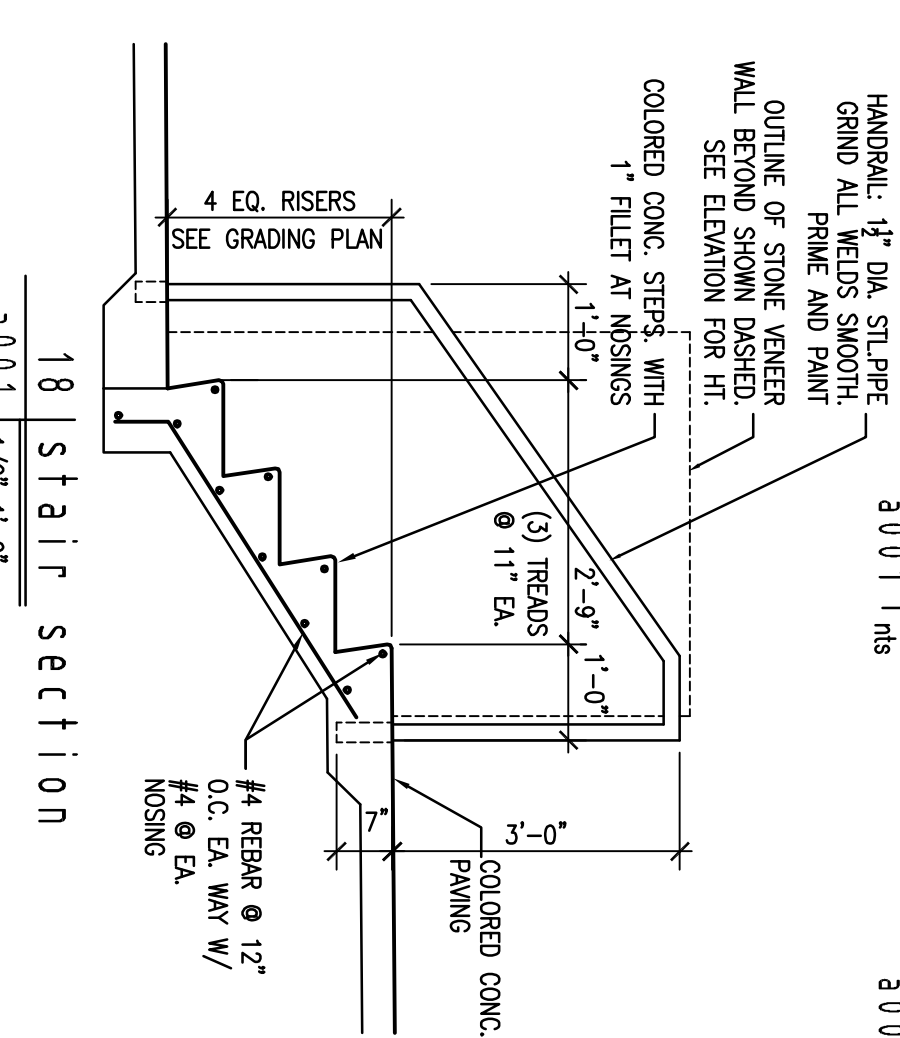
3001 1'-2'-1'-0"

13 | **light pole base**

3001 1'-2'-1'-0"

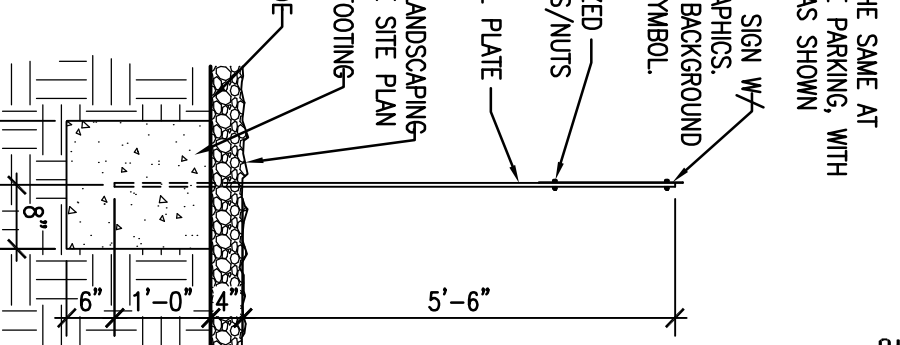
12 | **light pole**

3001 1'-4'-1'-0"



