

# CITY OF ALBUQUERQUE



June 22, 2016

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: HLP Endodontics  
10429 Lagrima Del Oro NE  
Requested for Permanent C. O. – Accepted  
Engineers Stamp Date 6/29/15 (F21D063)  
Certification dated: 6-2-16**

Dear Mr. Soule,

Based on the Certification received 6/21/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

- Ensure that the transformer placed in the middle of the pond does not flood during a rain event. Contact PNM if necessary for recommendations.

Albuquerque

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

New Mexico 87103 Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.  
Principal Engineer, Planning Department  
Development and Review Services

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,  
Lois



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

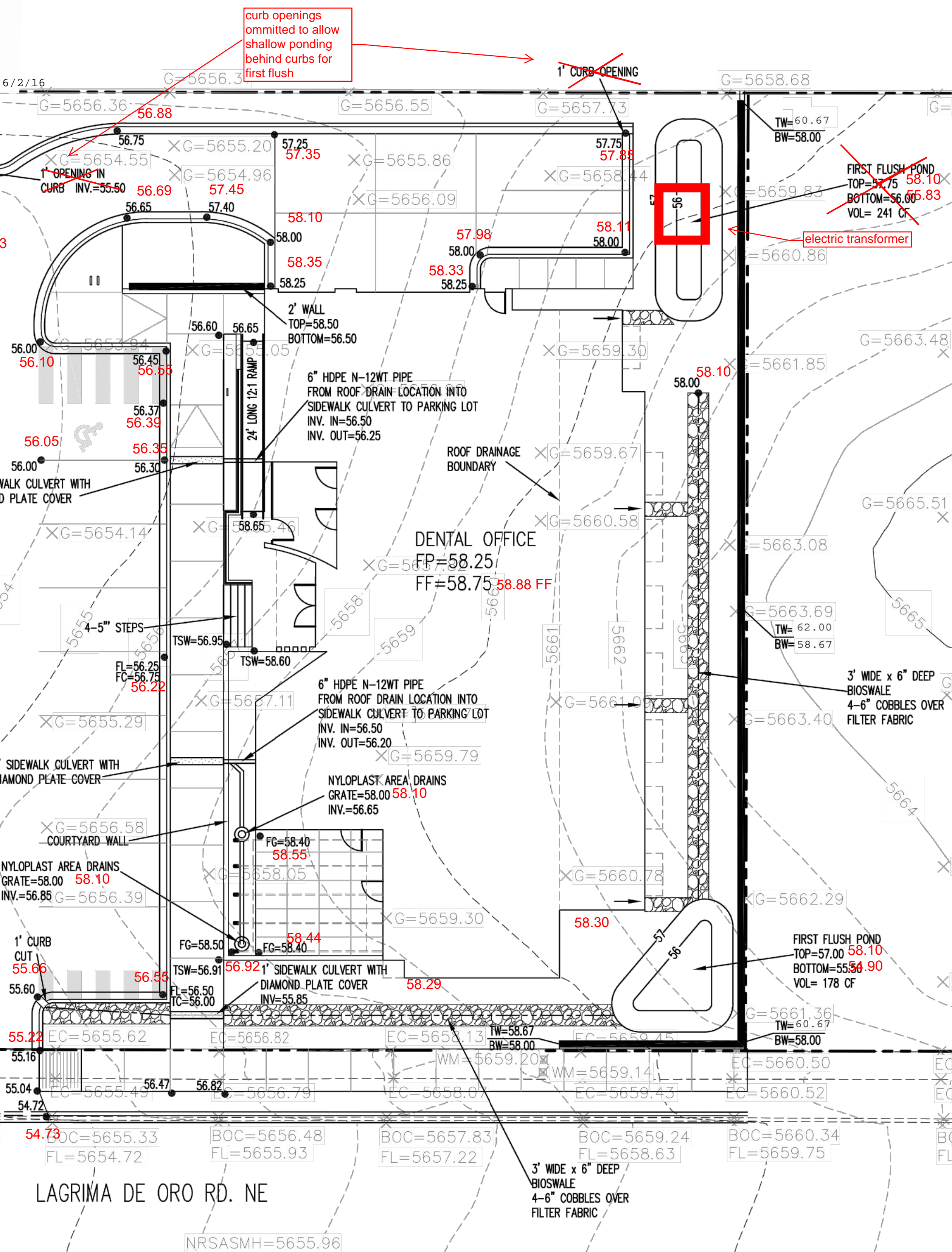
DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



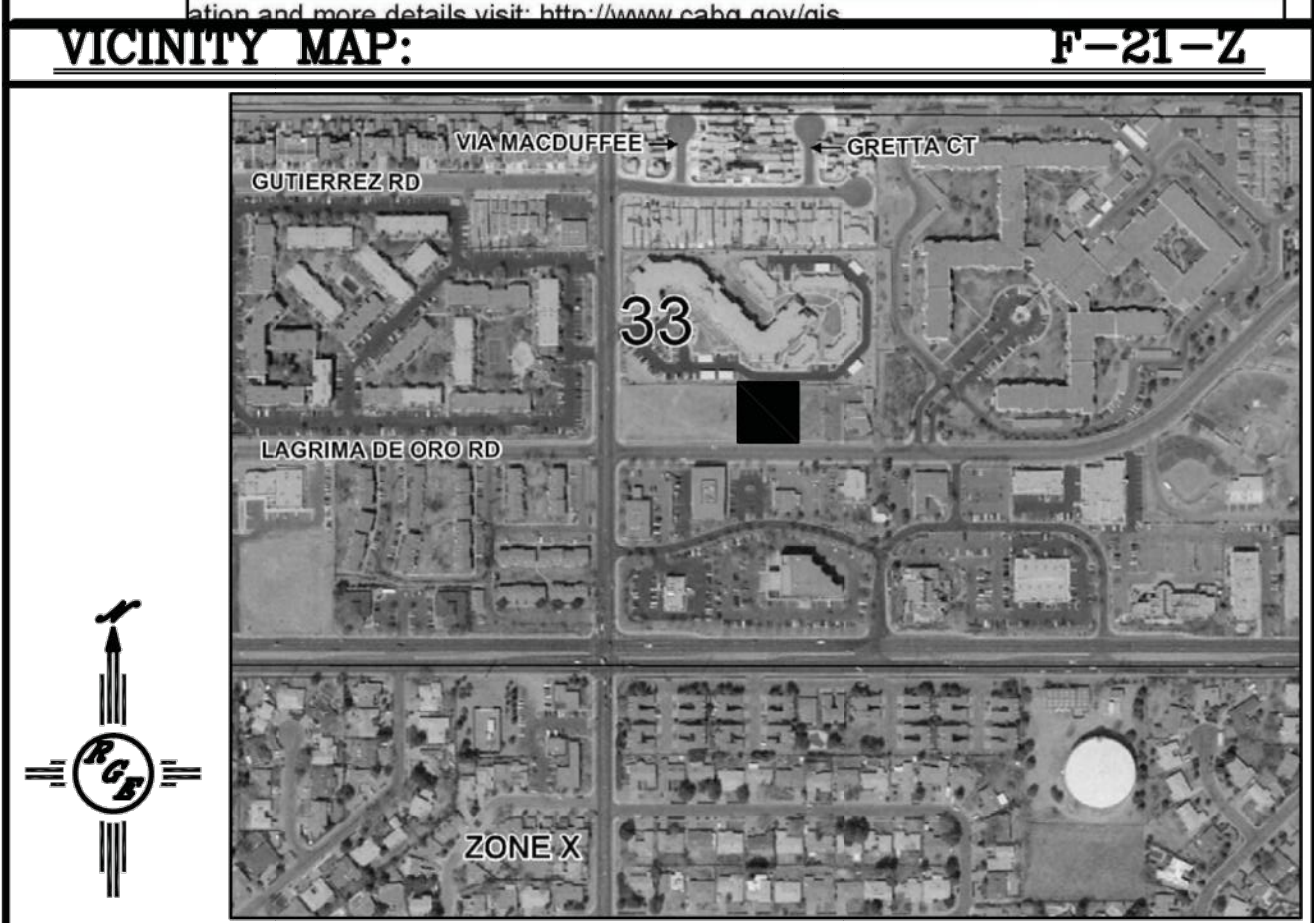
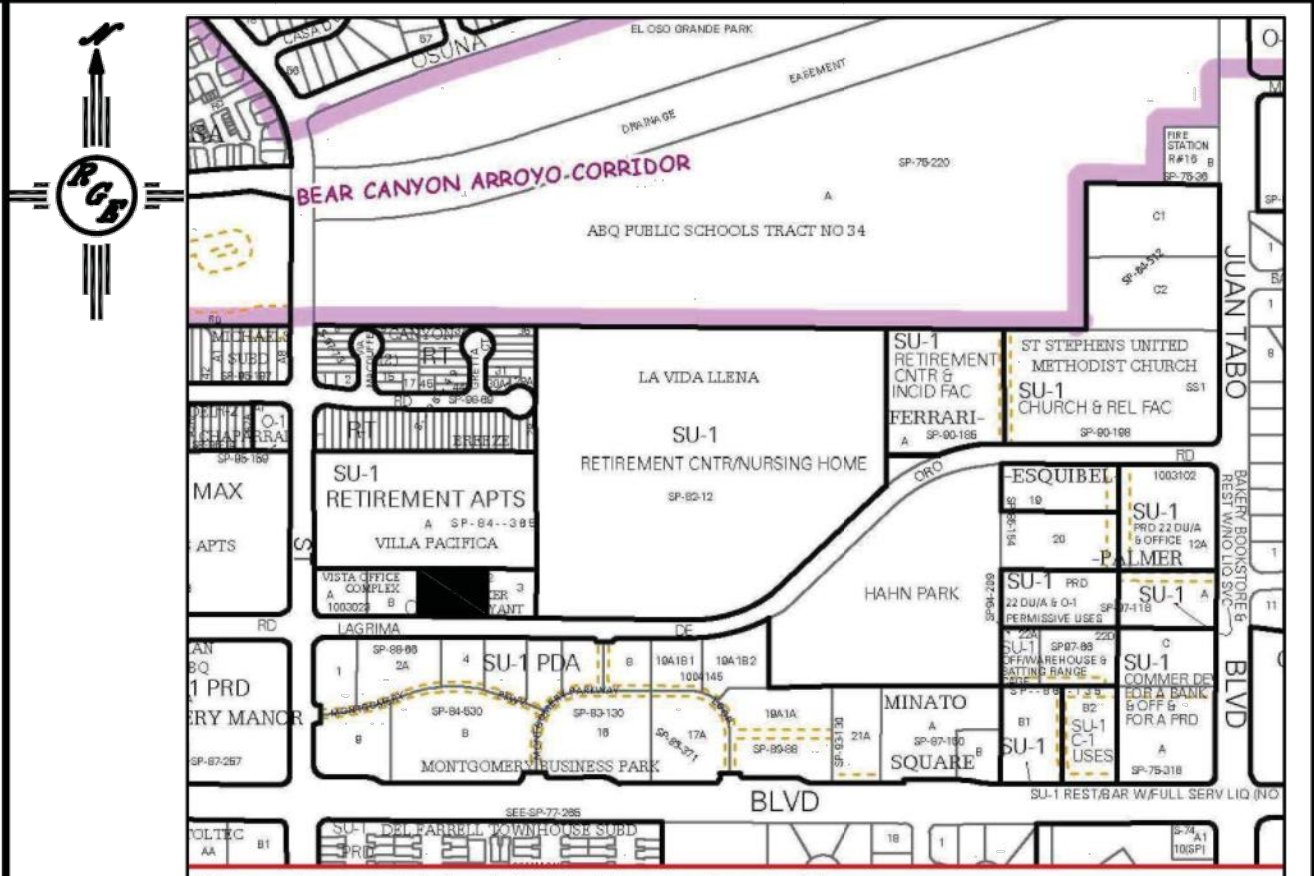
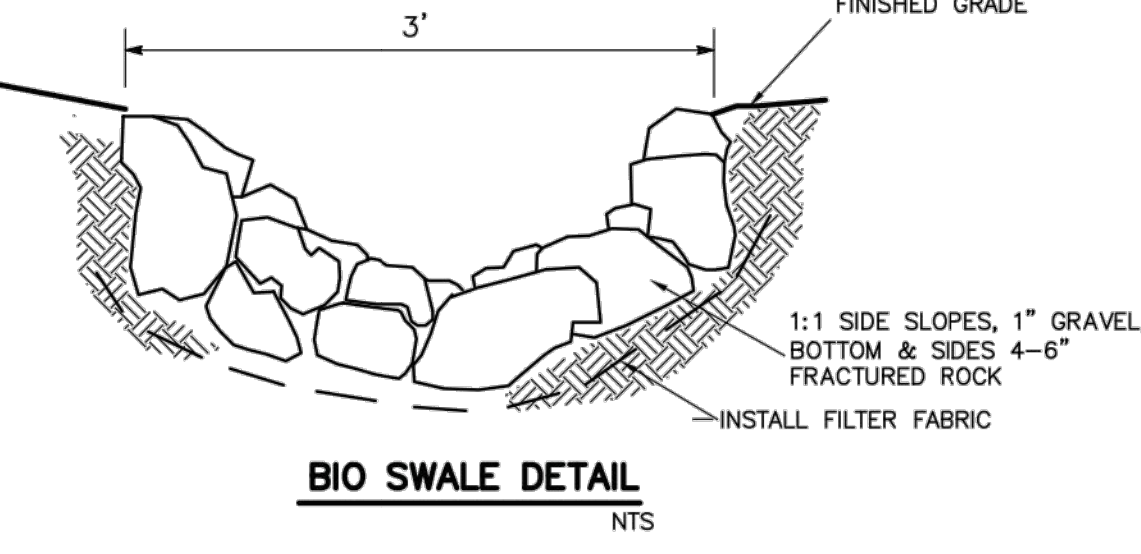