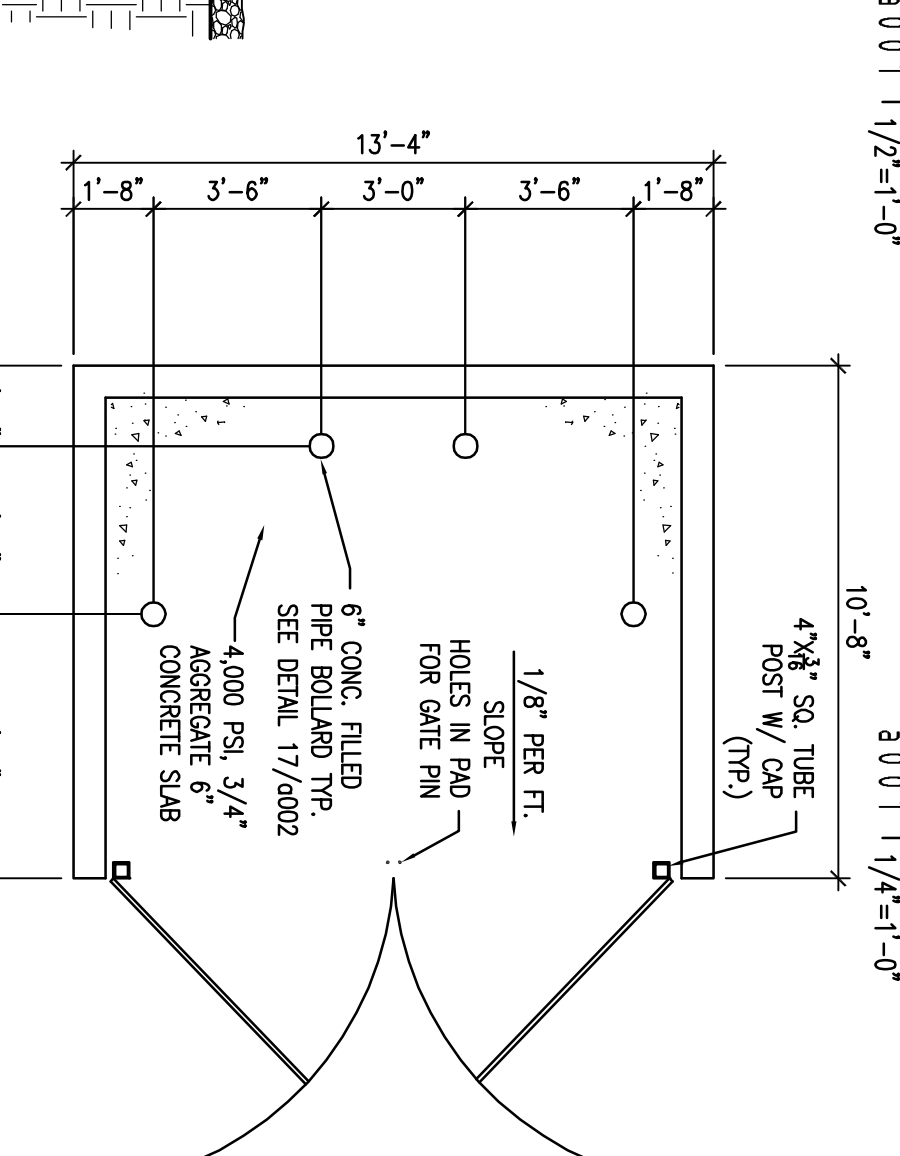
18 | **stair section**

3001 1'-2'-1'-0"



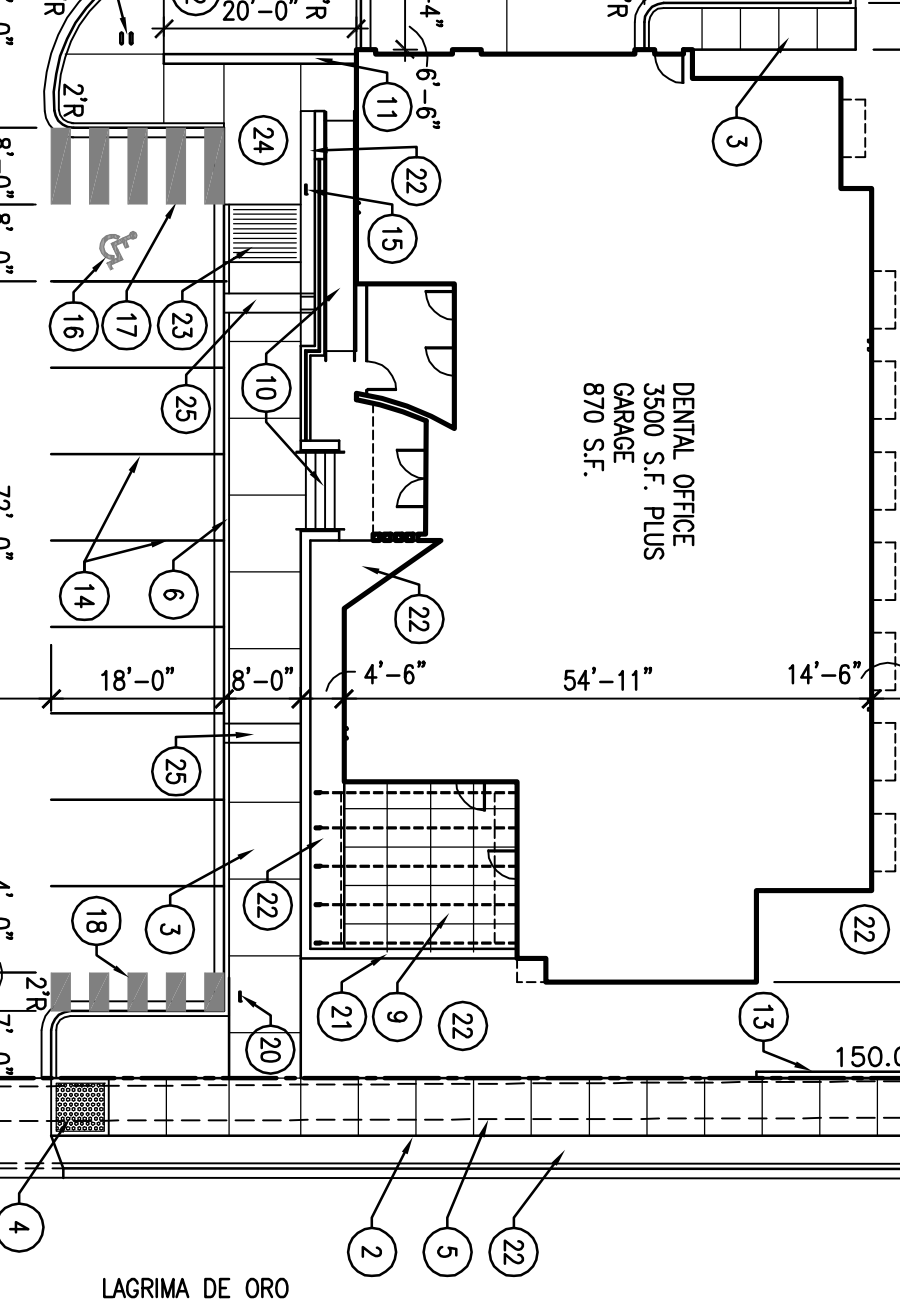
17 | **hcp parking sign**

3001 1'-2'-1'-0"