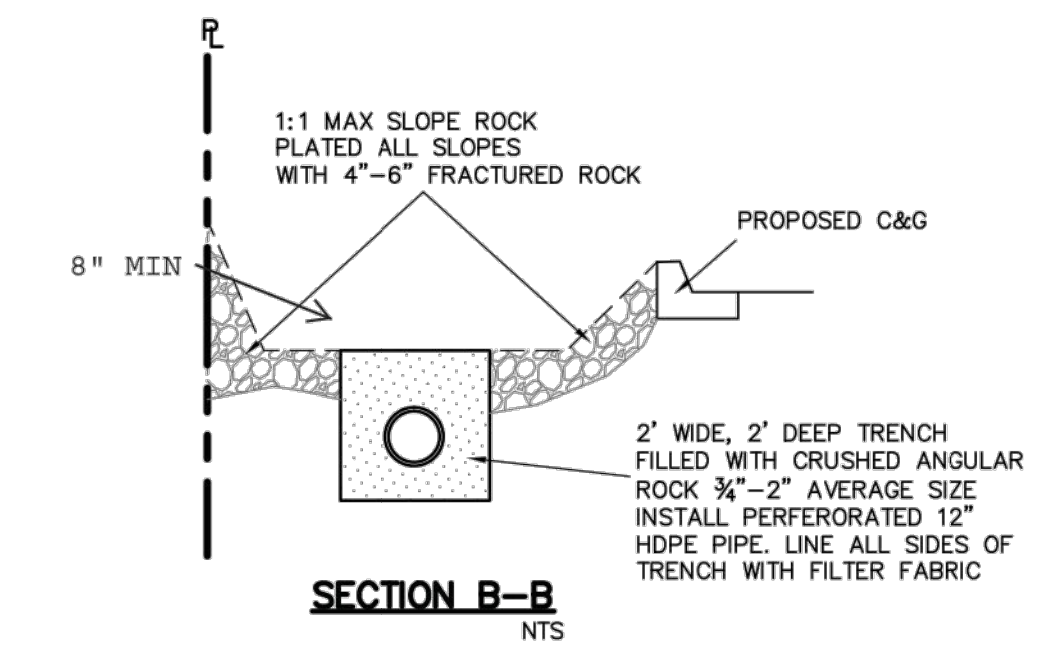
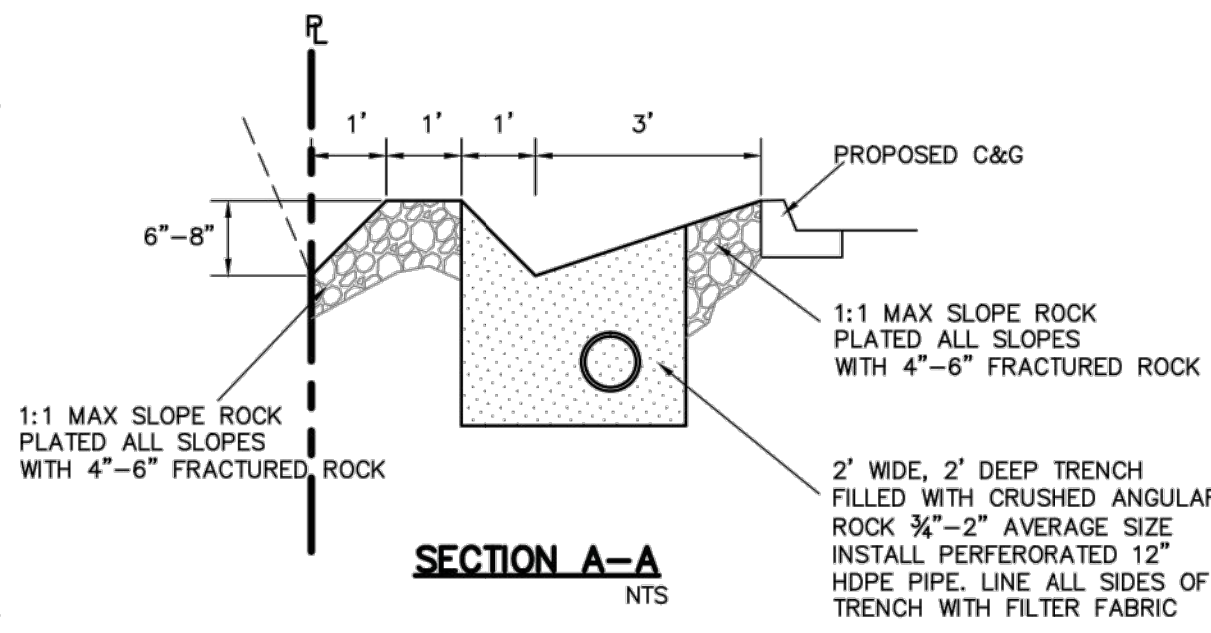
I, David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/29/15. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**FIRST FLUSH REQUIREMENTS**  
15100 x .34 / 12 = 427.83 CF  
PROVIDED 515 CF