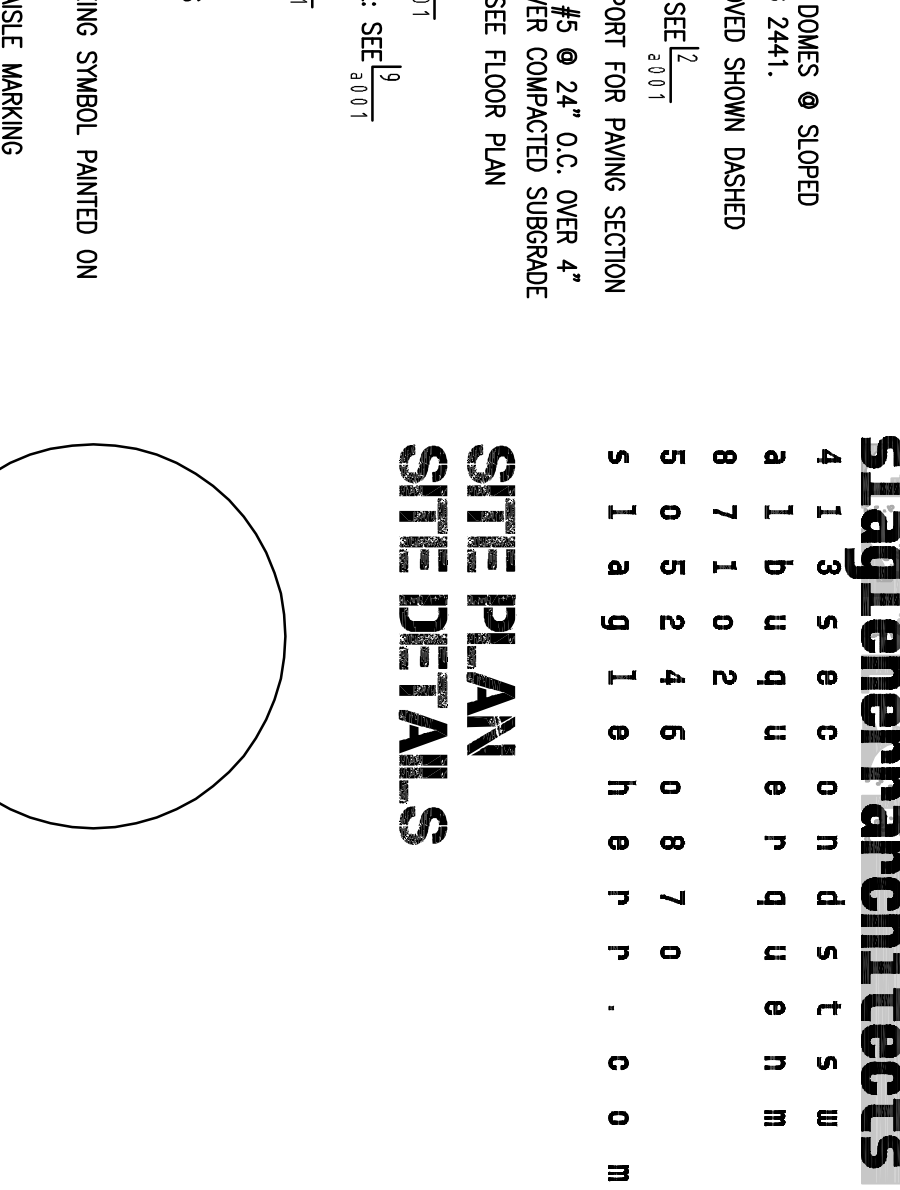
16 | **dumpster enclosure plan**

3001 1'-4'-1'-0"



19 | **dumpster enclosure elevations**

3001 1'-4'-1'-0"



20 | **bike rack**

3001 1'-2'-1'-0"

20 | **bike rack**

3001 1'-2'-1'-0"