### LEGAL DESCRIPTION:

LOT #2, BLOCK 19, PRIMROSE POINTE UNIT 6  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

### NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. RETAINING WALL HEIGHTS AT EAST PROPERTY LINE ACCOUNT FOR FINISHED DESIGN GRADES FOR ADJACENT TRACT BEING DESIGNED BY THIS OFFICE

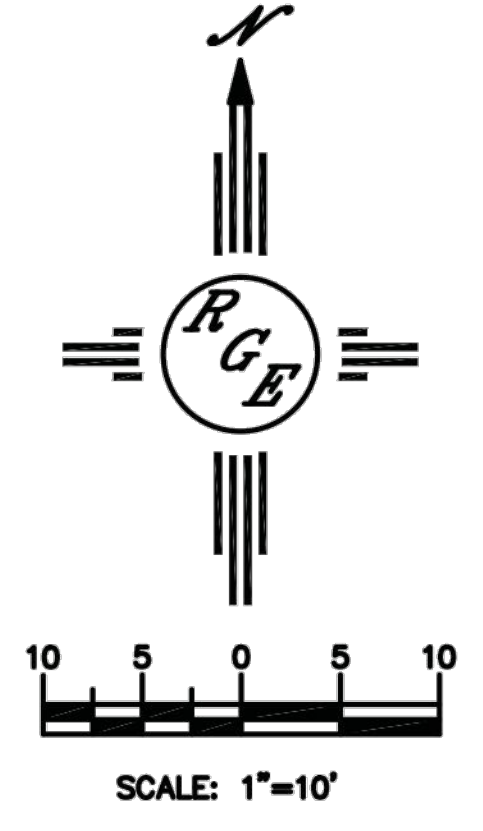
### LEGEND

- 5601— EXISTING CONTOUR
- 5600— EXISTING INDEX CONTOUR
- 5601— PROPOSED CONTOUR
- 5600— PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- PROPOSED ROCK FACE WALL
- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- PROPOSED FLOWLINE
- EXISTING WALL

### PRIVATE DRAINAGE IMPROVEMENT IN PUBLIC ROW NOTICE TO CONTRACTORS (SPECIAL ORDER "SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR 505-260-1990.) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO POURING CONCRETE, CONTRACTOR SHALL NOTIFY THE STORM DRAIN INSPECTOR, 505-857-8074, TO INSPECT REINFORCEMENT.

APPROVAL	NAME:	DATE:
INSPECTOR		



### Weighted E Method

LAGRIMA DEL ORO										100-Year, 6-hr.		10-day	
Basin	Area (sq ft)	Area (acres)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted (ac-ft)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)			
UPLAND	6480	0.149	60.0	0.09926	20.0	0.030	0.200	0.02975	0.000	0.988	0.012	0.39	0.012
OVERALL EXISTING	20121	0.462	80.0	0.36953	20.0	0.002	0.034	0.000	0.000	0.856	0.033	0.18	0.033
BASIN A	3562	0.082	0%	0.000	0.000	0.000	0.000	0.000	0.000	0.827	0.011	0.31	0.014
BASIN B	1669	0.038	0%	0.000	0.000	0.000	0.000	0.000	0.000	0.840	0.009	0.20	0.014
BASIN C	1918	0.044	0%	0.000	0.000	0.000	0.000	0.000	0.000	0.421	0.009	0.23	0.015
BASIN D	12072	0.298	0%	0.120	0.036	0.180	0.0536	0.80	0.238	2.804	0.062	1.56	0.094
OVERALL PROPOSED	20121	0.462	0%	0.000	0.000	0.000	0.000	0.000	0.000	0.856	0.033	0.18	0.033

**Equations:**  
Weighted E = Ea\*Ab + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)  
Volume = Weighted E \* Total Area  
Flow = Qa\*Ab + Qb\*Ab + Qc\*Ac + Qd\*Ad  
Where for 100-year, 6-hour storm (zone 4):  
Ea= 0.8  
Eb= 1.08  
Ec= 1.46  
Ed= 2.64  
Qa= 2.2  
Qb= 2.92  
Qc= 3.73  
Qd= 5.25  
Pond volume required: 420.20 cf  
First flush provided: 715.00 cf  
Existing on-site discharge: 1.08 CFS  
Proposed on-site discharge: 2.30 CFS  
Upland narrative: 0.39 CFS  
This site is an infill development near the bottom of the Bear Canyon water shed. This site has been approved for free discharge on two prior submittals. F210090. In addition the both existing properties F210090 and F210091 were approved for free discharge. We propose free discharge with the inclusion of the first flush ponding volume. The proposed sidewalk culvert will be constructed with the S019 permit process.



# CITY OF ALBUQUERQUE



June 9, 2016

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

RE: **HLP Endodontics**  
**10429 Lagrima Del Oro NE**  
**Requested for Permanent C. O. – Not Accepted**  
**Engineers Stamp Date 6/29/15 (F21D063)**  
**Certification dated: 6-2-16**

Dear Mr. Soule,

Based on the certification provided in your submittal received 6/2/2016, the above referenced site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

- Both 1'-0" curb openings on the north end are missing. **WE OMITTED THE CUTS**
- There is a transformer where the pond at the NE corner was approved. New drainage flows are not as-built on the drawing. **WE CORRECTLY SHOWED POND AND OMITTED CUTS ALLOWS FOR COMPENSATORY FIRST FLUSH VOLUME**
- Only a portion of the rock plated slope w/ retention trench is constructed on the west side. Per the superintendent on site, the portion not constructed is being changed to a retaining wall. This has not been as-built on the drawings. **WE CORRECTLY SHOWED THE WALL**
- The SO-19 sidewalk culvert should be poured monolithic. Culvert should be 2'-0" however it only measures 1'-4". **THE CULVERT WAS REPLACED**

An inspection by our office will need to take place after these corrects are made.

www.cabq.gov

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Department  
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois